



**BOCA GRANDE HISTORIC PRESERVATION BOARD
BOCA GRANDE COMMUNITY CENTER, WOMAN'S CLUB ROOM
131 FIRST STREET WEST, BOCA GRANDE, FL 33921
WEDNESDAY, FEBRUARY 10, 2016
10:00 AM**

AGENDA

For public review, the meeting agenda and backup materials for the cases are available at the Johann Fust Community Library, 1040 West 10th Street, Boca Grande, starting February 3, 2016 and at www.leegov.com/dcd/events.

- 1. Call to Order/Roll Call/Review of Affidavit of Publication**
- 2. Election of Officers**
- 3. Approval of Minutes – January 6, 2016**
- 4. Special Certificate of Appropriateness (COA) Public Hearings:**
 - A. COA2016-00010 Gasparilla Inn Hotel, 500 Palm Ave Boca Grande, FL 33921
Request to rehab the existing hotel (contributing property).**
 - Note:** Zoning relief for each of the projects below is being considered pursuant to Land Development Code Section 22-174. A summary of the zoning relief requests is available for informational purposes in the backup materials.*
 - B. COA2015-00138 Rodriguez Residence, 200 Banyan St Boca Grande, FL 33921
Request to install new privacy walls. (non-contributing property).**
 - C. COA2016-00009 Hurlburt Residence 1141 11th St W Boca Grande, FL 33921
Request to enclose a porch on an accessory building (contributing property).**
- 5. Items by the Public; Committee Members; Staff**
- 6. Adjournment – Next Meeting Date: To Be Determined**

A verbatim record of the proceeding will be necessary to appeal a decision made at this hearing.

Persons with disabilities who need an accommodation to participate in the Local Planning Agency meeting should contact Janet Miller, 1500 Monroe Street, Fort Myers, FL 33901 (239-533-8583 or jmiller@leegov.com). To ensure availability of services, please request accommodation as soon as possible but preferably five or more business days prior to the event. Persons using a TDD may contact Janet Miller through the Florida Relay Service, 711.

To receive agendas by e-mail, contact jmiller@leegov.com.

MINUTES REPORT
BOCA GRANDE HISTORIC PRESERVATION BOARD
WOMAN'S CLUB ROOM, BOCA GRANDE COMMUNITY CENTER
131 FIRST STREET WEST, BOCA GRANDE, FL 33921
JANUARY 6, 2016
10:00 A.M.

MEMBERS PRESENT:

Bill Caldwell III, Vice Chair
Paul Eddy
Rebecca Paterson
Dana Robinette
Tim Seibert, Chair
Guerrino Savio
William Winterer

STAFF PRESENT:

Peter Blackwell, Planner, Planning
Corris McIntosh, Assistant Cty. Attorney
Janet Miller, Recording Secretary
Gloria Sajgo, Principal Planner, Planning
Bob Stewart, Building Official

Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication

Mr. Seibert, Chair, called the meeting to order. He introduced and welcomed the newest Board member, Guerrino Savio.

The Board took a roll call. Guerrino Savio, Rebecca Paterson, Tim Seibert, Bill Caldwell, Paul Eddy, Dana Robinette, and William Winterer were present.

Ms. Miller, Recording Secretary, noted she had gotten a response from the Attorney's office stating the ad for this meeting was legally sufficient.

Agenda Item 2 – Approval of 10/21/15 Minutes

Mr. Caldwell made a motion to approve the 10/21/15 meeting minutes, seconded by Ms. Paterson. The motion was called and passed 6-0.

Agenda Item 3 – Public Hearing on Special Certificates of Appropriateness (COA) Cases

Ms. Sajgo announced that she had received correspondence from the applicants for the Sherman Project (COA2015-00103), and the Gasparilla Inn Beach Club (COA2015-00179) and that both applicants have asked for continuances. Therefore, the only case being heard at today's proceeding is the Cowan project (COA2015-00183).

A. COA2015-00183 Cowan, 920 Palm Avenue, Boca Grande, FL 33921

(NOTE: For the audio recording of this meeting, go to:
<http://www.leegov.com/dcd/committees/committeesearch>. Once the page pulls up, click on the blue hyperlink that says "Boca Grande Historic Preservation Board (BGHPB)." Contact Janet Miller at 239-533-8583 or jmiller@leegov.com if you need assistance.)

Ms. Sajgo noted that two other County staff members were present (Corris McIntosh, Assistant County Attorney and Bob Stewart, Building Official). She reviewed the staff report.

Mr. Seibert opened this item for public comment.

BGHPB

January 6, 2016

Page 1 of 9

Mr. Steve Hartsell from Pavese Law Firm stated he was representing Rory and Holly Cowan. He noted that Holly Cowan, Brian Herrington (General Contractor with Skylar Construction), and Tim Krebs (Architect) were also in attendance. He stated the following:

- He acknowledged that all parties understood completely that mistakes were made, as outlined in the staff report, and that the rehabilitation did not proceed as intended. However; it was never the Cowan's goal to demolish the property and it was not requested in their application.
- He referred the Board to the binder provided to them, which was the applicant's materials for this case. He directed them to Exhibit 11, which outlines plan changes proposed by Tim Krebs. Those plans show replacement of structurally deficient materials with code compliant construction.
- When the structural deficiencies were identified, Mr. Herrington (Contractor) should have stopped working, obtained the plan changes in Exhibit 11 from Tim Krebs, and submitted those to the Building Department. This would have also given Planning staff and the Boca Grande Historic Preservation Board an opportunity to review those changes. This did not happen and Mr. and Mrs. Cowan as well as their construction team are genuinely apologetic.
- That being the case, they are still hopeful that it is possible to rectify the mistake and continue with their project in order to provide the Boca Grande community with a high quality rehabilitation project, which was anticipated in December, 2014 when the Board originally approved this project.
- The plan changes shown in Exhibit 11 have been submitted to the Building Department and they require that the Boca Grande Historic Preservation Board review the changes to determine if the changes proposed are consistent with what the Board originally approved in COA2014-00156.
- The plans in Exhibit 11 show where the structurally deficient materials were discovered and where they are now proposed to be replaced by code compliant construction. Mr. Hartsell noted that the home being proposed today remains identical to what was previously approved as having historic character in the original Certificate of Appropriateness. He requested that the Board find the proposed plan changes consistent with that Certificate of Appropriateness.

Ms. Holly Cowan gave background information on herself and her husband and explained why she and her husband chose this property as their home and why they intended to rehabilitate the property instead of asking to demolish it. It never occurred to her or her husband nor was it brought to their attention that work being done was exceeding their permits. Mrs. Cowan admitted that she had spoken to Mr. Herrington and the two subcontractors and found out that the structures were too derelict to save, but she had assumed the necessary next steps would be undertaken. This assumption proved wrong and she apologized. She and her husband were eager to move forward. She hoped they would be given a chance to reconstruct their house as it was originally approved.

Mr. Herrington (Contractor) reviewed his background and credentials. He gave an explanation as to what happened with the Cowen project and that the problems encountered were worse than expected. It was the opinion of both subcontractors that no parts of the structures could be salvaged and used to provide safe code compliant buildings. He noted the letters from the subcontractors were part of the Board's packet. At that point, he, as the contractor, moved forward with what he thought were the right steps to deliver a product that would be code compliant and safe. Mr. Herrington stated he regretted not contacting the Building Department or the Historic Preservation Board and he apologized for not asking their opinion or advice.

Mr. Tim Krebs (Architect) provided his background information and reviewed his credentials. He reviewed the problems encountered with the footings and why they could not be repaired. In addition, above the unstable footings were walls constructed of clay tile, which is an antiquated material. He noted there was no prescriptive method in the building code to use the clay walls because they cannot calculate structurally the properties of that to withstand the wind loads of 160 miles per hour (ultimate wind speed/wind load). Above the walls were existing roof members that were undersized and deteriorated from many years of roof leaks. To comply with code, there were no options. However, he noted they had reconstructed the building in exactly the same mass, character, size, and shape that was approved by the Board. Although the Secretary of Interior's Standards recommends reconstruction be avoided, it does not say it is prohibited when required. In his opinion, as an architect, certified general contractor, and Florida special inspector, he agreed with the decisions made by the contractor. He further agreed with the findings and statements of the subcontractors (Leo Pfliger and Bill Woods) whose letters were included as part of the packet. He noted that the Boca Grande Design Guidelines assumes that alterations must take place to make the building useful and practical and to comply with code requirements for life, safety, conservation of energy and accessibility.

Ms. Robinette stated she did not believe anyone was questioning the fact that the building had to be demolished. Once a Certificate of Appropriateness is issued, an applicant can apply for relief in order to deal with some specific problem with a proposed project, but that step was missed.

Mr. Caldwell stated he was a general contractor and he reviewed the process that takes place regarding inspections. He asked how the Building Department let this project get this far and asked why the project was stopped at this point rather than during the first inspection. To him, the final product can be exactly what was on the plan previously.

Mr. Krebs stated he wanted to defend the Building Department. With some of the footing inspections, the County could have stopped it immediately, but he appreciated that the Building Department was willing to work with them without a hassle. He was surprised to receive a call from Ms. Sajgo. Mr. Krebs noted that when he informed Ms. Sajgo over the phone that they had no options, she replied that there are always options. The project could have been stopped earlier, but if they did that, they would have had to come back to the County repeatedly every time they found a new problem. If the historic process becomes too complicated, he feared people would avoid it. He cherished the idea of being able to work on these historic houses, but there was a gap here in understanding the prior construction techniques.

Ms. Robinette asked if Mr. Krebs understood that once there is no historical building left, it no longer comes under what was previously passed.

Mr. Krebs stated they already had two thirds of the building inspected and approved so he did not understand at what point it no longer became historical. He stated that Bob Stewart can only issue this permit if Planning signs off on it. He can only issue it for the plan changes if the building remains historic. It would be dire for this project if the Board deemed the project to no longer be historical. For the two thirds of the building currently sitting on site that was reconstructed, did that remain historic as it was reconstructed during the rehabilitation process?

Mr. Eddy stated this was a failure to communicate. Unfortunately, the end result was everything getting demolished. He felt many of these problems could have been solved if it had come to the Board earlier.

Mr. Krebs noted that he and Mr. Hartsell had met with Ms. Sajgo regarding this issue, but were told that she would not sign off on it without it going to the Boca Grande Historic Preservation Board.

Mr. Seibert stated that the current structure does not meet FEMA requirements because it is no longer a historical house. The Secretary of Interior's Standards for Rehabilitation would no longer apply to this house since it is no longer historical.

Mr. Hartsell referred the Board to Exhibit 3 of the applicant's materials, which is a two page rendering showing the buildings that were approved in 2014. He felt that the staff report was written with a very strong recommendation that essentially states the property owners should tear down the existing construction and start over. He felt there were perceptions in the staff report that these were not mistakes, but an intentional plan, which could not be further from the truth. He reviewed the first five Secretary of Interior's Standards outlined in the staff report and reviewed how the current project still complies with those five standards. He argued that replacing the inadequate materials with code compliant construction did not destroy the historic character of the property as it was originally approved in that Special Certificate of Appropriateness. He also reviewed Standards 6-9.

Mr. Seibert stated the bottom line was that the house was gone and they are building a new house in its place. He did not see how they would get around the FEMA regulations.

Mr. McIntosh, from the Lee County Attorney's office, stated the decision before the Board today is whether or not this particular building maintains their historic designation. In making that determination is where FEMA comes in and whether they would qualify for the exemption. However, it is not within this Board's scope to determine whether or not they get that exemption. This Board is only determining whether or not the historic designation stays in place.

Mr. Hartsell felt it important to note that if the Board does not find this to be a historic structure, the result of that determination will be to tear the building down and start over, so this is not a minor decision. He argued that the historic character of this existing structure is still consistent with what the Board originally approved.

Mr. Seibert opened this item for public comment. The list of public speakers below is in the order that the speakers addressed the Board.

- | | |
|--|-------------------------------|
| 1. Richard Coin (in support) | 5. Corson Ellis (in support) |
| 2. Beth Currier (in support) | 6. Frank McCain (in support) |
| 3. Bill Ark (phonetic spelling) (in support) | 7. Jackie O'Dowd (in support) |
| 4. Mary Kountze (in support) | 8. Nancy Sodel (in support) |

9. Unknown Speaker (in support)
10. Archie Hager (opposed)

11. Skip McCain (opposed)
12. Louis Hamilton (in support)

Mr. Stewart, Building Official, noted that with regard to the FEMA issue there is no exemption that has been granted. The commonly referred to 50% rule applies to buildings that are not in compliance with today's flood regulations. The 50% rule does not apply to historical structures as long as they retain their historic designation after the work is done. Regarding comments/questions raised by Mr. Caldwell, he noted that not all of the work on this project was seen by the building inspector. One of the questions raised was how this project could progress this far without the Building Inspector looking at it, but the truth is they never saw it. The last inspection performed on-site was in August of 2015. At that time, the structure in question was still in place. The rest of the work took place after that inspection and the inspector was never called back. The Building Department will know how to proceed depending on the Boca Grande Historic Preservation Board's determination.

Mr. Caldwell asked for confirmation that if they get to keep the historic status they can proceed with the project. If it is decided that they lose the historic status, they will need to tear the building down and start over.

Mr. Stewart stated there are other options such as seeking variances. He noted that the Board's decision needs to be explained and defended in light of the standards. It has to withstand scrutiny and should be based on the science.

Ms. Sajgo noted there were two structures on the site and that the guest house is an ancillary non-historic building. She encouraged the Board not to take action on the guest house because it is beyond the purview of the Board's authority. The main discussion today has been on the main house, which was a historic house. The Board's determination will be on the historic house.

Mr. McIntosh stated that when the Board is making their determination they should not focus on anyone's intentions. They should look at the Land Development Code, which does not include the builder or owner's intentions or why it happened. The bottom line is a demolition took place. The decision is not based on whether they intended to do it or whether it was malicious.

Mr. Hartsell disagreed with staff's comment that there were two separate properties and that the guest house is not part of this contributing property. He noted that in the 2014 determination the Board found this to be a contributing structure and that it had historic character. There was no distinction that it only applied to the main house and not the guest house. He stated that what Ms. Sajgo was referring to were zoning determinations that will follow as a result of what the Board determines today. He felt the finding the Board made in 2014 continues to be accurate and referred to his earlier comments when he reviewed the five standards outlined in the staff report.

Mr. Caldwell stated that given the choice between requiring the ownership to tear the construction down and begin a new project versus re-designating this project as historic and allowing construction to continue, especially since the neighborhood is overwhelmingly in support of the project, that letting them proceed would be the better option. He did not believe it would be setting a precedent. He did not believe anyone would opt to go through this inquisition to save on not having to come up to the current flood plain level. Even though mistakes were made, as a board member, he was in favor of letting the project move forward.

Mr. Savio stated his first question is how staff and the Board would have reacted to the proposition of applying for a demolition of the house in order to build a new house according to code. Since their main goal is to preserve the historic character of Boca Grande, the Board most likely would have had difficulty in allowing the applicant to destroy the structure to build a new one since the goal is to maintain the character of the neighborhood. He agreed that serious mistakes were made by not following the right process. However, he did not believe it was done with intention. Even though mistakes were made, he did not agree with simply stating that the house no longer exists because once the new house is completed, the historical character of the neighborhood would remain the same. If the house is not allowed to proceed and taken down, there will not be any bricks, character, or anything.

Ms. Paterson felt it was important for everyone to understand that the Board's mission is not to determine the intentions or character of the applicant. Although many friends and neighbors attended in support of the applicant, the Board's mission is to decide whether what is in place now, based on a lot of criteria, is still a contributing structure. In her opinion, the structure is no longer historic.

Mr. Eddy agreed with Ms. Paterson's comments and stated it was not the Board's intent to be mean spirited. The Board's intent is to preserve what is going on in Boca Grande. To him, the lack of communication has been the issue and things might have been solved much easier had communication flowed a little easier and more frequently. However, the law is the law and there are FEMA regulations that cannot be refuted. The Boca Grande Historic Preservation Board has an important mission and they would have to do their job. He complimented staff stating they have done a tremendous job with this situation.

Ms. Paterson referred to comments made that if the Board takes the "contributing" status off this property that the structure would have to be torn down and she did not believe that was the case.

Ms. Sajgo stated there were options. The applicant would need to submit an application. However, this would not be done today. Today, staff was recommending the Board deny the amendment to the Certificate of Appropriateness. The applicant would need to come in with a different proposal, meet with staff, and put forth a proposal that would meet the regulations. How it would meet the regulations and so forth is beyond today's discussion.

Mr. Hartsell stated the changes before the Board today is simply code compliant construction for deteriorated materials. The new construction is based on the historic character of that structure/property at 920 Palm Avenue that the Board found to be contributing. The Board is deciding whether the proposed plan changes are still historic. If this is denied, he claimed that it would mean tearing the structure down.

Ms. Paterson stated that if we are starting from the ground up, it is no longer historic. This house would not get approved in a different location without the required setbacks or elevations. No one could duplicate that house in this district as is, yet the applicants want to duplicate it on this property.

Mr. Hartsell stated that although the materials are different the historic character stays the same.

After further discussion, it was decided that the public portion of the meeting should be closed and that a discussion should take place amongst the Board only.

Mr. Caldwell stated that part of the Board's job allows the amendment to a Certificate of Appropriateness. **He made a motion to amend the Certificate of Appropriateness as submitted by the applicant, seconded by Mr. Winterer.**

Mr. Savio asked for more clarification on the issue of whether this building would have to be torn down if the Board removed the "contributing" status. In other words, would they be allowed to apply for a variance or would the new structure have to abide by the setbacks and therefore be demolished?

Ms. Sajgo stated they would have to submit the plans and they would be reviewed as a new house. She could not say one way or the other what would be decided because many people in the County work with her on these projects. What was submitted so far was for this project to continue as a historic project. It was never submitted as new construction.

Mr. Krebs stated he would not be able to submit drawings that do not comply with setbacks and FEMA regulations for new construction. There must be proper elevation and proper setbacks. They would have to apply for relief of zoning requirements. He stated the house would be gone if the decision is to remove the contributing status because the Building Official cannot approve the plan changes.

Mr. McIntosh reminded the Board that they should not be considering the impact of their decision on making a ruling. The decision needs to be based on whether what is before them today meets the requisite criteria and whether or not that building, as it is proposed, maintains its historic designation. It is very clear what the Board must abide by when making their decision. It should not be decided by other factors.

Mr. Winterer withdrew his second.

Mr. Savio seconded the motion. The motion was called and failed 5-2. Mr. Savio (in favor), Ms. Paterson (opposed), Mr. Caldwell (in favor), Mr. Seibert (opposed), Mr. Eddy (opposed), Ms. Robinette (opposed), and Mr. Winterer (opposed).

Mr. Eddy made a motion to accept the staff recommendation, seconded by Ms. Paterson. The motion passed 5-2. Ms. Paterson (in favor), Mr. Seibert (in favor), Mr. Eddy (in favor), Ms. Robinette (in favor), Mr. Winterer (in favor), Mr. Caldwell (opposed), and Mr. Savio (opposed).

Mr. Hartsell asked for the specific findings; therefore, Mr. Seibert read the following:

- Deny the request under COA2015-00183 for amendment of COA2014-00156 to allow the plan changes the applicant is proposing under RES2015-00402 for the renovation and addition to the main house.
- Take no action on the request under COA2015-00183 for an amendment of COA2014-00156 to allow the changes the applicant is proposing under RES2015-00674 for the interior/exterior remodel of detached guest house.
- Make a finding that the subject property has been designated under Chapter 22 of the LDC and on the basis of staff analysis the project proposed under COA2015-00183 is not in compliance with the Secretary of the Interior's Standards for Rehabilitation and with Chapter 22 of the LDC.

- On the basis of staff analysis, direct staff to initiate the process to change the status of the property from contributing to non-contributing.
- On the basis of staff analysis, make a determination that the historic building no longer exists and the property will not continue to be historic after the work described under COA2015-00183 is completed and as a result the project should be considered a substantial improvement and not an exception from substantial improvement under Florida Building Code Chapter 12 Historic Buildings Section 1201 General 1201.3 Flood Hazard Areas.
- Recommend that the Zoning Director rescind administratively approved (HD) ADD2014-00227.

For the record, Mr. Hartsell submitted letters from the public in support of the project.

Agenda Item 4 – Items by the Public; Committee Members; Staff

Public - None

Committee Members

Boca Grande Guidelines

Ms. Paterson stated she had been speaking with Ms. Miller regarding the Boca Grande Design Guidelines booklets. She had thought copies were kept at the Boca Grande Community Center and discovered they no longer were. She also thought the Johann Fust Library would have copies, but they only have one for the public to view. Ms. Paterson stated she was told by Ms. Miller that the County has this booklet on-line and that it would be helpful if the public were informed of that link. She felt that many of the public speakers might not have been knowledgeable of the guidelines. If they were able to review them on-line, they might realize the Board’s mission and why decisions from this Board cannot be based on emotions or people’s intentions.

Mr. Caldwell felt that was up for interpretation because he personally was fully aware of the guidelines and he felt it was still in the Board’s purview to approve this proposal.

Ms. Sajgo stated staff could send out an e-mail to the interested parties list informing them of the link so they can access the guidelines on-line.

Information on Non-Contributing Houses

Ms. Paterson mentioned that she had been showing an agent a non-contributing house in the district. The agent stated that they had contacted the Community Development Office and spoke to Nettie Richardson to see if a non-contributing house could be torn down. She was told by Ms. Richardson that they needed to contact Ms. Sajgo to get approval.

Ms. Sajgo stated the demolition would have to come to the Boca Grande Historic Preservation Board. Also, non-contributing structures are sometimes not in compliance but might be legally non-conforming. The person might be better off keeping them as opposed to tearing them down and trying to meet the modern code. The agent should have been told that we needed a meeting so the agent could do their due diligence.

Representation by the County Attorney's Office

Mr. Seibert stated he was very grateful that a representative from the Attorney's office was in attendance at today's meeting. He noted there would be some contentious cases coming up in the near future, so he hoped a representative would be present at those meetings as well. Their presence is very appreciated.

Staff - None

Agenda Item 5 – Adjournment – Next Meeting Date

The next meeting is scheduled for Wednesday, February 10, 2016.

Mr. Eddy made a motion to adjourn, seconded by Ms. Paterson. The meeting adjourned at 12:45 p.m.

DRAFT



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>2016-00610</u>	Designation No. <u>H2 90 05 01</u>	Date Filed:
---------------------------	------------------------------------	-------------

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
--	---	---	---

Name of Project: GASPARILLA INN

Location: 500 PALM AVE. / 888 7TH STREET E., BOCA GRANDE, FL, 33921

STRAP No.: 14-43-20-00-00002.0000

Name of Applicant or Agent*: TIM KREBS, ARCHITECT

*(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)*

Address: 1460 McCALL RD. S., EDGEWATER CENTER, SUITE 4A

City, State, Zip: ENGLEWOOD, FL, 34223

Phone Number: 941-475-7327 Fax Number: 941-474-0384

Email Address: tim@takrebs.com

Name of Historic District (if applicable): BOCA GRANDE

Check all that apply: Building Archaeological Site Object Landscape Feature

Project Description (describe all work proposed):

Alteration Demolition New Construction Reconstruction Rehabilitation Relocation

Narrative: REMOVE EXISTING VINYL SIDING AND REPLACE WITH NEW HARDIE SIDING

Change in Use: No Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? No Yes

If yes, explain. _____

Has a development order or exemption been applied for prior to or concurrent with this application? No Yes

If yes, explain. _____

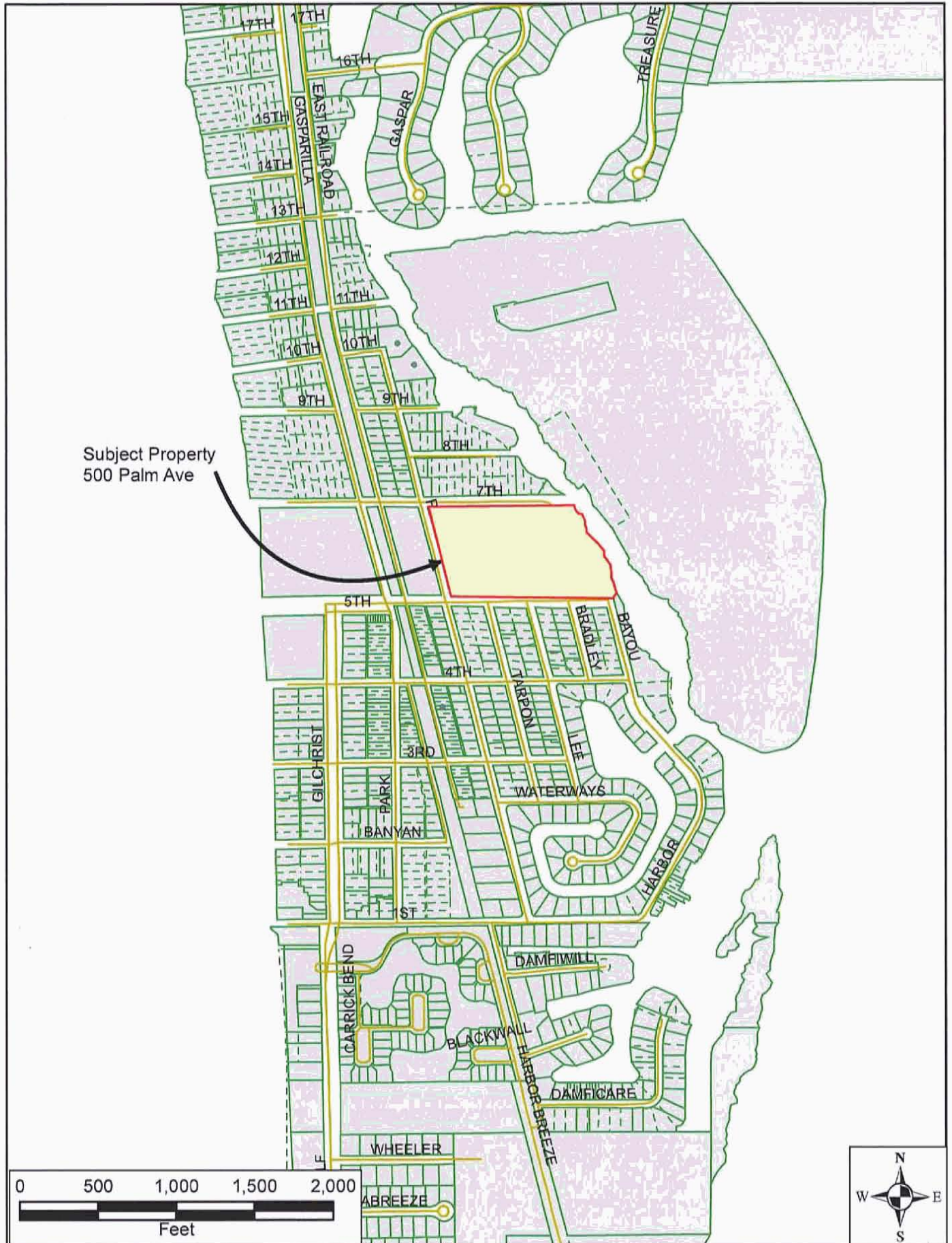
***** FOR STAFF USE ONLY *****	
Date Issued:	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED*
Certified by: _____	
*Explanation attached	

SUBMITTAL REQUIREMENTS	
	Full plans and specifications (12 sets of plans, 1 set of specification).
	Site plan (12).
	Samples of materials if needed to fully describe the proposed appearance, color, feature, materials, or design of the building(s), structure(s), and any outbuilding, wall, courtyard, fence, landscape feature, paving, storage or exterior lighting.
	Adequate information to enable the Historic Preservation Board to visualize the effect of the proposed action of adjacent buildings and streetscape within a historic district.
	Demolition applications only: Provide plans for the reuse of the property.
	Moving applications only: Provide reason for the proposed move, and a description of the new location and settings.
ADDITIONAL SUBMITTAL ITEMS FOR ARCHAEOLOGICAL SITES	
	Full plans and specifications indicating areas of work that might affect the surface and subsurface of the archaeological site or sites.
	Proposed mitigation measures.
	Archaeological surveys, if required by the Historic Preservation Board, including disturbance of human burials.

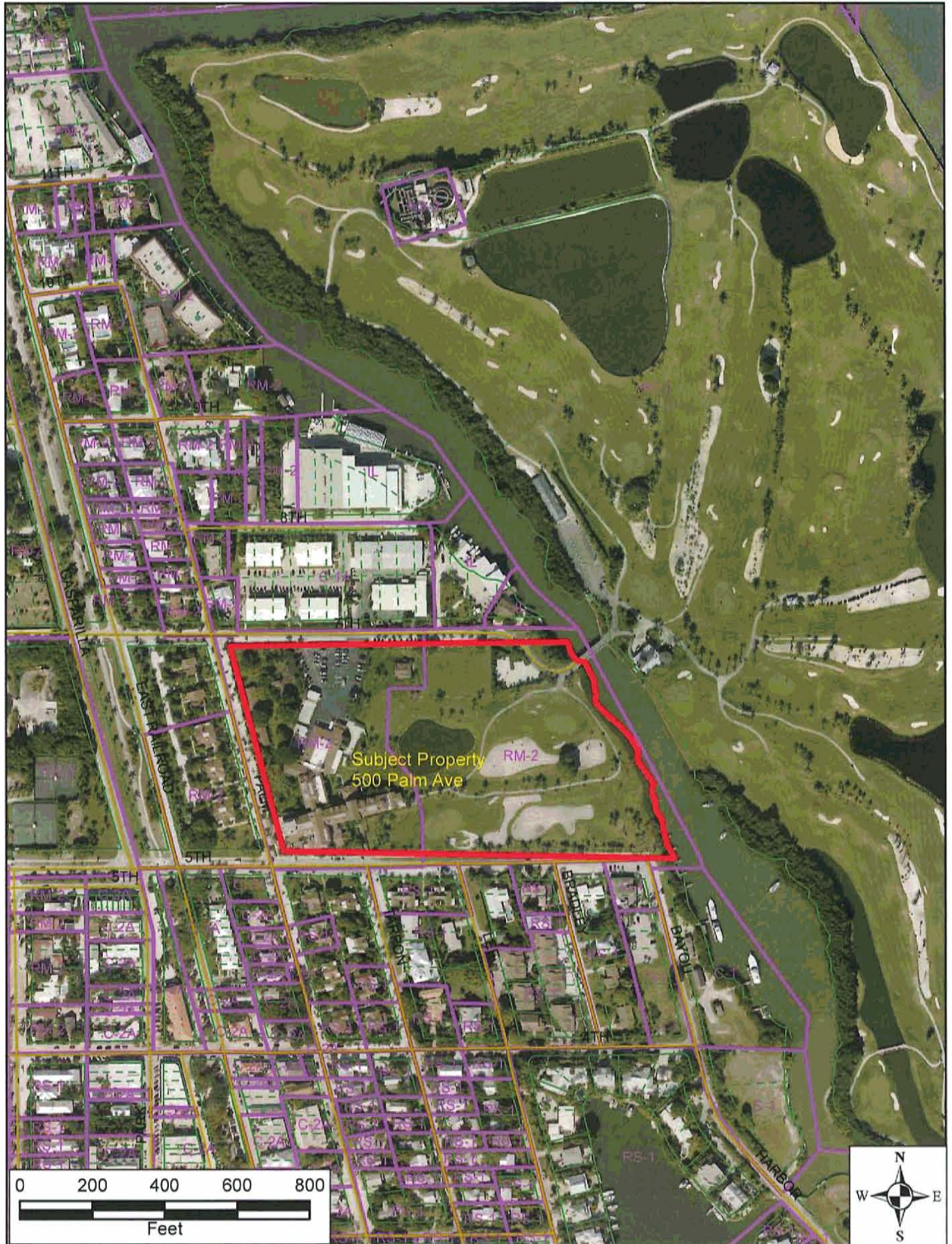
SAMPLE OF SIDING



COA2016-00010 Gasparilla Inn Hotel 500 Palm Ave



COA2016-00010 Gasparilla Inn Hotel 500 Palm Ave



BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness
CASE NUMBER: COA 2016-00010
PROJECT NAME: Gasparilla Inn Hotel
ADDRESS: 500 Palm Ave., Boca Grande Fl 33921
HEARING DATE: February 10, 2016

SUMMARY

The proposed project entails the replacement of the siding on the Gasparilla Inn Hotel and is part of the ongoing rehabilitation and maintenance of the building, which is a contributing property in the Boca Grande Historic District HD90-05-01. The STRAP number is 14-43-20-00-00002.0000, and the address is 500 Palm Ave. Staff analyzed the subject proposal for compliance with the Secretary of the Interior's Standards for Rehabilitation and for compliance with Chapter 22 (Historic Preservation) of the Land Development Code (LDC).

STAFF ANALYSIS

Background: In addition to being a contributing resource in the locally designated Boca Grande Historic District, The Gasparilla Inn was listed on the National Register of Historic Places in March 2008. The National Register listing states:

The Gasparilla Inn ... is locally significant under Criterion A in the area of Recreation and Culture and for the association of the hotel and its recreational facilities with the development of recreation and tourism in Florida and the town of Boca Grande beginning in 1911. The Inn itself is also significant under Criterion C in the area of Architecture as a large wood frame hotel building that was expanded between 1911 and 1948. Originally constructed as a 20-room Frame Vernacular style building, the owners decided to enlarge the hotel and make it a world-class resort. In 1912 they hired Tampa architect Francis J. Kennard, the designer of the Belleview-Biltmore Hotel (N.R. listed 1979) near Clearwater, Florida, to draw plans for the hotel expansion which was completed between 1912 and 1915. The Gasparilla Inn is an excellent surviving example of an early Florida winter resort hotel and is the largest historic wood frame hotel in Florida after the Belleview-Biltmore.

It is important to note that the Belleview-Biltmore Hotel was closed in 2009 and its fate continues to be uncertain. Currently, the Gasparilla Inn is the largest historic wood frame hotel in Florida that is still in use.

The Gasparilla Inn Hotel has an ongoing rehabilitation and maintenance plan. On March 13, 2013 the Board approved COA 2013-00011 for the rehabilitation of the rooms on the third story of the north wing and for the replacement of windows in the guest rooms. (Attachment COA2013-00011 approved plans and staff report.)

Proposal: The current proposal is to remove the existing vinyl siding and replace it with HardiePlank lap siding. HardiePlank siding is a fiber cement siding made of composite material including sand, cement and cellulose fibers. It is a non-combustible material requiring little maintenance once it is installed. The current siding on the Gasparilla Inn is synthetic vinyl siding and not the original wood siding. The proposal calls for replacing one type of synthetic siding (vinyl siding) with another synthetic siding (HardiePlank siding). No historic materials will be affected.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the Secretary of the Interior's Standards also refer to the discussion above.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed replacement of vinyl siding with HardiePlank siding will allow the Inn to be continued to be used as a hotel. The proposed replacement of one synthetic siding with another more durable synthetic siding does not change the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The character of the property is being retained and preserved. The proposed replacement of one synthetic siding with another more durable synthetic siding does not include the removal of historic material or alteration of features and spaces that characterize the property.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. N/A

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

The original wood siding is no longer present on the Gasparilla Inn hotel. Instead the building features vinyl siding which has deteriorated. The proposed replacement of the existing vinyl siding with HardiePlank siding will more closely resemble the visual quality of the original horizontal wood siding.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment. N/A

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. N/A

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant
- Make a finding that the subject property has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project is in compliance with the Secretary of the Interior Standards for Rehabilitation and with Chapter 22 of the LDC.

21



Attachment COA2013-00011 approved on March 13 2013 –
Approved plans and staff report

**BOCA GRANDE HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00011—Gasparilla Inn Rehab 500 Palm Ave. Boca Grande Fl 33921

HEARING DATE: March 13, 2013

SUMMARY

The proposal is part of the ongoing rehabilitation and maintenance of the Gasparilla Inn., which is a contributing property in the Boca Grande Historic District HD 90-05-01. Staff analyzed the project for compliance with the Secretary of the Interior's Standards for Rehabilitation. The STRAP number is 14 43 20 00 00002.0000; the address is 500 Palm Ave. in Boca Grande.

STAFF ANALYSIS

Background:

In addition to being a contributing resource in the locally designated Boca Grande Historic District, The Gasparilla Inn was listed on the National Register of Historic Places in March 2008. The National Register listing states:

The Gasparilla Inn ... is locally significant under Criterion A in the area of Recreation and Culture and for the association of the hotel and its recreational facilities with the development of recreation and tourism in Florida and the town of Boca Grande beginning in 1911. The Inn itself is also significant under Criterion C in the area of Architecture as a large wood frame hotel building that was expanded between 1911 and 1948. Originally constructed as a 20-room Frame Vernacular style building, the owners decided to enlarge the hotel and make it a world-class resort. In 1912 they hired Tampa architect Francis J. Kennard, the designer of the Belleview-Biltmore Hotel (N.R. listed 1979) near Clearwater, Florida, to draw plans for the hotel expansion which was completed between 1912 and 1915. The Gasparilla Inn is an excellent surviving example of an early Florida winter resort hotel and is the largest historic wood frame hotel in Florida after the Belleview-Biltmore.

It is important to note that the Belleview-Biltmore Hotel was closed in 2009 and its fate continues to be uncertain. (See <http://www.spiritsofbellevuebiltmore.com>). This fact makes the Gasparilla Inn the largest historic wood frame hotel in Florida that is still in use.

According to the National Register listing: *"The Gasparilla Inn & Club is a member of Historic Hotels of America (HHA) and the National Trust for Historic Preservation (NTHP). As a member The Gasparilla Inn & Club is one of the more than 200 significant properties in the U. S. recognized by the NTHP for preserving and maintaining their historic integrity, unique architecture and ambiance. Member hotels must be at least 50 years old, and either listed in, or eligible for listing in the National Register of Historic Places, or recognized locally as having historic significance."*

The Proposal:

The proposal calls for the implementation of two rehabilitation projects: the rehabilitation of rooms on the 3rd story of the north wing and the replacement of windows in guest rooms.

The rehabilitation of rooms on the 3rd story of the north wing: The 3rd story of the north wing was originally set aside as sleeping quarters for hotel employees. Subsequently these sleeping areas were vacated and the resulting empty spaces used for storage. In 2006 the partition walls were removed leaving only the original structural framing in place.

The existing floor plan of the 3rd story of the north wing shows 6 bedrooms, 2 bathrooms, and 2 storage areas. The proposal calls for consolidating and re-configuring the area in the 3rd story of the north wing to accommodate 4 guest suites each with its private bath. There would be no visible changes to the exterior of the building. The original windows would be replaced with new windows custom made to match the original window openings. (See discussion below)

The replacement of windows in guest rooms: The proposal calls for the replacement of windows in the guest rooms and the 3rd story of the north wing. Except for 3 casement windows, all the windows are 6/1 double hung windows. The proposal calls for the replacement of a total of 229 windows: 56 on the first floor, 104 on the second floor and 69 on the third floor. It should be emphasized that the proposal is for the replacement of windows in the guest rooms and that windows in the common areas will remain and continue to be maintained. The common areas include the main lobby, the shops, the restaurant, offices, stairways, Pelican Room and the southern entrance.

All windows will be replaced with the same type of window as the existing window. The replacement windows will be custom made windows and will be built to fit into the existing window openings – no existing interior or exterior window trim will be removed; the original wood trim materials will be preserved. The muntins of the replacement windows will be placed between the glass panes. The replacement window will be produced with clear impact glass so there will be no tint to change the appearance of the building. The frames will match the color of the existing windows which is important because the new windows will not contrast in color with the remaining windows. Additionally the replacement windows are guaranteed not to crack or yellow.

As the aerial view of the Gasparilla Inn illustrates, the building is located by itself on a large, open tract of land. As a result the windows – especially on the upper floors – are quite exposed to the elements and subject to wind and other weather damage. Additionally, because the building is a hotel, the windows are subjected to heavy use by a constant stream of guests.

While the Inn has repaired existing windows for years, repairs are no longer feasible or practical. For instance: Some of the lower sashes do not open because they have broken counter balances and recovering the counterbalances would require cutting into the walls to access them. Some windows after years of repairs cannot be made fully operable or weather tight. Additionally, the exterior of the windows can only be cleaned using stairs and scaffolding which for the windows in the upper floors is a dangerous and time consuming task. Finally the Inn operates as a hotel and its guests expect that windows will meet their contemporary lifestyles needs – some of the existing windows do not meet these expectations.

Staff believes this is a well thought out project allowing for the preservation of the building's character.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the Secretary of the Interior's Standards also refer to the discussion above.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The proposed rehabilitation of the rooms on the third floor will allow the continued use of that space as a residential space. The proposed replacement of the windows will allow the Inn to be continued to be used as a hotel. Both of these changes require minimal changes to the defining characteristics of the building, site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

As noted above the character of the property is being retained and preserved. Windows in the guest rooms will be replaced with the same type of window as the existing window. The replacement windows will be custom made and will be built to fit into the existing window openings – no existing interior or exterior window trim will be removed; the original wood trim materials will be preserved. Windows in the common areas will remain and continue to be maintained. The common areas include the main lobby, the shops, the restaurant, offices, stairways, Pelican Room and the southern entrance.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. N/A

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

The proposal calls for removing the existing windows and replacing them with custom made windows that will match the design and visual qualities of the existing windows.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment. N/A

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. N/A

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the LDC.

PLANNING DIVISION



MEMORANDUM

To: Applicant for a Special Certificate of Appropriateness

From: Gloria M. Sajgo, AICP, Principal Planner 239 533 8311 sajgogm@leegov.com

Subject: Approved Special Certificate of Appropriateness(COA)

Date: March 14 2013

The Boca Grande Historic Preservation Board approved your request for Special Certificate of Appropriateness (COA), please find the approved plans attached.

Remember that to obtain approval for your Building Permit you will have to submit:

- ✓ **The attached plans as approved by the Historic Preservation Board**

Please contact me if you need assistance: Gloria Sajgo, 533-8311 sajgogm@leegov.com

Thank you.

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2013-00011

GASPARILLA INN REHAB
500 PALM AVE BOCA GRANDE 33921

FMSF #:

Contributing Non-Contributing Individual Designation Not Historical

YOU ARE HEREBY NOTIFIED that the Boca Grande Historic Preservation Board voted to:

- Approve
- Approve with Conditions
- Deny
- Continued

Date of Decision: 03/13/2013

The proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the proposed project as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the Land Development Code.

A copy of this notice, the Special Certificate of Appropriateness (and other documents if appropriate as noted below) have been furnished to the following persons:

GASPARILLA INN INC

Property Owner ___ with without Plans

Pam Houck/ Shawn Lamey

Director, Zoning Division with ___ without plans

ALL PHASE HOMES

Applicant ³³⁹²¹ with ___ without plans

Environmental Sciences

___ with without plans

Bob Stewart

without plans

Date: 03/14/2013

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2013-00011
FMSF #:

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
Designation No.:	HD90-05-01		
Name of Project:	GASPARILLA INN REHAB		
Location:	500 PALM AVE BOCA GRANDE 33921		
STRAP No.:	14-43-20-00-00002.0000		
Name of Applicant:	ALL PHASE HOMES		
Address:	2070 ILLINOIS AVE ENGLEWOOD, FL 34224		

YOUR APPLICATION FOR A SPECIAL CERTIFICATE OF APPROPRIATENESS HAS BEEN

APPROVED Certified by: Gloria Sajgo
Date Certified by Staff: 03/14/2013

APPROVED WITH CONDITIONS For the reason outlined below

DENIED For the reason outlined below

CONTINUED

COMMENTS:

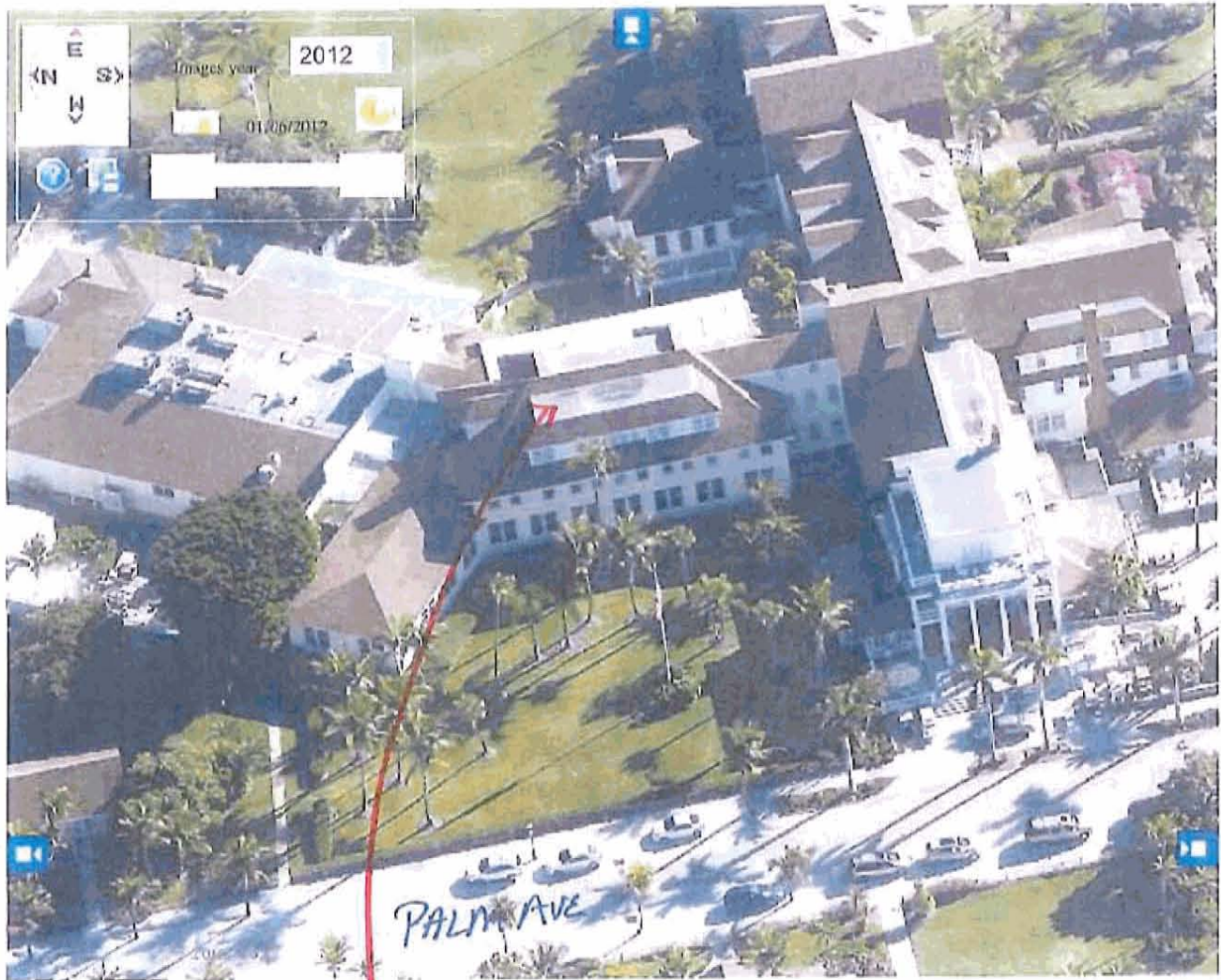
NOTICE OF APPEAL RIGHTS

Pursuant to LDC § 22-42, any owner of a building, structure or site affected by the operation of this chapter may appeal a decision of the Historic Preservation Board by filing a written notice of appeal within 15 days of the date of this decision. The notice of appeal must state the decision being appealed, the grounds for the appeal, and a summary of the relief sought. The notice must be filed with the Lee County Hearing Examiner and a copy provided to Historic Preservation Board staff, and must otherwise comply with LDC § 34-145(a), pertaining to appeals from administrative matters, and any county administrative codes adopted to implement the provisions of LDC Chapter 34. Notwithstanding the foregoing, except as may be required by F.S. § 163.3215, and then only pursuant to that statute, a third party does not have standing to appeal a decision rendered under the provisions of LDC Chapter 22.



EAST ELEVATION 3rd Story Wing^{North}

OK GMS



WEST ELEVATION - 3rd Story Wing North

OKoms



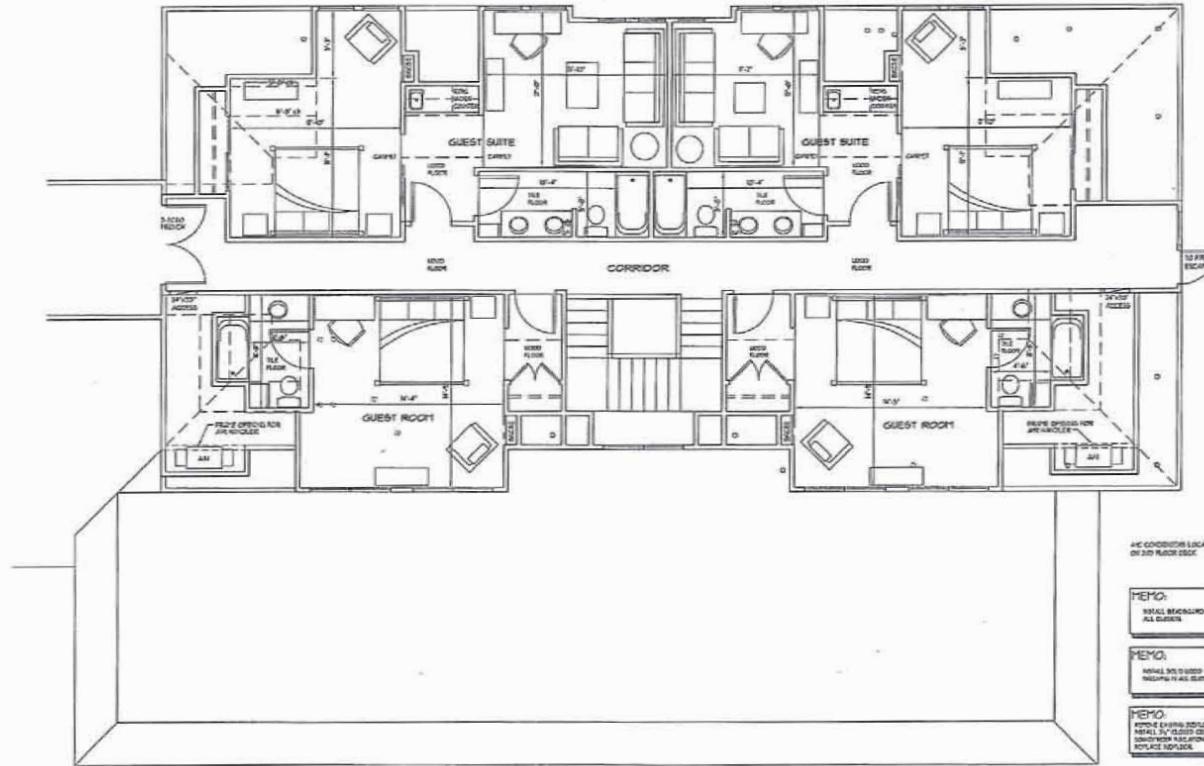
EXISTING FLOOR PLAN
SCALE = 1/4" = 1'-0"

*OK GMS
March 14, 2013
per COA 2013-00011*

AS-BUILT PLANS & PHOTOS FOR
GASPARILLA INN
3RD FLOOR RENOVATION PROJECT
1901 AVE. BOCA GRANDE, FLORIDA

CRIMICI
Lo Krebs LLC
2400 W. 14th St.
Boca Grande, FL 34109
813-947-3225

revisions:
date: job no.
1 of 1
drawing:



FLOOR PLAN
SCALE = 1/4" = 1'-0"

- 63 + 4 - 1 UNIT
- 60 IS THE LIMIT
- COMPLIES WITH THE GASPARILLA ACT

4" CIRCUMFER LUMBER
BY 2" PLATE EDGE

MEMO:

SMALL REINFORCING IRON
ALL GABLES

MEMO:

SMALL BRICKS
NEARBY ALL GABLES

MEMO:

REMOVE EXISTING BRICKWORK
REPLACE BY BLOCKS
CONSTRUCTIVE REPAIRS AND
REMOVE BRICKWORK

*OK 6ms
per CPA 2013-
00011
March 14, 2013*

revisions:
1-3-0
2-10-0



3rd Floor Renovation:
The Gasparilla Inn & Club
Boca Grande, FL

calcs
architects
1400 W. 10th St.
Boca Grande, FL 34109
(813) 475-1227

date: 9-2-09
job no. 1000
1 of 1
drawing:



Lemon Bay Glass & Mirror
 2840 Avenue of the Americas
 Englewood, Florida 34224

GASPRILLA INN WINDOW ORDER SIZES

02/11/2013

WINDOWS ARE VINYL DOUBLE HUNG SERIES 400 EQUAL LEG
 WHITE FRAMES - CLEAR INSULATED IMPACT GLASS (FBC)
 DOUBLE APPLIED CONTOURED MUNTINS TRUE DIVIDED-TOP SASH ONLY - 6 OVER 0

FIRST FLOOR		
	QUANTITY	SIZE
DBL HUNG	14	33-5/8" x 59"
DBL HUNG	3	31-1/2" x 72-5/8"
DBL HUNG	31	35-1/2" x 87-1/8"
DBL HUNG	8	35-1/2" x 84-3/4"



SECOND FLOOR		
	QUANTITY	SIZE
DBL HUNG	73	35-1/8" x 75"
DBL HUNG	10	31-3/4" x 69"
DBL HUNG	15	33-1/2" x 59"
DBL HUNG	4	29-5/8" x 59"
DBL HUNG	1	35-1/2" x 70-3/4"
DBL HUNG	1	26" x 75"



THIRD FLOOR		
	QUANTITY	SIZE
DBL HUNG	3	29" x 48"
DBL HUNG	21	29-1/2" x 63"
DBL HUNG	8	33-1/2" x 67-1/8"
DBL HUNG	14	29-1/2" x 67"
DBL HUNG	4	35-1/2" x 67"
DBL HUNG	9	29-5/8" x 58-3/4"
CASEMENT	3	23-1/4" x 51-3/4"
DBL HUNG	2	19-1/2" x 22-1/2"
DBL HUNG	2	27-1/2" x 22-1/2"
DBL HUNG	1	25-3/4" x 36-1/2"
DBL HUNG	1	21-1/2" x 22-1/2"
DBL HUNG	1	23-1/2" x 24-1/2"
TOTAL	229	



*OK GMS
 Per COA 2013-00011
 March 14, 2013*

GASPRILLA INN WINDOW REPLACEMENT
 WHITE DBL HUNG - CLEAR GLASS - MATCHING MUNITNS

2/8/2013

FIRST FLOOR

COMMON	
14ea	34-1/8 x 59-1/2
3ea	32 x 73-1/8
31ea	36-1/8 x 87-5/8
8ea	36 x 85-1/4

ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
101	34-1/4	59-5/8												
102	32-1/8	74	32	73-3/4	32-3/8	73-1/8								
103	34-1/4	59-5/8	36-1/8	87-5/8	36-1/4	87-3/4								
105	36-1/8	87-7/8	36-1/8	87-7/8	34-3/8	59-1/2	34-1/2	59-1/2						
106	34-1/4	59-5/8	36-1/8	87-5/8	36-1/8	87-5/8	36-1/8	87-5/8	36-1/8	87-5/8	36-1/8	87-5/8		
107	36-1/4	87-3/4	36-1/4	87-3/4	34-1/8	59-3/4								
108	36-1/4	87-3/4	36-1/4	87-7/8	34-1/4	59-3/4								
109	34-1/4	59-3/4	36-1/4	87-5/8	36-1/8	87-3/4								
110	34-1/4	59-3/4	36-1/8	87-3/4	36-1/8	87-3/4								
111	36-1/4	87-5/8	36-1/8	87-5/8	34-1/4	59-3/4								
112	34-1/4	59-3/4	36-1/8	87-5/8	36-1/8	87-3/4								
115	34-1/4	59-5/8	36-1/4	87-7/8	36-1/4	87-3/4								
116	34-1/4	59-3/4	36-1/8	87-5/8	36-1/8	87-5/8								
118	36-1/8	85-1/2	36-1/8	87-7/8	36-1/4	87-3/4	36-1/4	85-1/4	36	85-1/2	36	85-1/4	36	85-1/2
118B	34-1/8	58-5/8	36-1/8	85-1/2	36	85-1/2	36	85-1/2	36-1/8	87-5/8	36-1/4	87-3/4	36-1/4	87-3/4
118C	36-1/4	87-1/2												

*per copy 1000-0001
 March 14, 2013
 OK 6/15/13*

SECOND FLOOR

COMMON		ODD	
73ea	36 x 75-1/2	1ea	36 x 71-1/4
10ea	32-1/4 x 69-1/2	1ea	26-1/2 x 75-1/2
15ea	34 x 59-5/8		
4ea	30-1/8 x 59-1/2		

ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
2nd Floor														
205	36	75-3/4	36-1/4	75-3/4	36	75-5/8								
206	36-1/4	75-3/4	36-1/8	75-5/8	36	75-5/8	36-1/8	75-3/4	36-1/8	75-5/8				
210	32-1/4	69-1/2	32-1/4	69-1/2	32-3/8	69-5/8	32-3/8	69-5/8	32-3/8	69-3/4				
211	36	75-3/4	36-1/8	75-3/4	34-1/8	59-3/4								
215	36-1/4	75-3/4	36-1/4	75-5/8	34-1/8	59-5/8								
216	32-1/4	69-5/8	32-1/4	69-3/4	32-1/4	69-5/8								
217	34-1/4	59-5/8	36-1/8	75-7/8	36-1/8	75-5/8								
218	32-1/4	69-3/4	32-1/4	69-3/4	34-1/4	59-7/8	34-1/4	59-7/8						
219	36-1/8	75-1/2	36-1/4	75-3/4	34-1/4	59-7/8	34-1/4	59-7/8						
220	36-1/8	75-7/8	36-1/4	75-5/8	34-1/8	59-3/4								
221	36-1/4	75-1/2	36-1/4	75-1/2	34-1/8	59-3/4								
222	34-1/8	59-3/4	36-1/4	75-5/8	36-1/8	75-3/4								
223	34	59-3/4	36-1/8	75-5/8	36-1/8	75-3/4								
224	36-1/4	75-5/8	36-1/4	75-5/8	34-1/8	59-3/4								
225	36-1/8	75-5/8	36-1/8	75-5/8	34-1/4	59-3/4								
226	34-1/4	59-5/8	36-1/8	75-3/4	36-1/4	75-3/4	36-1/4	75-5/8	36-1/4	75-3/4				
227	34-1/4	59-3/4	36-1/8	75-3/4	36-1/8	75-3/4	36-1/4	75-3/4	36-1/4	75-3/4				
228	36-1/8	75-1/2	36-1/8	75-1/2	36-1/8	75-1/2	30-1/8	59-1/2						
229	26-1/2	75-1/2	36-1/8	59-3/4	36-1/8	75-1/2	30-1/8	59-1/2						
230	36-1/4	75-3/4	36-1/4	75-3/4	30-1/8	59-3/4								
231	30-1/4	59-1/2	36-1/8	75-1/2	36-1/4	75-1/2								
232	36-1/8	75-1/2	36-1/8	75-1/2	36-1/8	75-5/8	36-1/4	75-5/8	36-1/4	75-5/8				
233	36-1/4	75-5/8	36-1/8	75-5/8	36	71-1/4	36-1/4	75-3/4	36-1/4	75-3/4				
234	36-1/8	75-1/2	36-1/8	75-5/8	36-1/4	75-5/8								
235	36-1/4	75-7/8	36-1/8	75-3/4	36-1/8	75-3/4	36-1/8	75-3/4						
236	36-1/8	75-3/4	36-3/4	75-3/4	36-1/4	75-5/8								
238	36-1/8	75-3/4	36-1/4	75-1/2	36-1/8	75-1/2	36-1/8	75-1/2	36-1/8	75-1/2				
239	36-1/4	75-5/8	36-1/4	75-3/4										
241	36	75-3/4	36-1/8	75-3/4										

*11,000.00
 3/22/13
 March 2013
 OK
 11,000.00*

THIRD FLOOR

COMMON		ODD	
3ea	29-1/2 x 48-1/2	1ea	26-1/4 x 37
21ea	30 x 63-1/2	1ea	22 x 23
8ea	34 x 67-5/8	2ea	20 x 23
14ea	30 x 67-1/2	2ea	28 x 23
4ea	36 x 67-1/2	1ea	24 x 25

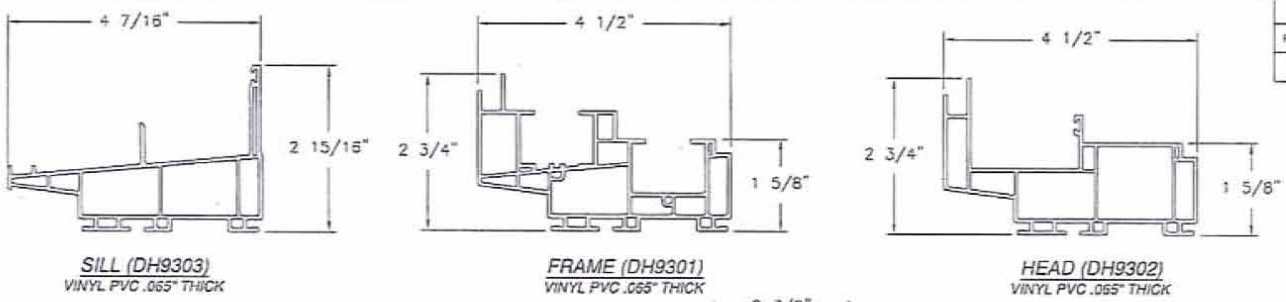
ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
3rd Floor														
301	26-1/4	37	29-1/2	48-1/2	29-1/2	48-1/2	29-1/2	43-1/2	27-1/2	43-1/4				
305	30-3/8	63-3/4	30-3/8	63-5/8	30-3/8	63-7/8	30-1/8	63-7/8						
307	30	64	30	64	30-1/4	64								
308	30	67-1/2	30	67-1/2										
309	30	63-1/2	30-1/4	63-1/2										
311	30	63-1/2	30	63-3/4	22	23								
315	24	25	30-1/8	63-3/4	30-1/4	63-3/4								
317	20	23	20	23	34-1/8	67-5/8	34-1/8	67-3/4						
318	34-1/4	67-3/4	34-1/8	67-7/8	34-1/4	67-7/8	34	67-3/4						
319	34-1/8	67-3/4	34-1/8	67-3/4	28	23								
321	28	23	30-1/8	63-3/4	30-1/4	63-3/4								
323	30	63-5/8	30-1/8	63-3/4	30-1/8	63-3/4	30	63-3/4	30-1/4	63-7/8	30-1/8	63-3/4		
326	30-1/8	67-5/8	30-1/8	67-5/8	36-1/8	67-3/4	36-1/4	67-5/8	30-1/8	67-1/2				
327	36	67-1/2	36	67-1/2	30-1/8	67-5/8	30-1/8	67-5/8	30-1/8	67-1/2				
328	30-1/8	67-5/8	30-1/8	67-1/2	30	67-1/2								
329	30-1/8	67-5/8	30-1/8	67-3/4	30-1/8	67-5/8								

SERVICE AREA

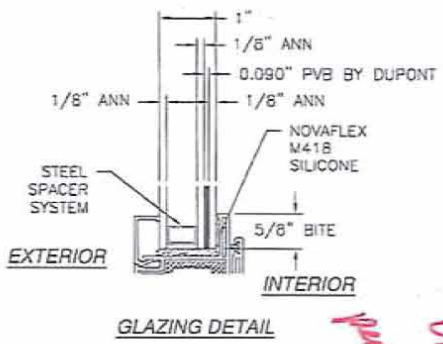
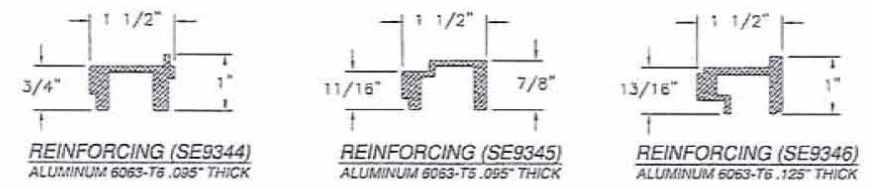
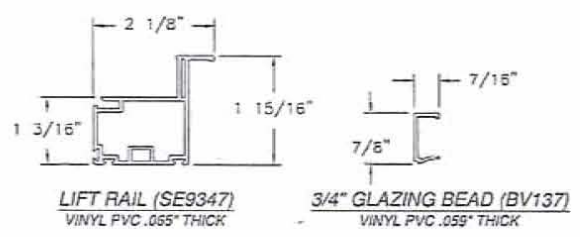
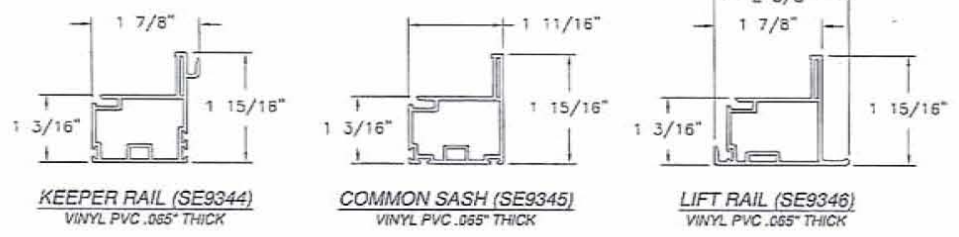
COMMON	
9ea	30-1/8 x 59-1/4
3ea	23-3/4 x 52-1/4

ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
Future Rm														
	30-1/8	59-1/2	30-1/8	59-1/2										
	30-1/4	59-1/2	30-1/8	59-1/2										
CASEMENT	23-3/4	52-1/4	23-3/4	52-1/4	23-3/4	52-1/4								
	30-1/8	59-1/2	30-1/8	59-1/2										
	30-1/8	59-1/2	30-1/8	59-1/2										
	30-1/8	59-1/4												

Handwritten notes:
 OK GMS
 per COA
 2013-0001
 2/21/13



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED ANCHORS LOCATION	04/26/12	R.L.



NUMBER OF ANCHOR LOCATIONS REQUIRED

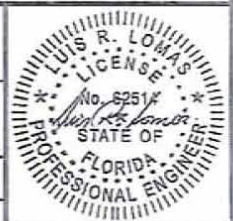
Window Height (in)	Window Width (in)													
	18.00		24.00		30.00		36.00		42.00		48.00		54.00	
	Head	Jamb	Head	Jamb	Head	Jamb	Head	Jamb	Head	Jamb	Head	Jamb	Head	Jamb
24.00	2	2	2	2	3	2	3	2	4	2	4	2	4	3
30.00	2	3	2	3	3	3	3	3	4	3	4	3	4	3
36.00	2	3	2	3	3	3	3	3	4	3	4	3	4	4
42.00	2	4	2	4	3	4	3	4	4	4	4	4	4	4
48.00	2	4	2	4	3	4	3	4	4	4	4	5	4	5
54.00	2	4	2	4	3	4	3	4	4	5	4	5	4	6
60.00	2	5	2	5	3	5	3	5	4	5	4	6	4	6
66.00	2	5	2	5	3	5	3	5	4	6	4	6	4	7
72.00	2	6	2	6	3	6	3	6	4	6	4	7	4	7
78.00	2	6	2	6	3	6	3	6	4	7	4	7	4	8
84.00	2	6	2	6	3	6	3	6	4	7	4	8	4	9

Handwritten note: Per Code 3101.5 - 11/30/11
 Ok 6/11/12
 3101.5

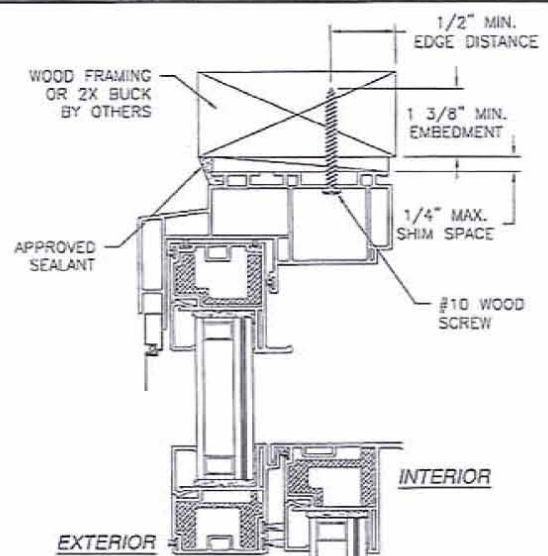
WinDoor INCORPORATED
 7500 AMSTERDAM DRIVE
 ORLANDO, FL 32832
 Phone: 407.481.4218 Fax: 407.481.4219 www.windowinc.com

V-400 PVC DOUBLE HUNG
 54 X 84 REINFORCED LMI & SMI
 CHARTS AND COMPONENTS

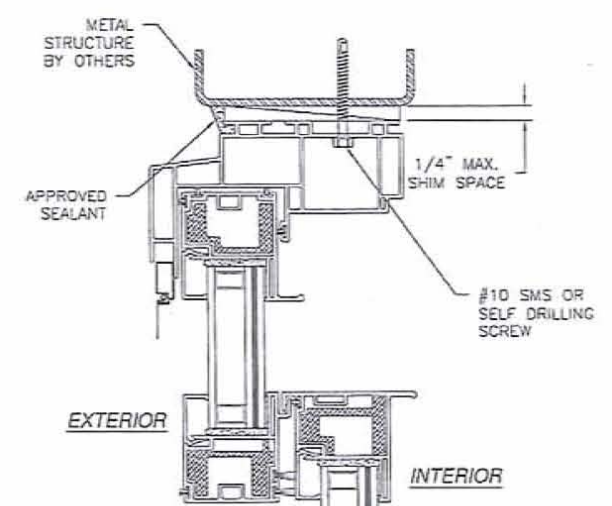
DRAWN: R.L. DWG NO: 08-01416 REV A
 SCALE NTS DATE 11/30/11 SHEET 2 OF 4



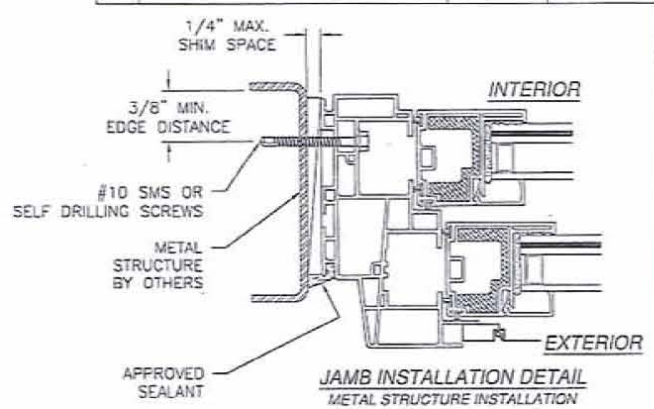
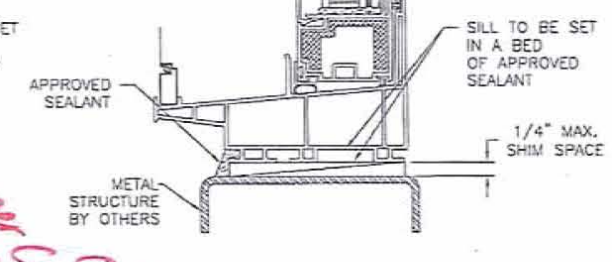
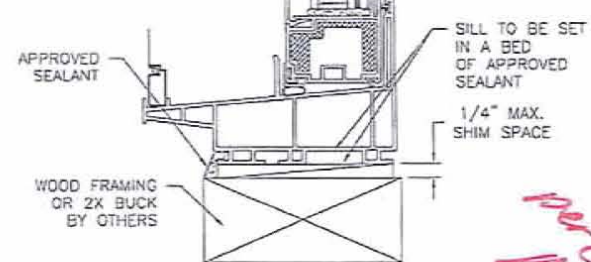
REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED ANCHORS LOCATION	04/26/12	R.L.



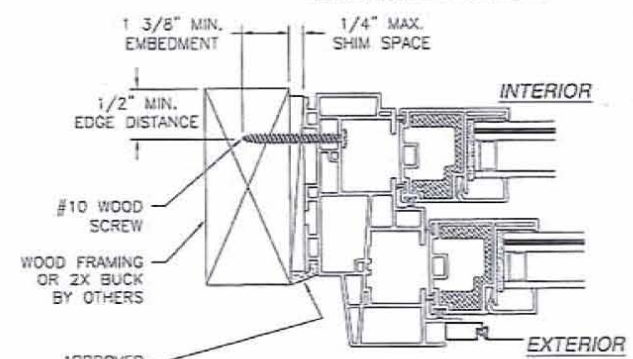
VERTICAL CROSS SECTION
WOOD FRAMING OR 2X BUCK INSTALLATION



VERTICAL CROSS SECTION
METAL STRUCTURE INSTALLATION



JAMB INSTALLATION DETAIL
METAL STRUCTURE INSTALLATION



JAMB INSTALLATION DETAIL
WOOD FRAMING OR 2X BUCK INSTALLATION

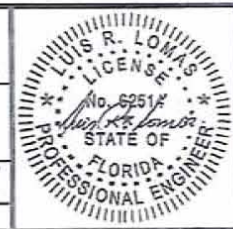
NOTE:
INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT SHOWN FOR CLARITY.

*per Call OK SMS
March 19 2013 - call
1199-3107*

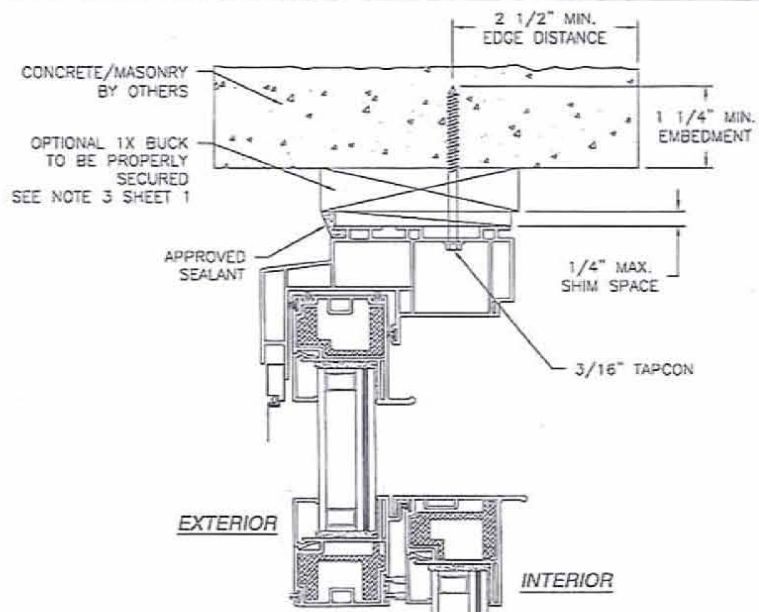
WinDoor INCORPORATED
7500 AMSTERDAM DRIVE
ORLANDO, FL 32832
Phone: 407.493.8494
Fax: 407.481.0509
www.windourinc.com

V-400 PVC DOUBLE HUNG
54 X 84 REINFORCED LMI & SMI
INSTALLATION DETAILS

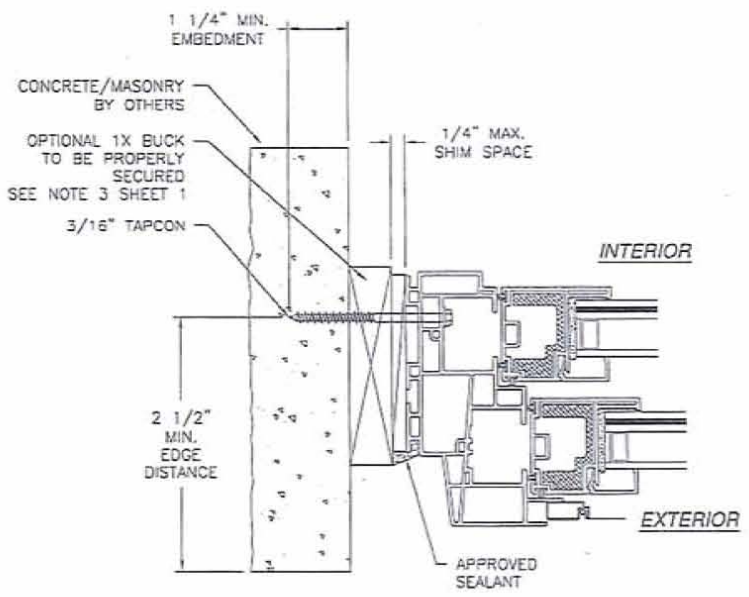
DRAWN: R.L.	DWG NO. 08-01416	REV A
SCALE NTS	DATE 11/30/11	SHEET 3 OF 4



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED ANCHORS LOCATION	04/26/12	R.L.



VERTICAL CROSS SECTION
CONCRETE/MASONRY INSTALLATION



JAMB INSTALLATION DETAIL
CONCRETE/MASONRY INSTALLATION

NOTE:
INTERIOR AND EXTERIOR FINISHES, BY OTHERS, NOT
SHOWN FOR CLARITY.

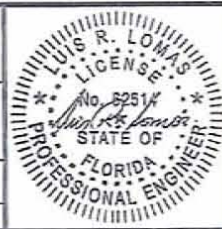
*per con 2013-0011
March 14, 2013
OK GMS*

WinDoor
INCORPORATED

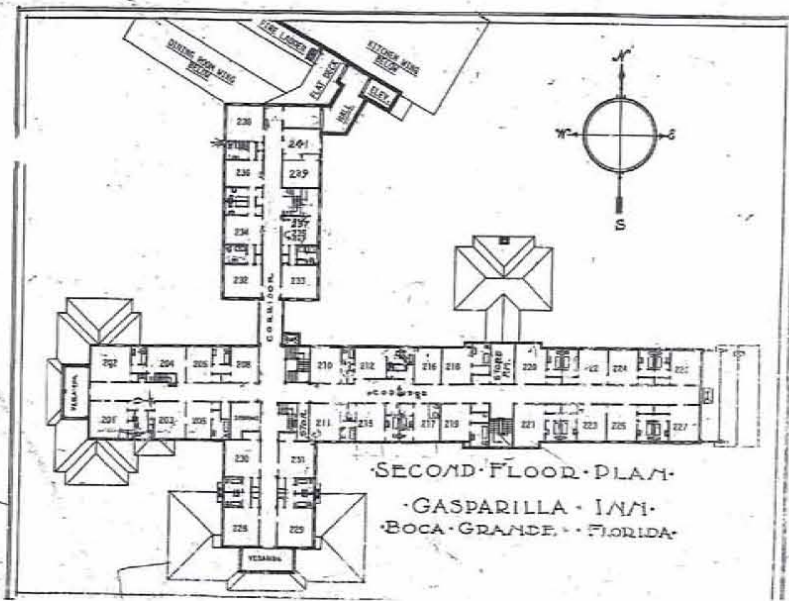
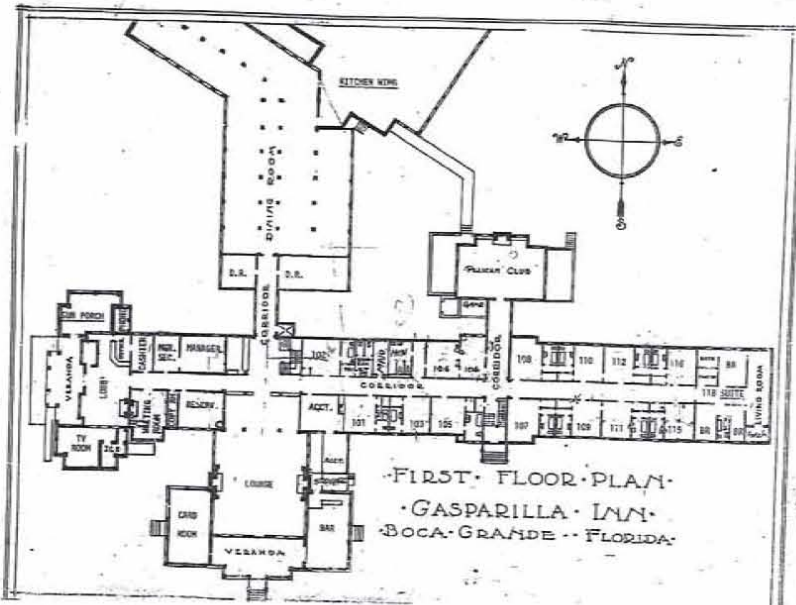
750H AMSTERDAM DRIVE
ORLANDO, FL 32832
TEL: 407.481.4411 FAX: 407.481.1075 www.windoorinc.com

V-400 PVC DOUBLE HUNG
54 X 84 REINFORCED LMI & SMI
INSTALLATION DETAILS

DRAWN: R.L.	DWG NO. 08-01416	REV A
SCALE NTS	DATE 11/30/11	SHEET 4 OF 4







GASPARILLA INN WINDOW REPLACEMENT
 WHITE OIL RUBBER - CLEAR GLASS - MATCHING MUNTINS

285213

FIRST FLOOR

CONTRACT	
Year	2013 & 2014
Drawn	2/4/2013
Check	2/20/13 & 2/27/13
Scale	3/4" = 1'-0"

ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
101	34-14	87-10	34-14	87-10	34-14	87-10								
102	34-14	87-10	34-14	87-10	34-14	87-10								
103	34-14	87-10	34-14	87-10	34-14	87-10								
104	34-14	87-10	34-14	87-10	34-14	87-10								
105	34-14	87-10	34-14	87-10	34-14	87-10								
106	34-14	87-10	34-14	87-10	34-14	87-10								
107	34-14	87-10	34-14	87-10	34-14	87-10								
108	34-14	87-10	34-14	87-10	34-14	87-10								
109	34-14	87-10	34-14	87-10	34-14	87-10								
110	34-14	87-10	34-14	87-10	34-14	87-10								
111	34-14	87-10	34-14	87-10	34-14	87-10								
112	34-14	87-10	34-14	87-10	34-14	87-10								
113	34-14	87-10	34-14	87-10	34-14	87-10								
114	34-14	87-10	34-14	87-10	34-14	87-10								
115	34-14	87-10	34-14	87-10	34-14	87-10								
116	34-14	87-10	34-14	87-10	34-14	87-10								
117	34-14	87-10	34-14	87-10	34-14	87-10								
118	34-14	87-10	34-14	87-10	34-14	87-10								
119	34-14	87-10	34-14	87-10	34-14	87-10								
120	34-14	87-10	34-14	87-10	34-14	87-10								

SECOND FLOOR

CONTRACT		CODE	
Year	2013-2014	Year	2013-2014
Drawn	2/4/2013	Year	2013 & 2014
Check	2/20/13	Year	2013 & 2014
Scale	3/4" = 1'-0"	Year	2013 & 2014

ROOM NO.	WINDOW A		WINDOW B		WINDOW C		WINDOW D		WINDOW E		WINDOW F		WINDOW G	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
201	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
202	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
203	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
204	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
205	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
206	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
207	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
208	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
209	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
210	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
211	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
212	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
213	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
214	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
215	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
216	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
217	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
218	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
219	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
220	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
221	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
222	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
223	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
224	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
225	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
226	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10
227	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10	34-14	87-10

GENERAL NOTES

1. UNO SCHE DEMS RESION ALL GLAZING TO BE PVACT OR PROTECTED WITH SHUTTERS AND SPEED DESIGN - SEE PVACT SPEC - 24 PVACT NORMAL (25 PVACT RED) BUILDING WITH CATEGORY I, EXPOSURE D PER ASCE 7-10 INTERNAL PRESSURE COEFFICIENT = -0.3 DESIGN PRESSURES FOR WINDOWS IN 4 TH FLOOR WINDOWS 400 PSF 400 PSF
2. WINDOW BY WINDOW ALL UNDO FASTENING TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING DETAILS & PROVIDE PHOTO TO CONTRACTOR.

*OK AMT
 per spec 2013-00011
 Week 14, 15, 16, 17*

SCOPE OF WORK
 REPLACE ALL EXISTING WINDOWS PER ATTACHED SCHEDULE

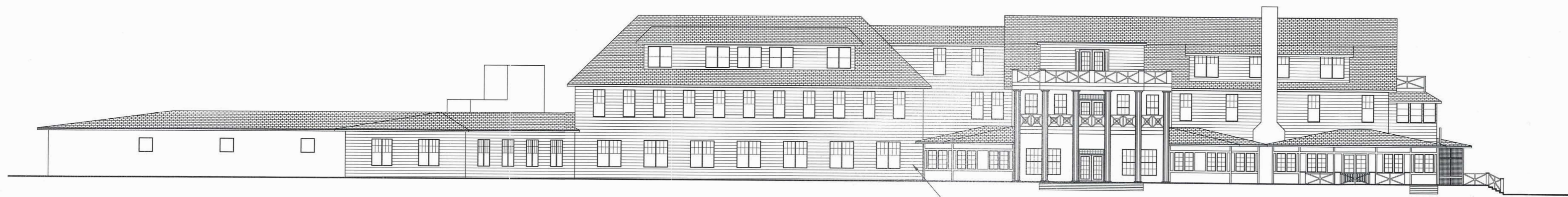
revisions:



Window Replacement:
The Gasparilla Inn & Club
 Boca Grande, FL

architect
la krebs LLC
 4400 W. 11th St.
 Englewood, FL 34422
 (941) 475-2227

date: 3-6-2013
 job no. 227
 1 of 2
 drawing:

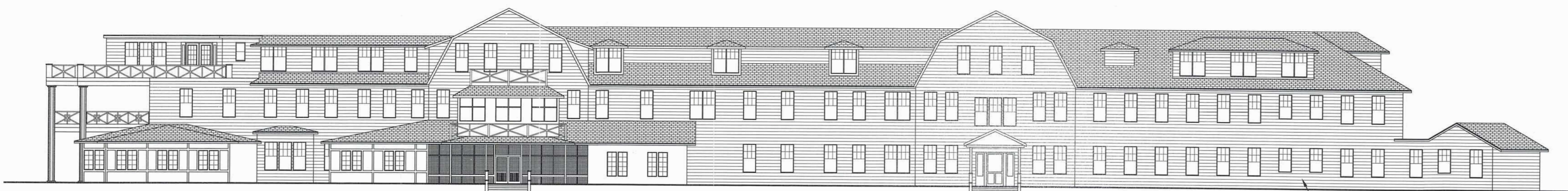


FRONT ELEVATION
SCALE = 1/16" = 1'-0"

REMOVE ALL EXIST VINYL SIDING
REPLACE W/ LAP SIDING BY JAMES
HARDI (6" EXPOSURE) ON NEW OR
EXIST VAPOR BARRIER



LEFT SIDE ELEVATION
SCALE = 1/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE = 1/16" = 1'-0"

REMOVE ALL EXIST VINYL SIDING
REPLACE W/ LAP SIDING BY JAMES
HARDI (6" EXPOSURE) ON NEW OR
EXIST VAPOR BARRIER



REAR ELEVATION
SCALE = 1/16" = 1'-0"

GENERAL NOTES

1. WIND SPEED DESIGN ----- 160 MPH ULTIMATE = 124 MPH NOMINAL
BUILDING RISK CATEGORY II, EXPOSURE 'D'
PER ASCE 7
INTERNAL PRESSURE COEFFICIENT = +/- 0.8
2. ALL SIDING SHALL BE FASTENED
IN ACCORDANCE W/ MFR NOA'S OVER EXIST
OR NEW VAPOR BARRIER IN ACCORDANCE W/ MFR NOA'S

EXTERIOR SIDING REPLACEMENT FOR:
THE GASPARILLA INN
500 PALM AVE BOCA GRANDE, FL

architect
La krebs LLC
FL 26002462

WEST OFFICE:
Edgewater Ctr. suite 4A
1460 McCall Rd. S
Englewood, Fla. 34223
(841)475-7327

EAST OFFICE:
533 N.E. 3rd Ave.
suite 3
Ft. Lauderdale, Fla. 33301
(954)999-0488

www.lakrebs.com

revisions:
date: 1-12-2016
job no. 2561
1 of 1
drawing:

Timothy Krebs, Architect, A20003188



HISTORIC PRESERVATION PROGRAM

REGULAR SPECIAL

CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

PSF No. <u>COA2015-00138</u>	COA No. _____	Designation No. <u>HD90 05 01</u>
------------------------------	---------------	-----------------------------------

NOTE: This application is only for work classified as "ordinary maintenance and repair," or for any work that will result, to the satisfaction of the county staff, in the close resemblance in appearance of the building, architectural feature, or landscape feature to its appearance when it was built or was likely to have been built, or to its appearance as it presently exists so long as the proposed appearance is appropriate to the style and materials.

<input type="checkbox"/> Contributing	<input checked="" type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
---------------------------------------	--	---	---

Name of Project: RODRIGUEZ RESIDENCE

Location: 200 BANYAN STREET

STRAP No.: 14 43 20 01 00002 0080

Name of Applicant or Agent*: RANDALL D. WILLIAMSON, ARCHITECT

*(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)*

Address: 13276 DEEP PASSAGE LANE

City, State, Zip: FORT MYERS BEACH, FL 33931

Phone Number: 239-789 7877 Fax Number: _____

Email Address: RDWILLIAMSONARCHITECT@gmail.com (ALL LOWER CASE)

Name of Historic District (if applicable): BOCA GRANDE

Project Description: PROPOSED PRIVACY WALLS AT PERIMETER OF PROPERTY

Change in Use: No Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? No Yes

If yes, explain. ZONING RELIEF FOR WALL HEIGHT/SETBACK

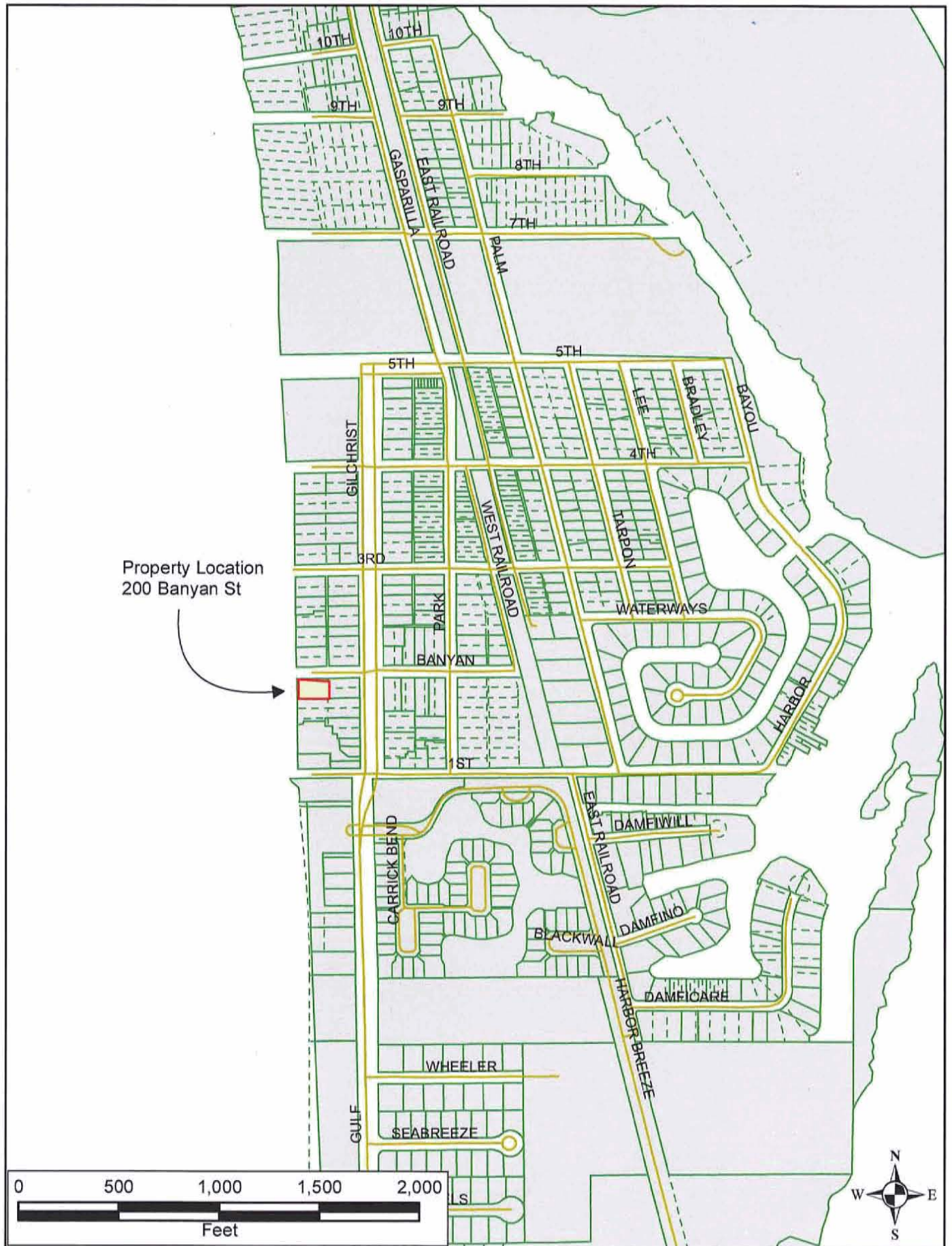
Has a development order or exemption been applied for prior to or concurrent with this application? No Yes

If yes, explain. COA2014-00143

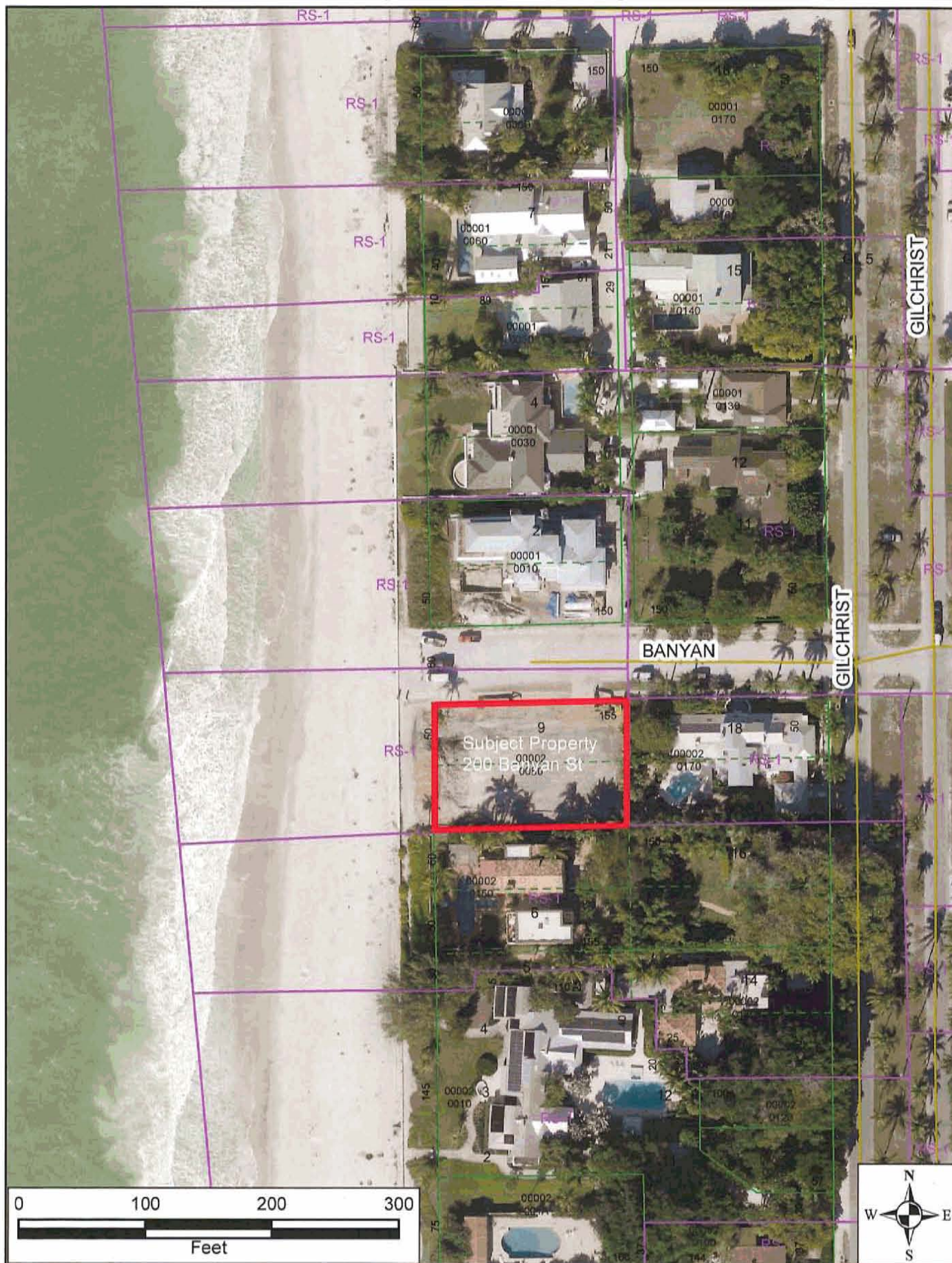
If you wish to appeal this decision, you may apply for a Special Certificate of Appropriateness within 30 days of this decision. This will enable you to make your request to the Historic Preservation Board for this work. You may obtain a Special Certificate of Appropriateness form by contacting the historic preservation planner at the Lee County Division of Planning. Specific details describing the Special Certificate of Appropriateness process are found in Chapter 22, Historic Preservation, of the Lee County Land Development Code (LDC).

***** FOR STAFF USE ONLY *****			
Date Filed:	Date Issued:	<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by: _____			
*Explanation attached			

COA2015-00138, Rodriguez, 200 Banyan St. Boca Grande



COA2015-00138, Rodriguez, 200 Banyan St. Boca Grande



BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness
CASE NUMBER: COA2015-00138
PROJECT NAME: Rodriguez
ADDRESS: 200 Banyan St, Boca Grande Fl 33921
HEARING DATE: February 10, 2016

SUMMARY

The proposed project entails the construction of a new perimeter wall on the subject property. The subject property is listed as a non-contributing property in the Boca Grande Historic District HD 90-05-01. The STRAP number is 14-43-20-01-00002.0080 and the address is 200 Banyan Street, Boca Grande. Staff analyzed the subject proposal for compliance with the design guidelines of the Boca Grande Historic District and for compliance with Chapter 22 (Historic Preservation) of the Land Development Code (LDC).

STAFF ANALYSIS

Background:

On February 10, 2010 the Boca Grande Historic Preservation Board (Board) approved COA2010-00012 for the construction of a new house on the subject site (Attachment, COA2010-00012 approved plans and staff report) and on October 29, 2014 the Board approved COA2014-00143 for minor exterior and interior revisions to the previous approval.

Proposal: The proposal is for construction of a perimeter wall on the subject property. Except for a section of mesh fencing at the rear, the wall material will be concrete block with medium textured stucco finish. The specifics of the proposed perimeter fence are as follows:

North wall: On the north (front) property line along Banyan St., the proposed 6-ft high fence wall will feature 6-ft 6-in high columns with pilasters and feature two designs:

- A wall, setback about 5-ft from the front property line, will extend approximately 50-ft northwest corner of the property eastward along Banyan St. The principal function of this wall segment is to provide privacy to the owners since Banyan St. is a public beach access.
- Extending east from the wall described above, the proposal calls for two wall segments flanking the central front entrance. Each segment will be setback roughly 10-ft from the front property line, extend for 15-ft along Banyan St. and then extend south turn south for approximately 12-ft. At Banyan St where the wall begins to extend south, instead of corners semicircular walls will be incorporated in the design to complement the existing semicircular driveway. Also along the north property line a 14-ft long sliding gate will be in front of the garage area. The proposed gate is roughly 5-ft high and made of Azek, a synthetic product. The gate will be supported by two 6-ft 6-in high columns with pilasters. The gate design incorporates two sections with curved tops reminiscent of two swinging wood gates that meet at the center.

West wall: Near the northwest corner, the 6-ft high wall along Banyan St turns south for about 6-ft and then steps down to a 3-ft 6-in high wall along the west side property line by the Gulf. Towards the south (rear) there will be a 6-ft 4-in long and 3-ft 4-in high double, swinging, pedestrian gate made of Azek. The gate will be supported by two 4-ft high columns with pilasters. This predominantly low fence wall defines the western property line while preserving the Gulf view from the ground floor.

South wall: The 3-ft 6-in wall along the Gulf will turn east and extend for roughly 20-ft along the south (rear) property line and terminate at the wall screening the pool equipment. A 4-ft high chain link fence is proposed for the roughly 50-ft between the previously approved 5-ft high wall screening the pool equipment and the 8-ft high wall screening the A/C equipment. A proposed

6-ft high wall with gate will extend for roughly 8-ft from the A/C equipment wall to the east side wall. The gate will be a roughly 3-ft long, and 5-ft high with a single, swinging gate made of Azek. The gate will be supported by one 6-ft high column.

East wall: On the east property line the proposed wall will be a continuous 6-ft high wall (without columns) near the property line. It will provide privacy from the adjoining property.

Design Guidelines for the Boca Grande Historic District.

In evaluating the project also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure. N/A

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings. N/A

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block. N/A

1.6 Maintain the traditional proportions of glass in building facades. N/A

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features. N/A

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces. N/A

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade. N/A

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

The proposed wall and fence is in keeping with similar walls already approved on properties along Banyan Street.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges. N/A

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.

N/A

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms.

The proposed wall is similar to the 6-ft high fence wall approved across the street from the subject property under COA2013-00102. The proposed wall is made of concrete block with a stucco finish and is compatible with the house which when completed will feature stucco walls.

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts.

The fence addition is in keeping with the rhythm with this western end of Banyan St. as a similar fence was approved across the street from the subject property.

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district. N/A

There are other houses in the district with similar walls such as the house directly across Banyan Street from the subject property. The walls on that property were previously approved by COA2015-00119.

4.2 Align the façade of the building with the historic setbacks of the block or district. N/A

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area. N/A

4.4 Building and roof forms should match those used historically. N/A

4.5 Use similar building materials to those used historically for all major surfaces. N/A

The proposed walls are to be constructed of cast concrete covered with textured stucco. This material is typical of other houses within the area and conforms to the character of the community.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row. N/A

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the historic resource has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the proposed project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District.

Note: Zoning relief for this case is being considered pursuant to Land Development Code Section 22-174. A summary of the zoning relief request is provided for informational purposes only. The Lee County Zoning Section will make a determination after the Historic Preservation Board renders its decision.

The applicant seeks zoning relief the RS-1 (Residential Single-family) zoning district from the Lee County Land Development Code as follows:

- 1) Section 34-1744(b)(2)a.i. which requires all fencing located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet, TO ALLOW a 6 foot high wall with 6 foot 6 inch high columns and a 5 foot high sliding gate along Banyan Street to range in setback from 4± feet to 10± feet from the street right-of-way (Banyan Street); and
- 2) Section 34-1744(b)(2)a.i. which requires all fencing located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet, TO ALLOW a 6 foot high wall with 6 foot 6 inch high columns for 7± feet then lowering to 3 feet 6 inch high wall for 13± feet along the west property line from the street right-of-way (Banyan Street); and
- 3) Section 34-1744(b)(2)a.i. which requires all fencing located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet, TO ALLOW a 6 foot high wall with 6 foot 6 inch high columns for 14± feet along the east property line from the street right-of-way (Banyan Street); and
- 4) Section 34-1744(b)(2)a.ii. which allows a six foot high fence along the rear (south) property line, TO ALLOW an 8 foot high wall around the air conditioner condensers and generator.

COA2015-00138 Rodriguez 200 Banyan St, Boca Grande



Banyan St Elevation



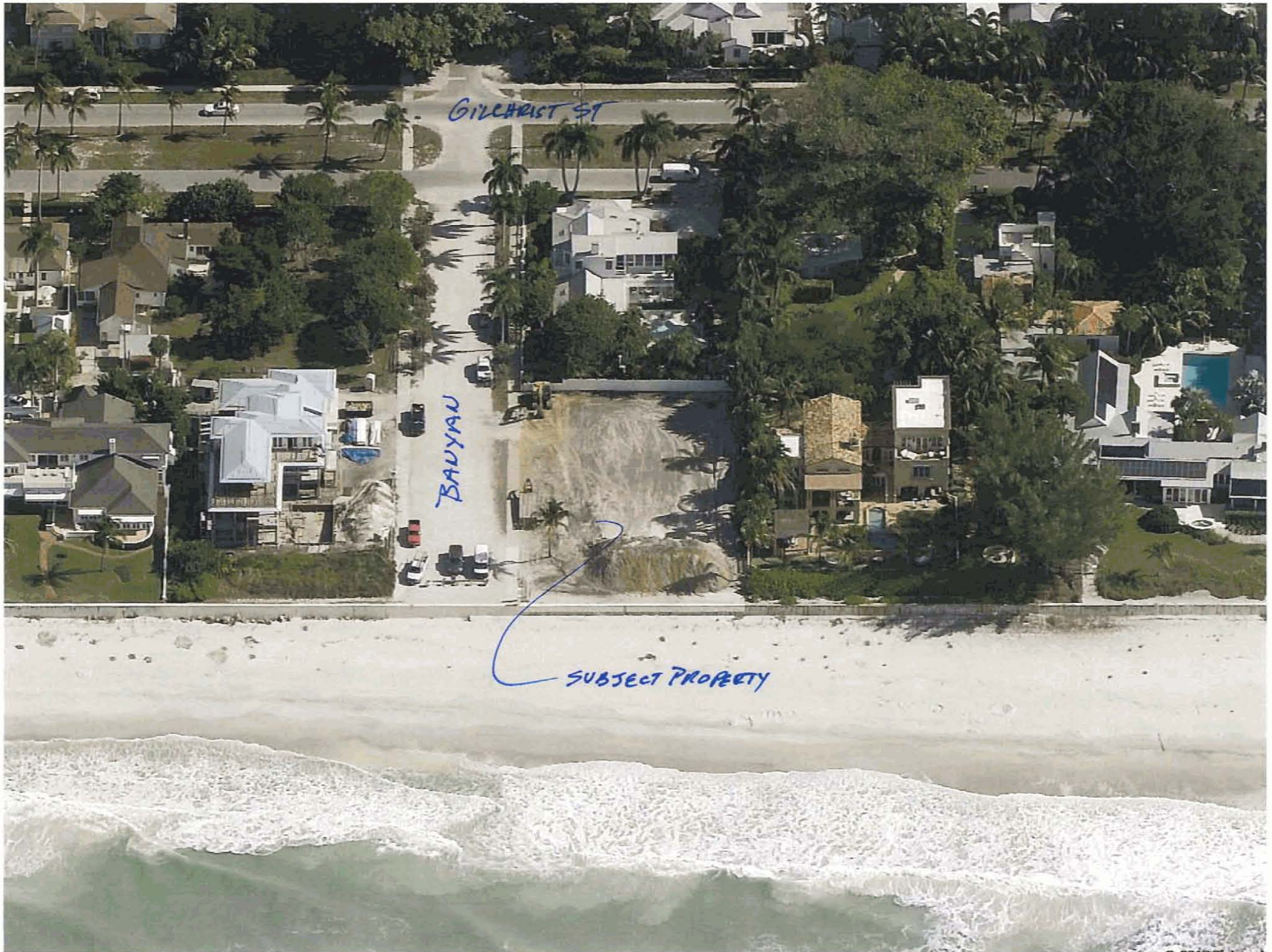
Beach Side Elevation



NW Corner at Banyan St and Beach Side Elevations



Property Across Banyan St. with similar concrete wall.



GILCHRIST ST

BAUYAN

SUBJECT PROPERTY

Attachment COA2010-00012 approved February 10 2010-

Approved plans and staff report

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2010-00012

ROBERT HORGAN TRUST RESIDENCE
200 BANYAN ST BOCA GRANDE 33921

Contributing

Non-Contributing

Individual Designation

Not Historical

YOU ARE HEREBY NOTIFIED that the Boca Grande Historic Preservation Board voted to:

- Approve
 Approve with Conditions
 Deny
 Continued

Date of Decision: 02/10/2010

The proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District.

A copy of this notice, the Special Certificate of Appropriateness (and other documents if appropriate as noted below) have been furnished to the following persons:

HORGAN ROBERT W TR

Property Owner ___ with without Plans
1 set

Pam Houck/ Shawn Lamey

Director, Zoning Division with ___ without plans

Bob Stewart

Building Official ___ with without plans

THOMAS HINKLE

Applicant *4 sets* with ___ without plans

Date: 02/10/2010

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2010-00012

Contributing

Non-Contributing

Individual Designation

Not Historical

Designation No.:

Name of Project: ROBERT HORGAN TRUST RESIDENCE

Location: 200 BANYAN ST BOCA GRANDE 33921

STRAP No.: 14-43-20-01-00002.0080

Name of Applicant: THOMAS HINKLE

Address: C/O RD WILLIAMSON
18276 DEEP PASSAGE LANE
FORT MYERS BEACH, FL 33931

YOUR APPLICATION FOR A SPECIAL CERTIFICATE OF APPROPRIATENESS HAS BEEN

APPROVED

Certified by: Gloria Sajgo

Date Certified by Staff: 02/10/2010

APPROVED WITH CONDITIONS For the reason outlined below

DENIED For the reason outlined below

CONTINUED

COMMENTS:

NOTICE OF APPEAL RIGHTS

Pursuant to LDC § 22-42, any owner of a building, structure or site affected by the operation of this chapter may appeal a decision of the Historic Preservation Board by filing a written notice of appeal within 15 days of the date of this decision. The notice of appeal must state the decision being appealed, the grounds for the appeal, and a summary of the relief sought. The notice must be filed with the Lee County Hearing Examiner and a copy provided to Historic Preservation Board staff, and must otherwise comply with LDC § 34-145(a), pertaining to appeals from administrative matters, and any county administrative codes adopted to implement the provisions of LDC Chapter 34. Notwithstanding the foregoing, except as may be required by F.S. § 163.3215, and then only pursuant to that statute, a third party does not have standing to appeal a decision rendered under the provisions of LDC Chapter 22.

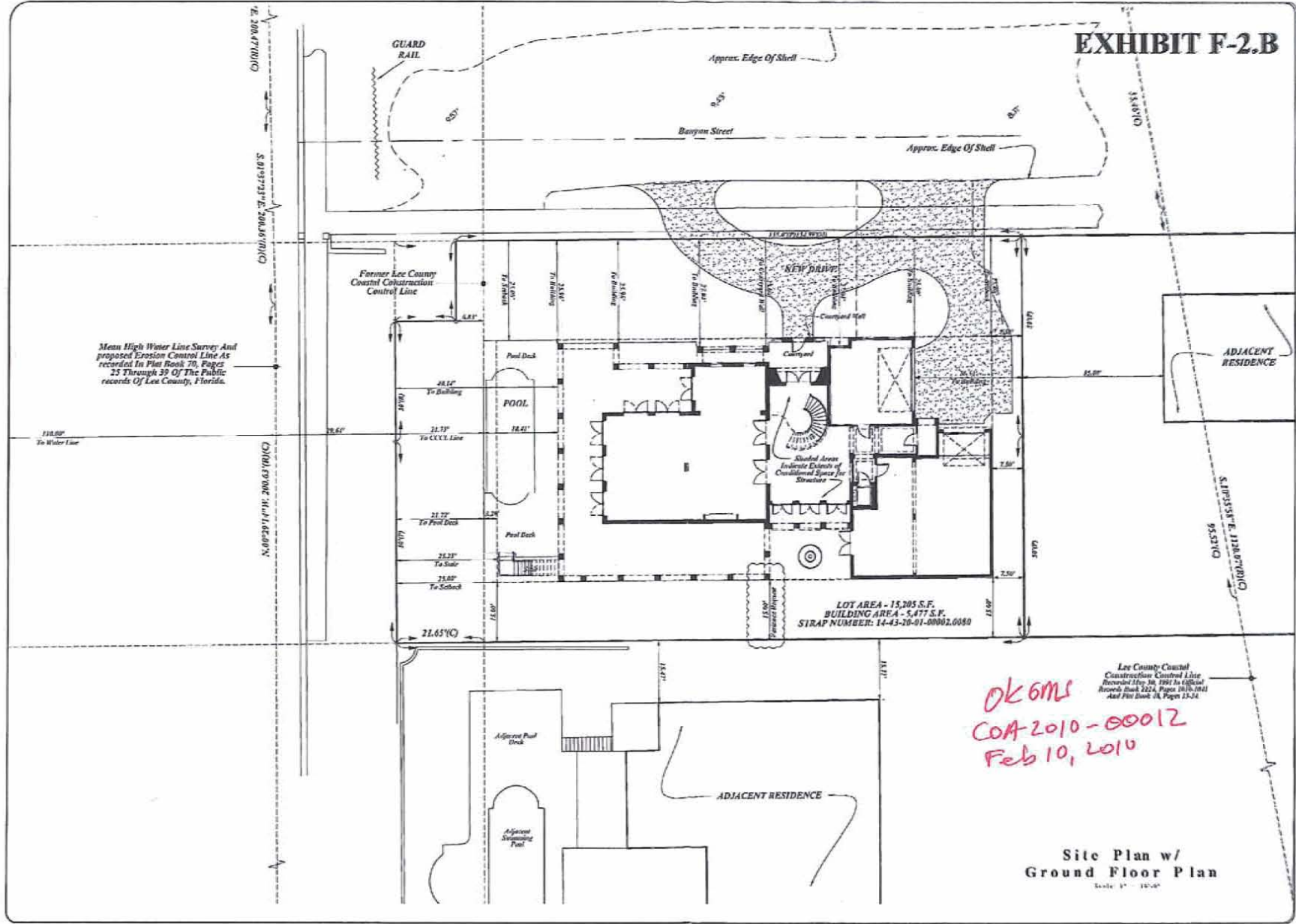
EXHIBIT F-2.B

DATE:	01/20/10
BY:	01/20/10
PROJECT:	
CLIENT:	
SCALE:	
DATE:	
BY:	
PROJECT:	
CLIENT:	
SCALE:	
DATE:	

A PROPOSED NEW RESIDENCE FOR
Robert W. Horgan Trust
 200 Banyan Street
 BOCA GRANDE, FLORIDA

D. WILLIAMSON
 & ASSOCIATES, INC.
 ARCHITECTS
4441 STATE ROAD 100, SUITE 100, BOCA GRANDE, FL 33921
 PHONE: 813-833-1111 FAX: 813-833-1122

Sheet
A-1b



OK GMS
 COA-2010-00012
 Feb 10, 2010

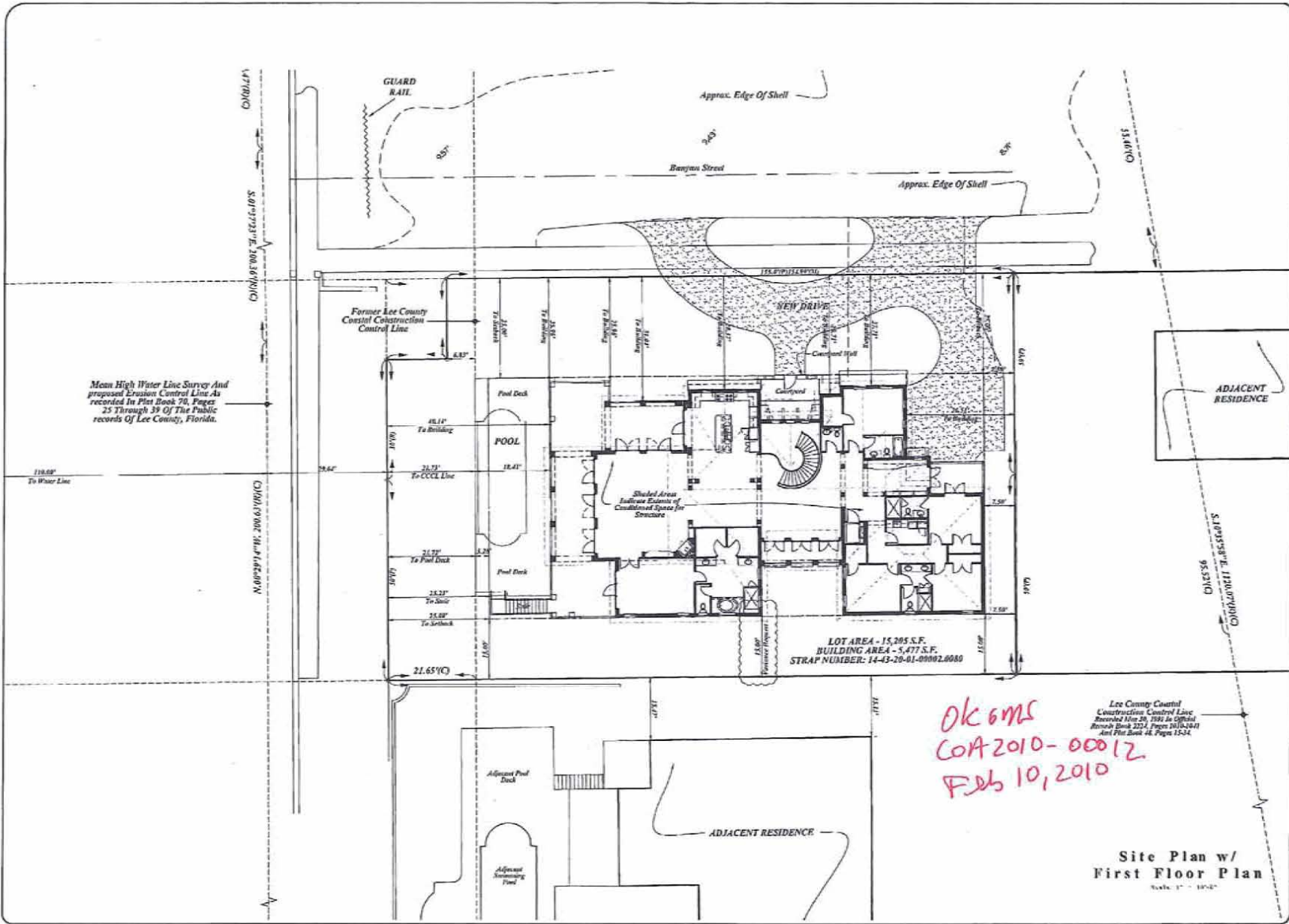
Site Plan w/
 Ground Floor Plan
 Scale 1" = 10'-0"

CONCEIVED	01/11/10
DRAWN	12/12/09
CHECKED	02/10/10
DATE	02/10/10
PROJECT	
DRAWN BY	
CHECKED BY	
SCALE	
DATE	

A PROPOSED NEW RESIDENCE FOR
Robert W. Horgan Trust
 200 Banyan Street
 BOCA GRANDE, FLORIDA

R. D. WILLIAMSON
 & ASSOCIATES, INC. ARCHITECTS
 11001 W. BOCA GRANDE BLVD., SUITE 100
 BOCA GRANDE, FLORIDA 33428

Sheet
A-1c



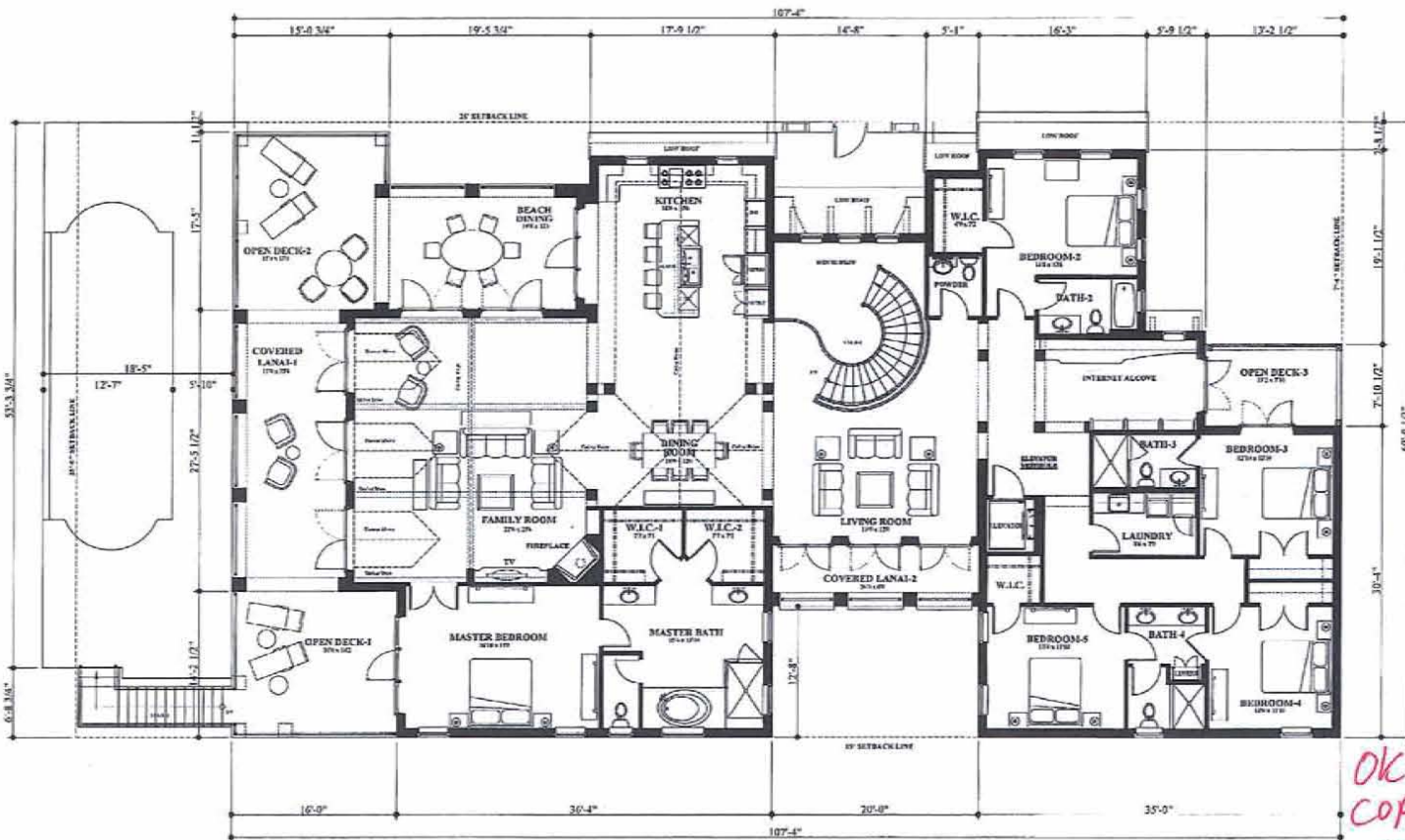
OK GMS
 COA 2010-00012
 Feb 10, 2010

Lee County Coastal
 Construction Control Line
 Recorded Map 26, 1984 as Official
 Rough Book 2024, Pages 1011-2011
 Art Plat Book 44, Page 15-24

Site Plan w/
 First Floor Plan
 Scale: 1" = 10'-0"

OWNER:	WCT
DATE:	1/10
CHECKED:	WCT
DATE:	1/10
DESIGNED:	WCT
DATE:	1/10
PROJECT:	
DATE:	1/10
SCALE:	1/8" = 1'-0"
DATE:	1/10

A PROPOSED NEW RESIDENCE FOR
Robert W. Horgan Trust
 200 Banyan Street
 BOCA GRANDE, FLORIDA



BUILDING AREA TABULATION

Air Conditioned Area	
Ground Floor Foyer-A/C:	767 S.F.
1st Floor Living Area-A/C:	3925 S.F.
Total A/C Area:	4,692 S.F.

Non Air Conditioned Area - Ground Floor	
Garage-1	443 S.F.
Garage-2	1063 S.F.
Covered Entry	54 S.F.
Service Entry	43 S.F.
Ground Floor Covered Lanai-1	1531 S.F.
Ground Floor Covered Lanai-2	120 S.F.
Loggia	71 S.F.
Storage	1370 S.F.
Ground Floor Non A/C Subtotal:	4,695 S.F.

Non Air Conditioned Area - First Floor	
1st Floor Covered Lanai-1	302 S.F.
1st Floor Covered Lanai-2	125 S.F.
Beach Dining	240 S.F.
1st Floor Open Deck-1	227 S.F.
1st Floor Open Deck-2	245 S.F.
1st Floor Open Deck-3	104 S.F.
1st Floor Non A/C Subtotal:	1,243 S.F.
Total Building Area:	10,603 S.F.

SITE AREA ANALYSIS	
Total Site Area	15,205 S.F.
Building Footprint	5,477 S.F.
Footprint Coverage:	36%

*OKGMS
 COA 2010 - 00012
 FEB 10, 2010*

First Floor Plan
 Scale: 3/16" = 1'-0"

R. D. WILLIAMSON
 & ASSOCIATES, INC.
 ARCHITECTS
 10001 W. UNIVERSITY AVENUE, SUITE 100
 BOCA RATON, FLORIDA 33433



East Elevation
Scale: 3/16" = 1'-0"



West Elevation
Scale: 3/16" = 1'-0"

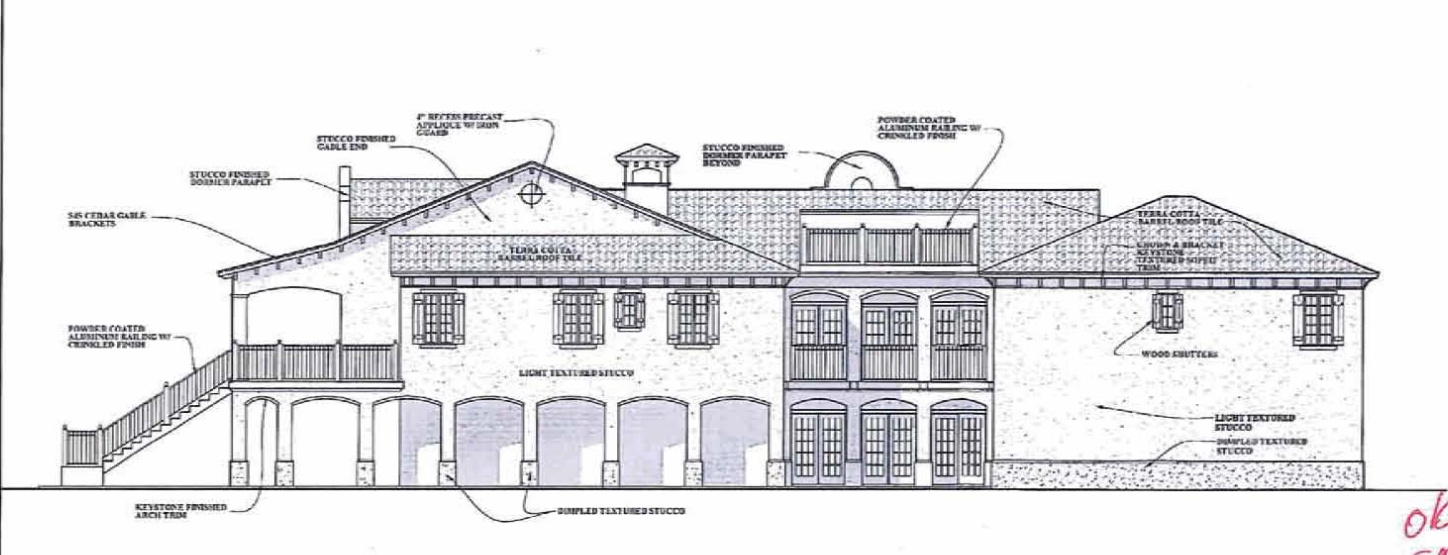
DESIGNED	BY: JF
DRAWN	BY: JF
CHECKED	BY: JF
DATE	08/09
REVISIONS	
NO.	BY
DATE	
BY	

A PROPOSED NEW RESIDENCE FOR
Robert W. Horgan Trust
200 Banyan Street
BOCA GRANDE, FLORIDA

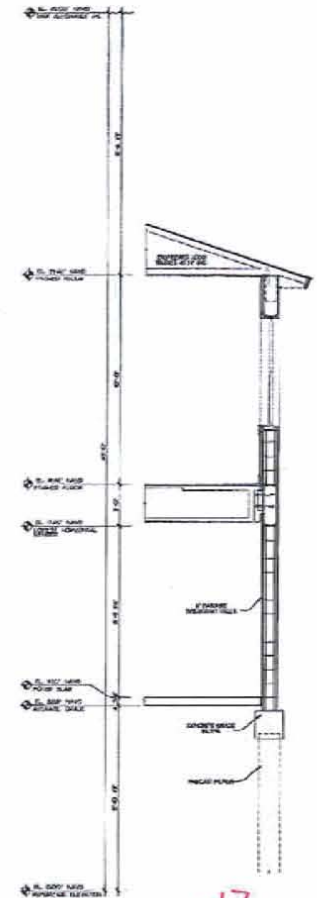
D. WILLIAMSON
& ASSOCIATES, INC.
ARCHITECTS
1975 WEST BAYVIEW, ALHAMBRA CITY, CA 94520
LICENSE NUMBER 44 1022

*OK CMS
COA 2010 - 00012
Feb 10, 2010*

Sheet
A-5



South Elevation
Scale: 3/16" = 1'-0"



Typical Section
Scale: 3/8" = 1'-0"

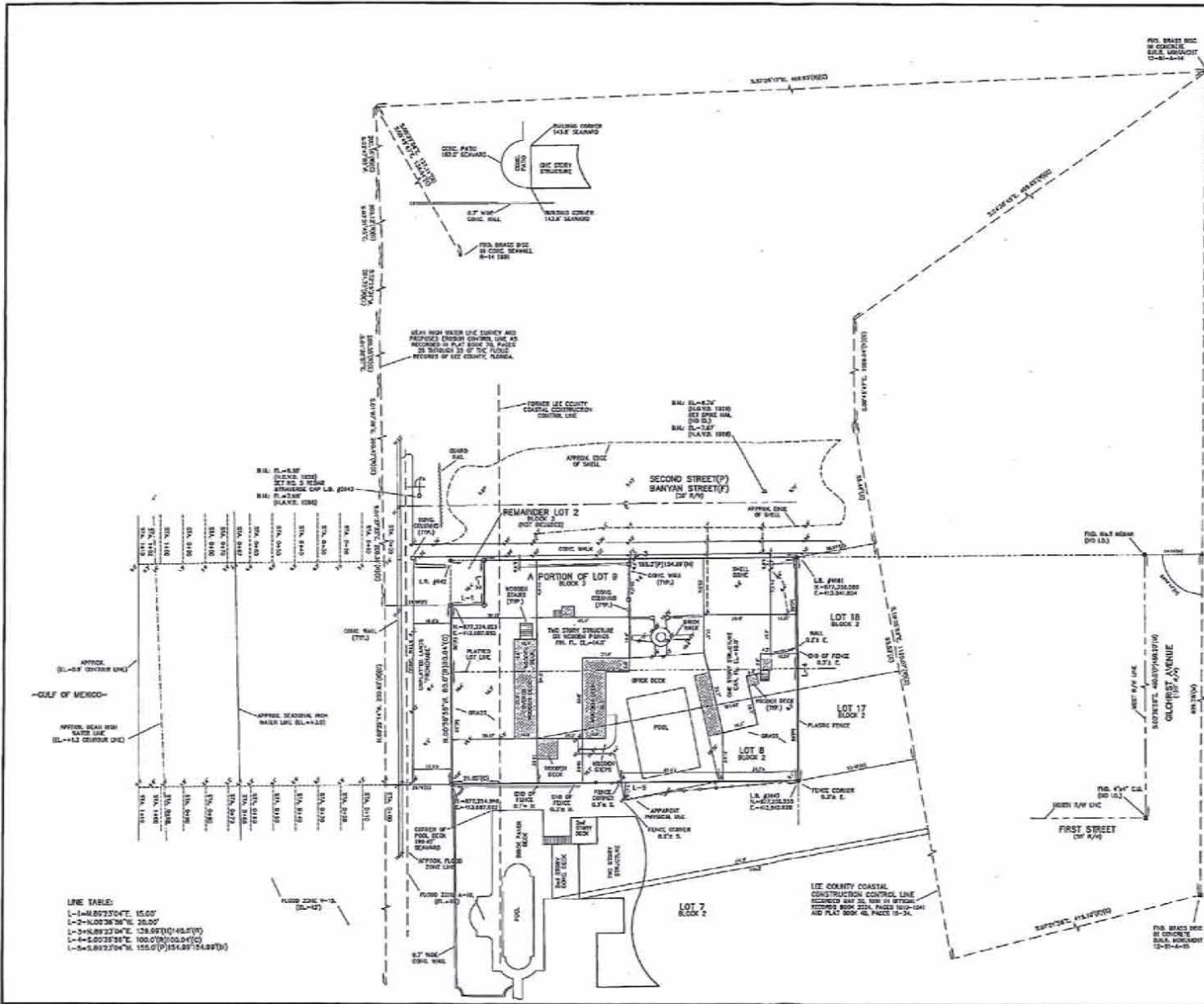
*OKOMS
COA 2010-00012
Feb 10, 2010*

OWNER:	TRUST
DESIGN:	TRUST
CHECKED:	TRUST
DATE:	0000
PROJECT:	
DATE:	BY
DATE:	BY
DATE:	BY

A PROPOSED NEW RESIDENCE FOR
Robert W. Horgan Trust
200 Banyan Street
BOCA GRANDE, FLORIDA

D. WILLIAMSON
& ASSOCIATES, INC.
ARCHITECTS
1001 W. 15th Street, Suite 1000, Boca Raton, FL 33432
ESTABLISHED 1988

Sheet
A-6



DESCRIPTION:

LOT 8 AND 5, BLOCK 5, LESS THE NORTHERLY 212 FEET OF THE NORTHERLY 1000 FEET THEREOF, ACCORDING TO BOOK 18888 OF RECORDS IN PLAT BOOK 7, PAGES 1 AND 7-A, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

SURVEYOR'S NOTATIONS:

1. SURVEYS ARE BASED ON LEE COUNTY COASTAL CONTROL NETWORK USE WIDE SARAPALM, AS REFERENCED TO THE WEST BOUNDARY LINE OF BLOOMING GROVE.
2. THE APPROXIMATE VERTICULAR HEIGHTS SHOWN HEREON WERE OBTAINED BY A TOTAL STATION BY THIS FIRM AND DOES NOT REPRESENT A BOUNDARY LINE AS SHOWN TO CHANGING TIDE, PARTIAL OF THE TIDE GAUGE, AND IS APPROXIMATE IN ITS LOCATION FOR THE PURPOSE OF THIS SURVEY.
3. RECORD BOOKS SHOW NO COLLISION FROM THESE RECORDS, DATE MAP'S CONTAINING NO COLLISION, PAGE NO. 0832, DATED 11/14/1994.
4. ELEVATIONS ARE BASED ON M.S.L.M. 1979, UNLESS OTHERWISE NOTED.
5. BOUNDARY LINES: LEE COUNTY DEED, VOLUME 10-24-104, PURCHASE #1-4-27 1942, 1958 THE MECHANICAL DIVISION OF PLANS, 1958 25044 WAS RECORDED UNDER DEED, (PUB. REC. 10-24-104) FOR BOUNDARY LINES IN CONFORMITY WITH MEASUREMENTS TAKEN AT A SPECIFIC LOCATION BY LATITUDE AND LONGITUDE.
6. THIS SURVEY IS INTENDED TO REPRESENT A SURVEY THAT COMPLETES WITH BUILT TO 20-22.5% OF THE FLORIDA ADMINISTRATIVE CODE.
7. CORRECTIONS SHOWN HEREON WERE MADE BY NORTH AMERICAN WEST BOUNDARY, FLORIDA TRANSFERRED LONGITUDE WEST 1000.

PREPARED FOR THE EXCLUSIVE USE OF:

BRADY CONSTRUCTION
 BRADY ASSOCIATES, ARCHITECTS



OKGMS
COA 2010-00012
Feb 10, 2010

SURVEYOR'S CERTIFICATE:

I, BRADY CONSTRUCTION, a duly licensed Professional Engineer, State of Florida, No. 10000, do hereby certify that I am the author of the above described plat, and that the same was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer, State of Florida, No. 10000, and that I am a duly licensed Professional Engineer, State of Florida, No. 10000, and that I am a duly licensed Professional Engineer, State of Florida, No. 10000.

DATE OF THIS SURVEY:

February 10, 2010

NAME OF SURVEYOR:

BRADY CONSTRUCTION

ADDRESS OF SURVEYOR:

10000 GOLF COURSE AVENUE, SUITE 100, TAMPA, FL 33617

PHONE NUMBER:

(813) 971-1000

FAX NUMBER:

(813) 971-1001

ELECTRONIC SIGNATURE:

BRADY CONSTRUCTION

DMK ASSOCIATED
 10000 GOLF COURSE AVENUE, SUITE 100, TAMPA, FL 33617
 (813) 971-1000

DMK
 10000 GOLF COURSE AVENUE, SUITE 100, TAMPA, FL 33617
 (813) 971-1000

Boundary and Topographic Solution

1 of 1

RODRIGUEZ	
Date	Description
12-31-14	Contractor Review Set
1-19-15	Permit Set
1-26-15	Privacy Wall Set
3-9-15	Elevator Pile Cap Rev.
4-7-15	Wall Plans/Specs. for Historical Review
7-14-15	Truss Mfg. Revisions
8-3-15	Privacy Wall Plan
10-28-15	Privacy Wall Plan Review
11-6-15	Privacy Wall Plans
12-15-15	Updated Privacy Wall Plans
12-29-15	Updated Privacy Wall Plans
1-5-16	Orientation to North-P01

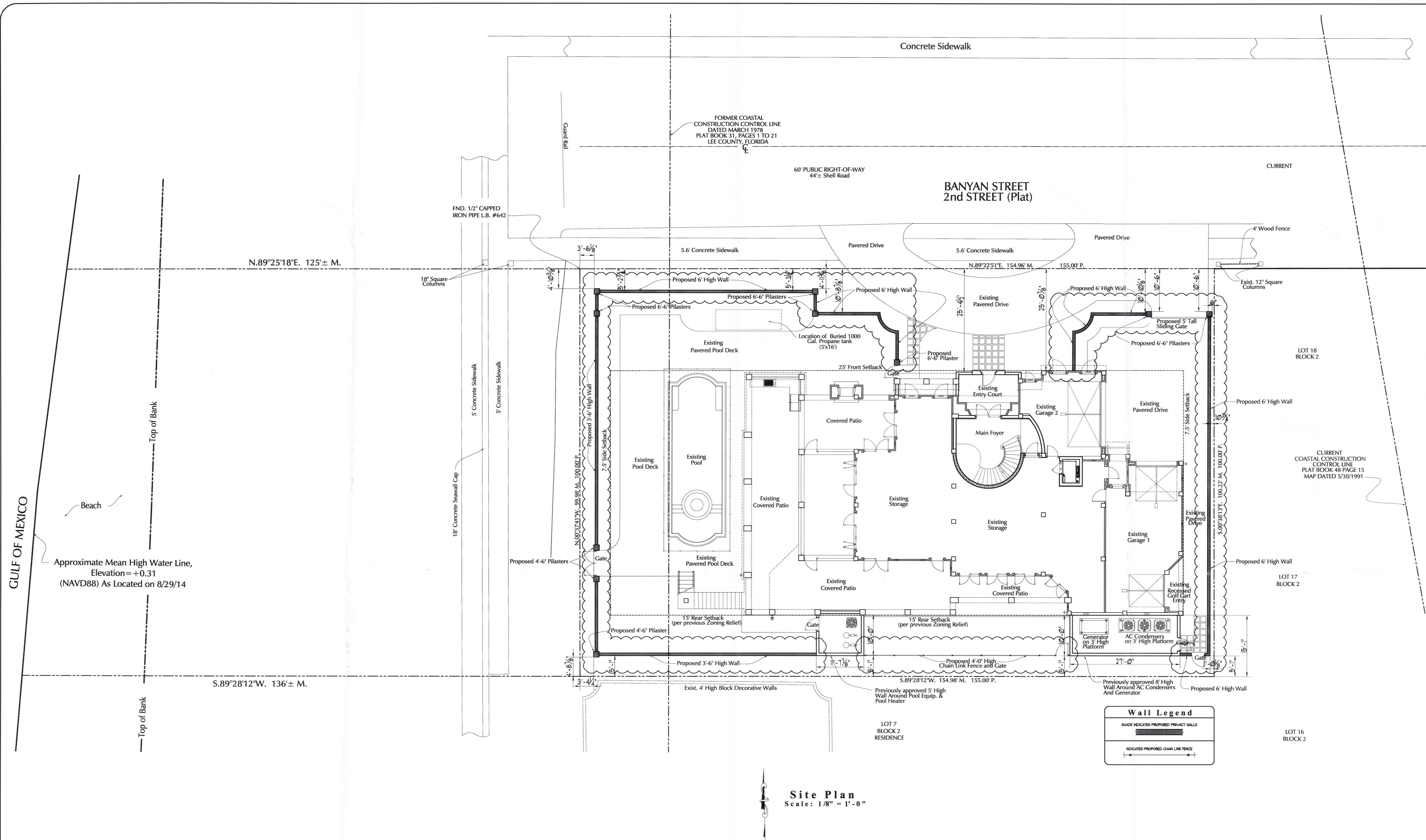
A proposed Residence for:
Carlos & Eileen Rodriguez
 200 Banyan Lane
 Boca Grande
 Lee County Florida 33921

COLLECTOR
KUSK CONSTRUCTION INC
 CUSTOM BUILDERS
 1100 Bayshore Drive
 Englewood, FL 34223
 OFFICE: (941) 964-0078
 CELL: (941) 468-7848
 FAX: (941) 964-0078

These Plans shall be sealed in accordance with the Florida Building Code, Chapter 6, Part 1, Section 601.1. The seal shall be placed on the front of the drawing. The seal shall be in the shape of a rectangle and shall contain the name of the professional engineer, the name of the engineering firm, the date of the seal, and the Florida Professional Engineer License Number. The seal shall be placed in the bottom right corner of the drawing. The seal shall be in black ink on a white background. The seal shall be in the shape of a rectangle and shall contain the name of the professional engineer, the name of the engineering firm, the date of the seal, and the Florida Professional Engineer License Number. The seal shall be placed in the bottom right corner of the drawing. The seal shall be in black ink on a white background.

CROWN ENGINEERING, INC.
 CERTIFICATE OF AUTHORIZATION NUMBER: 8597
 6827 WILLOW PARK DRIVE
 NAPLES, FL 34109
 PHONE: (239) 395-2157 FAX: (239) 395-8830

WILLIAMSON-HINKLE architects LLC
 110 W. WASHINGTON STREET, SUITE 1000 - FT. MYERS BEACH OFFICE (239) 666-4811 - GULF COAST OFFICE (734) 543-7866
 FLA. LICENSE NO. 1412323



Site Plan
 Scale: 1/8" = 1'-0"

Exhibit "A" - Index Of Drawings

- A-1 Site Plan
- P-1 Exterior Wall Plan
- P-2 Exterior Wall Elevations

FLOOD ZONE

Flood Zone: "VE" Base Flood
 EL=13.0 - Community #125124 -
 Panel #0182 "J" Firm Date 8/28/08
 - Map # 12017c0182f

Compliance Statement

These Plans Are Sealed In Compliance With The 2010 Edition Of The Florida Building Codes, (section 1609, For Design Pressures Generated By A Design Wind Velocity Of 160 Mph - Exposure "D") - Building Risk Category II, And In Compliance With The Lee County Land Development Code, Chapter 14, Article II, And Article IV Flood Hazard Reduction. Windows And Doors Comply With 160 Mph Wind Speed Design Pressures. Structural Calculations For Gravity Loads Were Performed For This Structure. The Lee County Land Development Code, Chapter 14, Article II, Division 2, and Article IV Flood Hazard Reduction.

This building has been designed with an Importance Factor of 1, Exposure "D" and fully enclosed with an internally pressure coefficient of 0.18.

The Lee County Land Development code, chapter 14, article II, Division 2, sea turtles; also chapter 6, article III coastal construction code, and article IV flood hazard reduction.

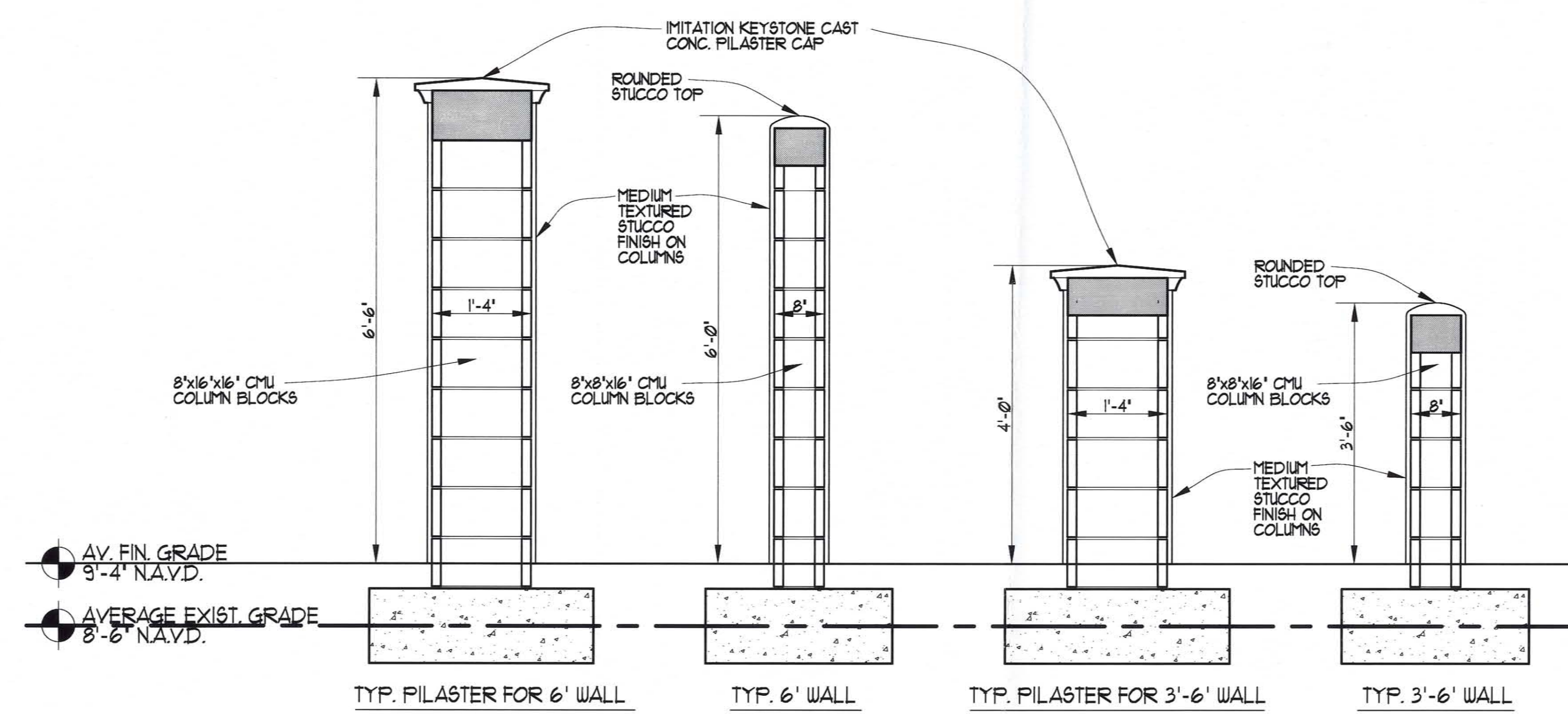
Randall D. Williamson
 Registered Architect
 Florida Certificate (no. 10223)

Thomas W. Hinkle
 Registered Architect
 Florida Certificate (no. 13687)

Drawings by: William Hinkle Architects, LLC
 All Rights Reserved - The Use Of These Drawings And Specifications Shall Be Restricted To The Original Use For Which They Were Prepared And Publication Thereof Is Expressly Limited To Such Use. Reuse, Reproduction, Publication By Any Method, In Whole Or Part, Is Prohibited Without The Written Consent Of The Architect. Title To The Design Remains With The Architect Without Prejudice - Visual Contact With These Drawings Constitutes Prima Facie Evidence Of The Acceptance Of These Restrictions



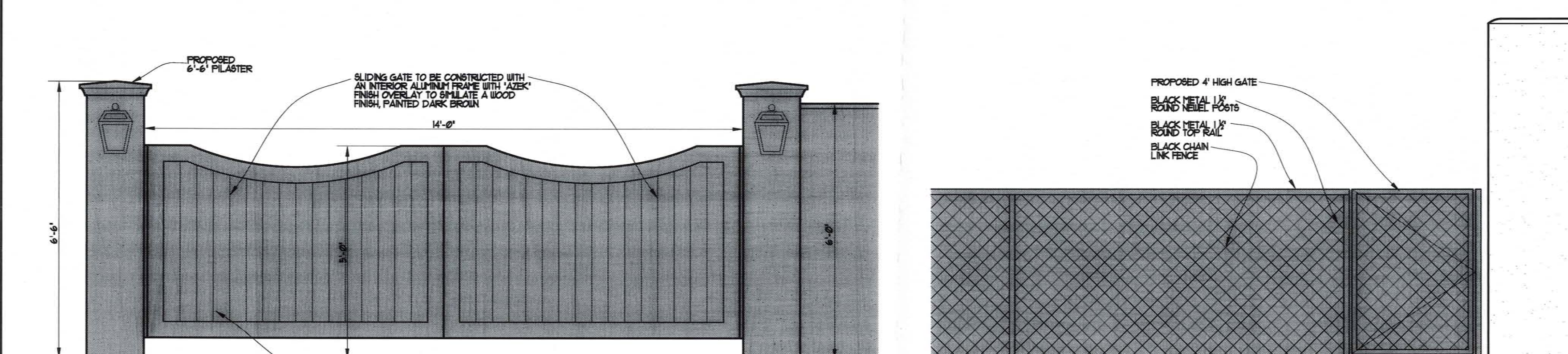
North Elevation
Scale: 1/4" = 1'-0"



Privacy Wall Sections
Scale: 1/2" = 1'-0"

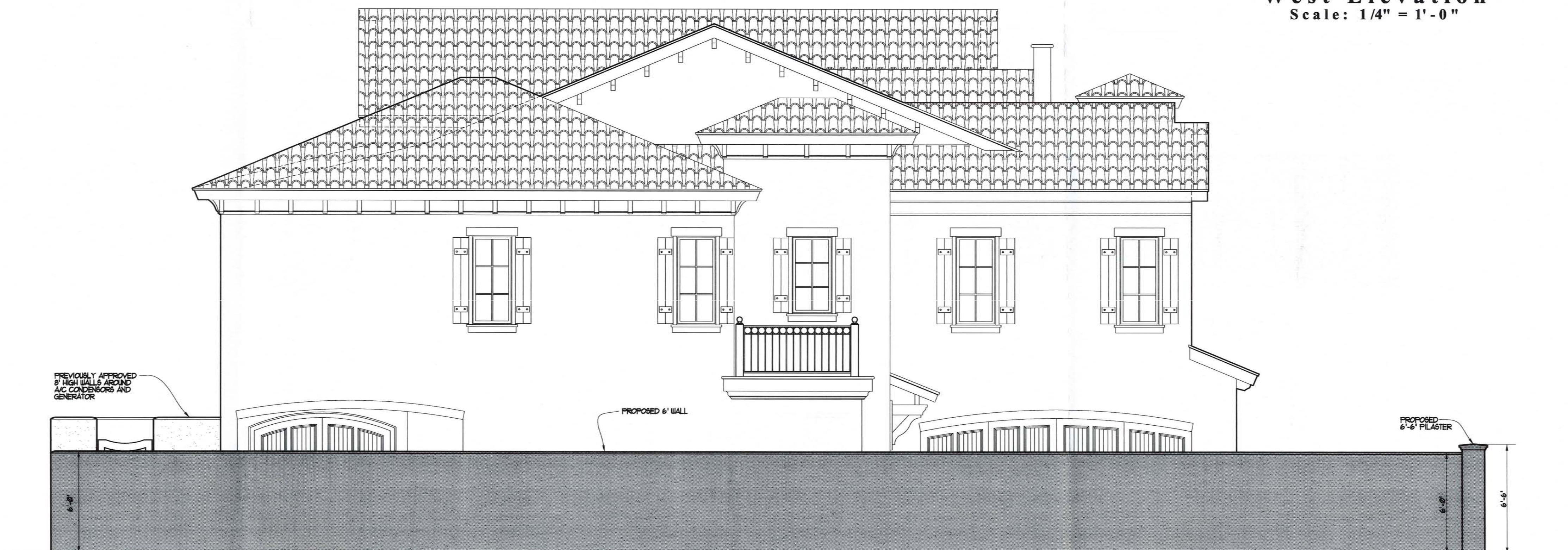


West Elevation
Scale: 1/4" = 1'-0"

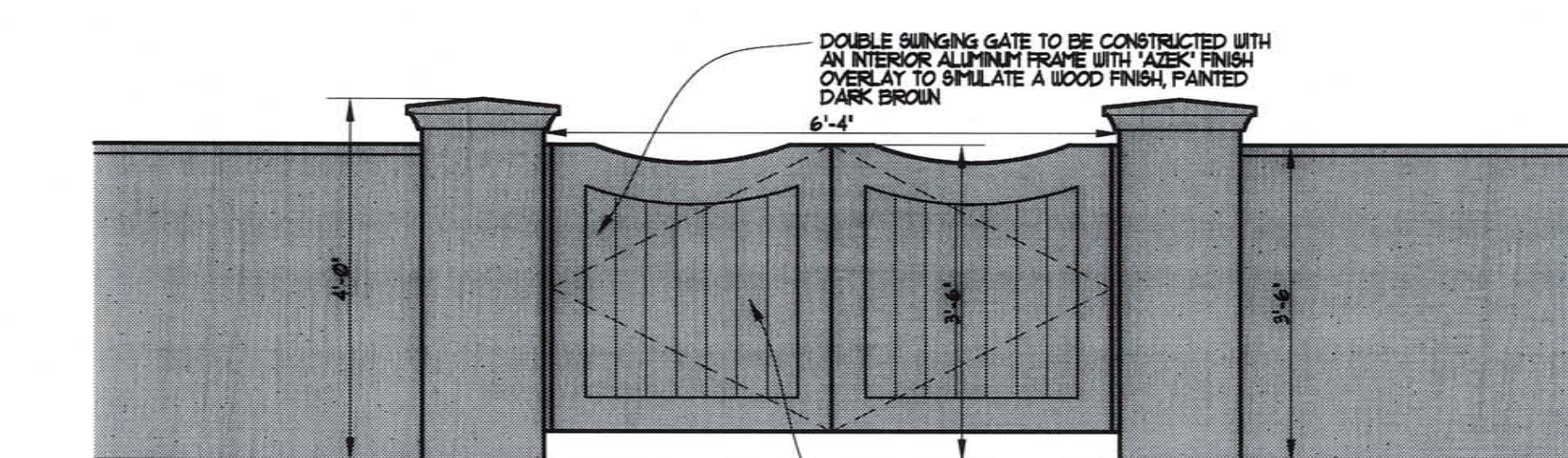


North Sliding Gate Elevation
Scale: 1/2" = 1'-0"

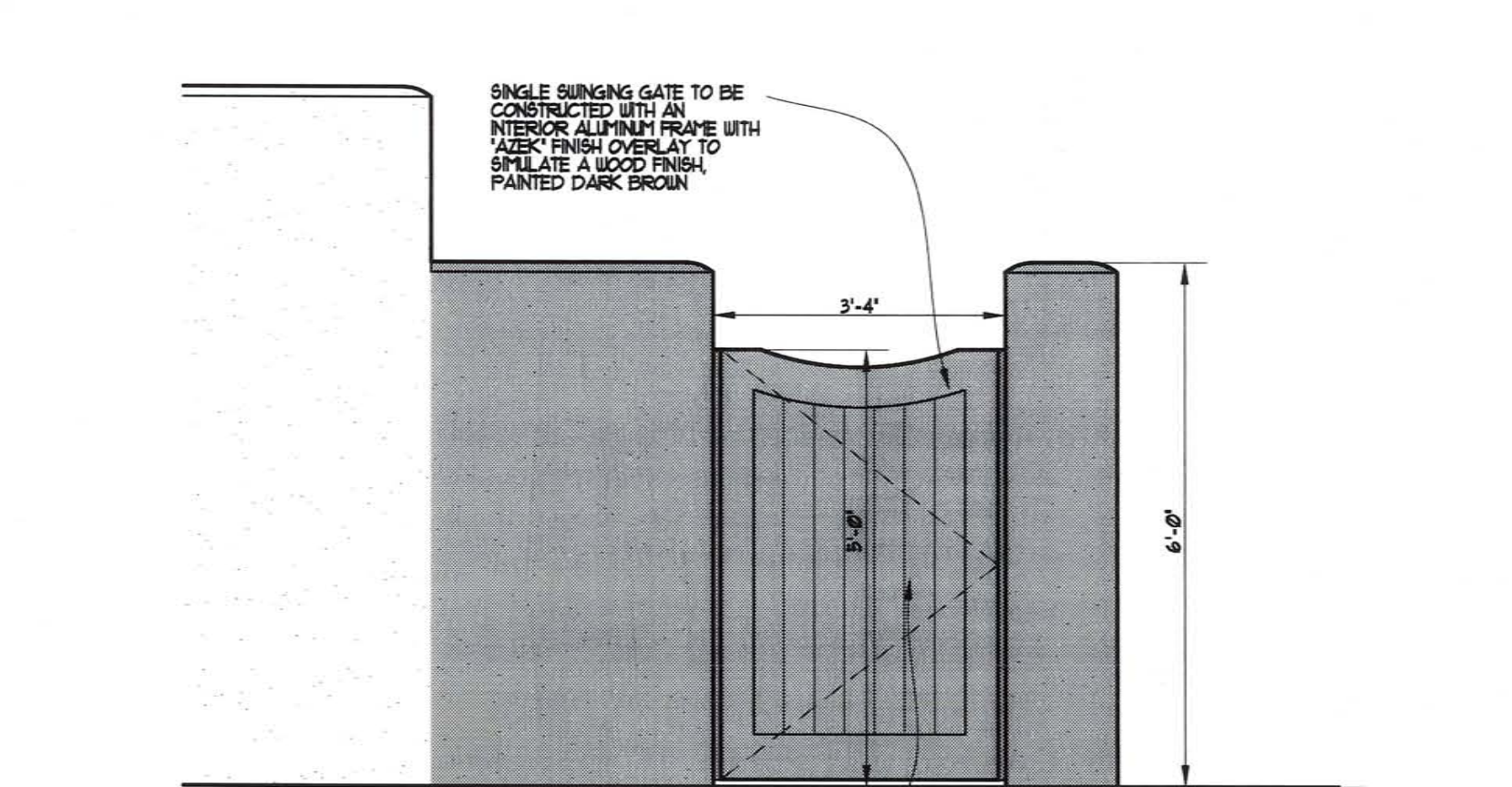
South Chain Link Fence & Gate Elev.
Scale: 1/2" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"



South West Beach Gate Elevation
Scale: 1/2" = 1'-0"



South East Beach Gate Elevation
Scale: 1/2" = 1'-0"



EXTERIOR PRIVACY WALL ELEVATIONS

South Elevation
Scale: 1/4" = 1'-0"

RODRIGUEZ	
Drawn: R.D.W. - Z.R.W.	
Revisions:	
Date	Description
12-31-14	Contractor Review Set
1-19-15	Permit Set
1-26-15	Privacy Wall Set
2-9-15	Elevator File Cap Rev. Δ
4-7-15	Wall Plans/Rev's for Historical Review
7-14-15	Truss Mig. Revisions
8-3-15	Privacy Wall Plan
10-28-15	Privacy Wall Plan Review
11-6-15	Privacy Wall Plan
12-15-15	Updated Privacy Wall Plans
12-29-15	Updated Privacy Wall Plans
1-5-16	Orientation to North-POI

A proposed Residence for:
Carlos & Eileen Rodriguez
200 Banyan Lane
Boca Grande
Lee County Florida 33921

CONTRACTOR
YUSK CONSTRUCTION INC.
CUSTOM BUILDERS
1100 Bayshore Drive
Englewood, FL 34423
OFFICE (941) 984-0078 (941) 462-7848
CELL (941) 462-7848
FAX (941) 984-0070

This plan set is to be used in accordance with the 2012 Florida Building Code, Residential, and the 2012 Florida Building Code, Commercial, as amended. It is the responsibility of the contractor to verify the accuracy of the information provided on this plan set. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that the construction complies with all applicable codes and regulations. The contractor shall be responsible for ensuring that the construction is completed within the specified time frame. The contractor shall be responsible for ensuring that the construction is completed within the specified budget. The contractor shall be responsible for ensuring that the construction is completed within the specified quality standards. The contractor shall be responsible for ensuring that the construction is completed within the specified safety standards. The contractor shall be responsible for ensuring that the construction is completed within the specified environmental standards. The contractor shall be responsible for ensuring that the construction is completed within the specified social standards. The contractor shall be responsible for ensuring that the construction is completed within the specified economic standards. The contractor shall be responsible for ensuring that the construction is completed within the specified cultural standards. The contractor shall be responsible for ensuring that the construction is completed within the specified historical standards. The contractor shall be responsible for ensuring that the construction is completed within the specified archaeological standards. The contractor shall be responsible for ensuring that the construction is completed within the specified paleontological standards. The contractor shall be responsible for ensuring that the construction is completed within the specified historical landmarks standards. The contractor shall be responsible for ensuring that the construction is completed within the specified archaeological landmarks standards. The contractor shall be responsible for ensuring that the construction is completed within the specified paleontological landmarks standards. The contractor shall be responsible for ensuring that the construction is completed within the specified historical landmarks standards. The contractor shall be responsible for ensuring that the construction is completed within the specified archaeological landmarks standards. The contractor shall be responsible for ensuring that the construction is completed within the specified paleontological landmarks standards.

CRONIN ENGINEERING, INC.
CERTIFICATE OF AUTHORIZATION NUMBER: 8597
6627 WILLOW PARK DRIVE
NAPLES, FL 34109
PHONE: (239) 395-2127 FAX: (239) 395-8820

WILLIAMSON-HINKLE architects LLC
P.A. BOX 10789 CAPE CORAL, FL 33911 • FT. MYERS BEACH OFFICE (239) 466-9613 • OCEA OFFICE (239) 442-2886
FL LICENSE NO. 141387



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No.	2016-00009	Designation No.	HD 90 05 01	Date Filed:	
---------	------------	-----------------	-------------	-------------	--

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
--	---	---	---

Name of Project: Hurlburt

Location: 1141 11th St Boca Grande FL 33921

Strap No.: 14 43 20 01 00037 0010

Name of Applicant or Agent: JUSTIN SEXTON Old Florida Homes

(* All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 1142 Brown St

City / State, Zip: Englewood FL 34224

Phone Number: 941 380 7365 Fax Number: _____

E-mail: justin@oldfloridahomesllc.com

Name of Historic District, if applicable, Boca Grande

Check all that apply: Building Archaeological Site Object Landscape Feature

Project Description: (describe all work proposed):

Alteration Demolition New Construction Reconstruction Rehabilitation Relocation

Narrative: Porch enclosure with roof change to match existing gable roof

Change in Use: yes no

If yes, explain: _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? yes no

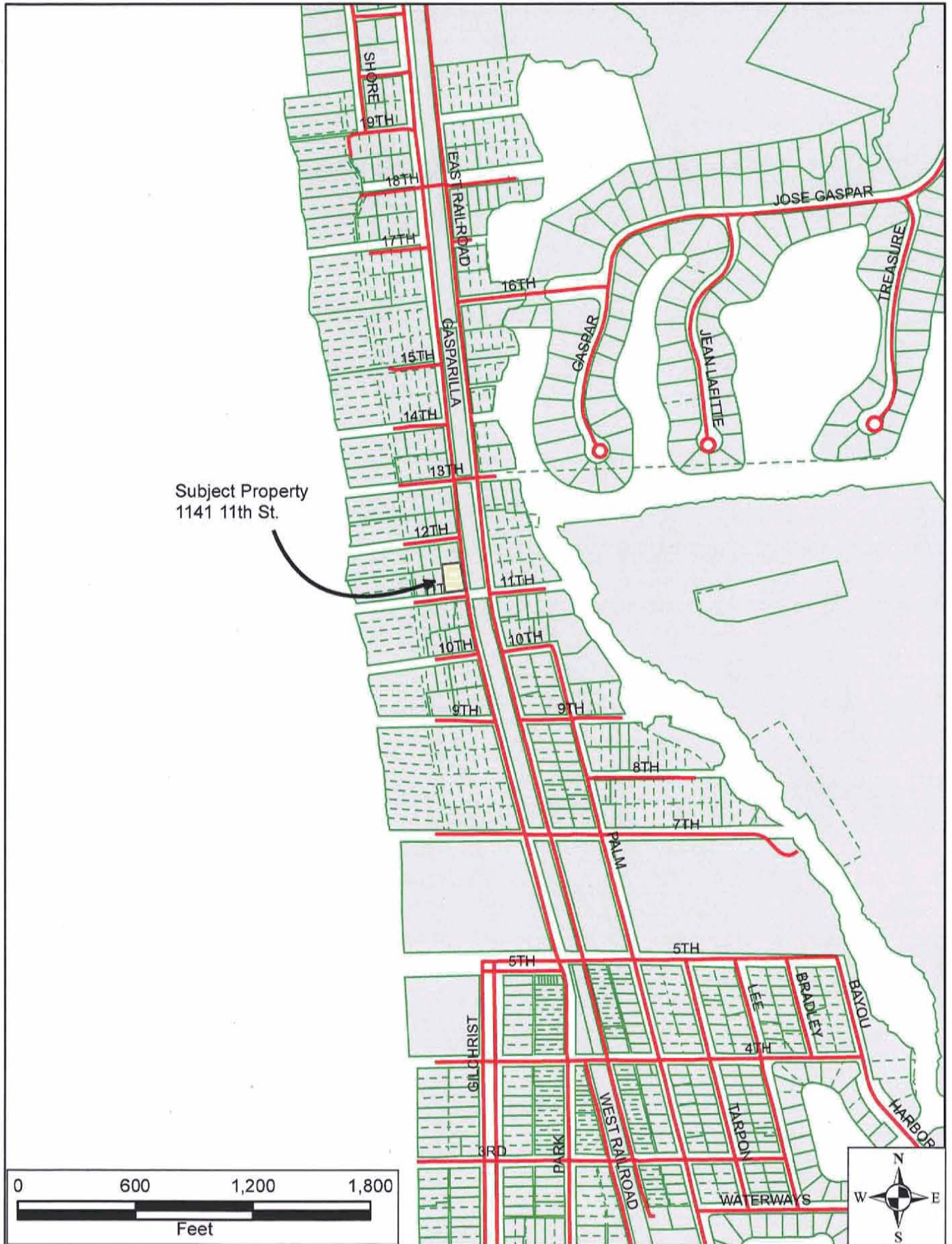
If yes, explain: _____

Has a development order or exemption been applied for prior to or concurrent with this application? yes no

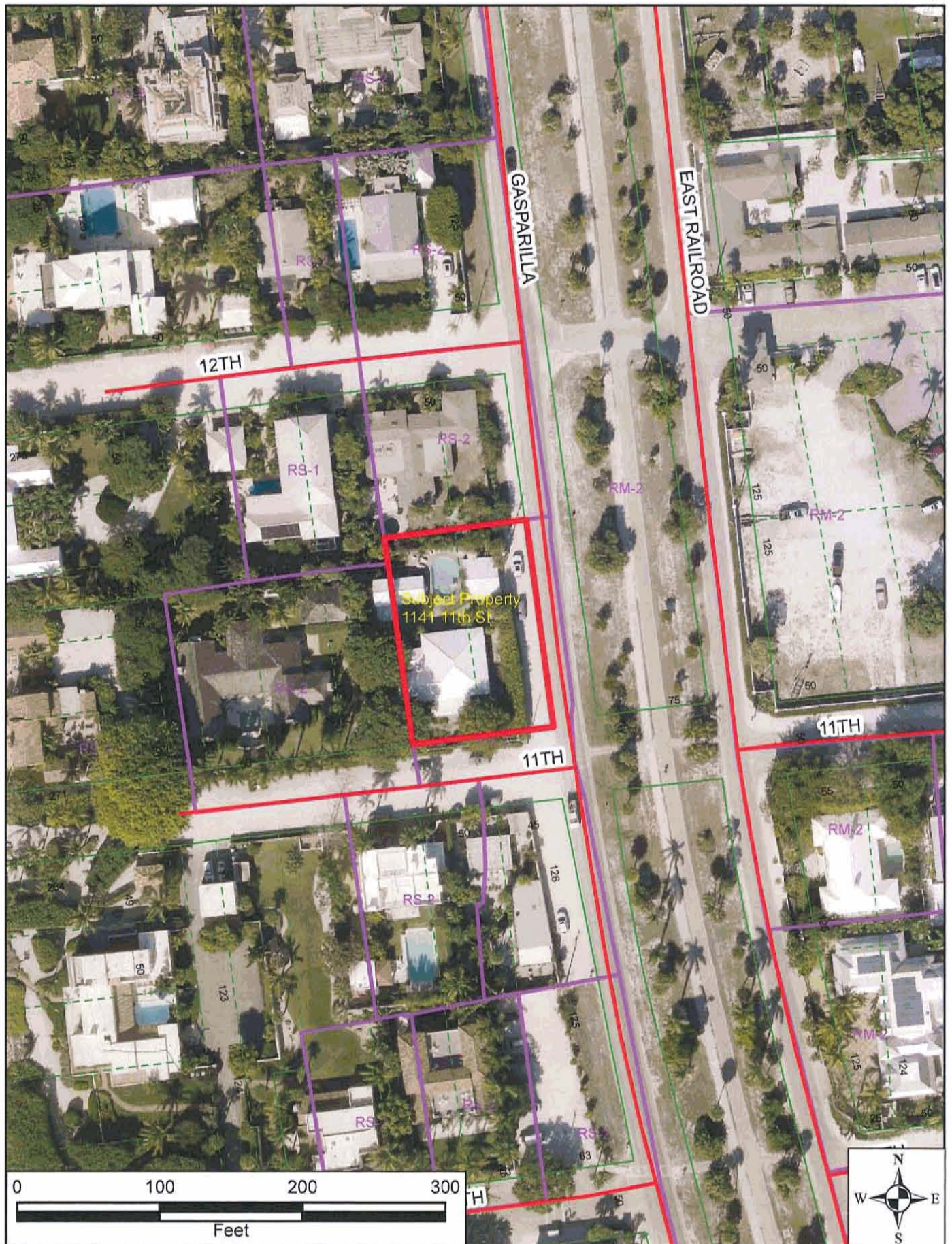
If yes, explain: _____

***** FOR STAFF USE ONLY *****				
Date Filed:	Date Issued:	APPROVED	*DENIED	
Certified by: _____				
* Explanation Attached				

COA2016-00009 Hurlburt 1141 11th St, Boca Grande



COA2016-00009 Hurlburt 1141 11th St, Boca Grande



BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2016-00009

PROJECT NAME: Hurlburt

ADDRESS: 1141 11th St W, Boca Grande Fl 33921

HEARING DATE: February 10, 2016

SUMMARY

The proposed project entails the enclosure of a porch on an accessory dwelling unit of a contributing property in the Boca Grande Historic District HD 90-05-01. The STRAP number is 14-43-20-01-00037.0010 and the address is 1141 11th St W. Staff analyzed the subject proposal for compliance with the Secretary of the Interior's Standards for Rehabilitation and for compliance with Chapter 22 (Historic Preservation) of the Land Development Code (LDC).

STAFF ANALYSIS

The subject property is a narrow, rectangular shaped parcel (roughly 100-ft by 140-ft) at the northwest corner of 11th St W and Gasparilla Rd. in the Boca Grande Historic District. Fence walls (roughly 6ft high) buffer the property from these streets. The parcel includes three structures: the main house, a detached garage and the subject accessory dwelling unit. The main house is a frame vernacular house fronting on 11th St W. The detached garage is located near the property's northeast corner and has vehicular access from Gasparilla Rd. The subject accessory dwelling is located rear of the main house by the property's northwest corner. Walkways provide pedestrian access to the accessory dwelling from the garage and the main house.

The accessory dwelling is a frame vernacular building consisting of two adjoining side gable roofed wings featuring metal roofing and horizontal wood siding. The east wing is a single-story structure. The west wing, which is the subject of this proposal, is a two-story structure accessed by exterior stairs on the west side. On the first floor of the west wing (on the south elevation) features a single story, screened porch covered by a metal shed roof.

Proposal:

The proposal calls for removing the screened, shed roofed porch and, replacing it, within the existing footprint, with a new enclosed porch featuring a front facing, metal gable roof. The proposed porch will feature horizontal wood siding, matching the existing siding on the building and knee walls supporting ribbons of casement windows. The windows will wrap around the west, south and east elevations. The east elevation will include a single, fixed plate, glass door.

The existing awning window on the second floor of the south elevation will be replaced with a smaller window to provide enough room to accommodate the higher roof ridge of the proposed gable roofed porch. The proposed window will be a 1/1 single hung window matching the existing window on the east elevation. This is a relatively small change on this elevation. The awning window that is being replaced is not an original window.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the Secretary of the Interior's Standards also refer to the discussion above.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The subject property will continue to be used as an accessory dwelling unit. The replacement of the existing screened, shed roofed porch with an enclosed, gable roofed porch is a minimal change that will not affect the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The character of the property shall be retained and preserved. The proposal will avoid the removal of historic materials or alterations of features and spaces that characterize the property. With the exception of the replacement of the window on the south elevation of the two-story wing, the existing interior space of the accessory dwelling unit will not be affected.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

As a frame vernacular house, the distinctive feature of the accessory dwelling unit is the simplicity of design. With the exception of the replacement of the window on the south elevation of the two-story wing, the interior space of the accessory dwelling unit will not be affected and distinctive simplicity of design will be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence. N/A

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Replacing the existing screened, shed, roofed porch with an enclosed, gable roofed porch will not destroy the materials that characterize the property. The new porch will occupy the foot print of the existing porch and will be compatible with the massing, size, scale and architectural features of the existing accessory dwelling unit.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the proposed enclosed gable roofed porch were to be removed in the future, the form and integrity of the accessory dwelling unit will be unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

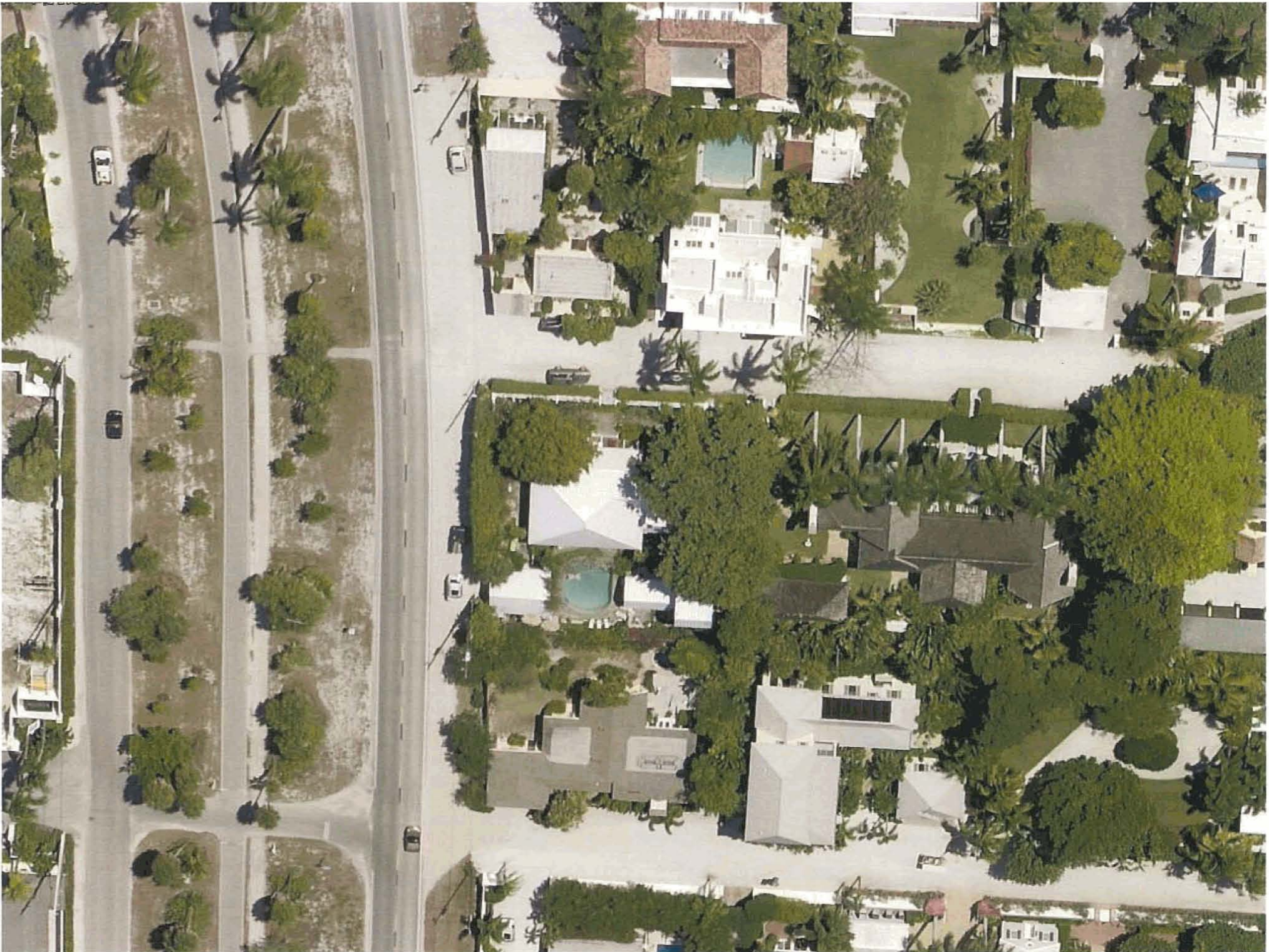
- Approve the project as presented by the applicant.
- Make a finding that the subject property has been designated as a historic resource under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project is in compliance with the Secretary of the Interior Standards for Rehabilitation and with Chapter 22 of the LDC.

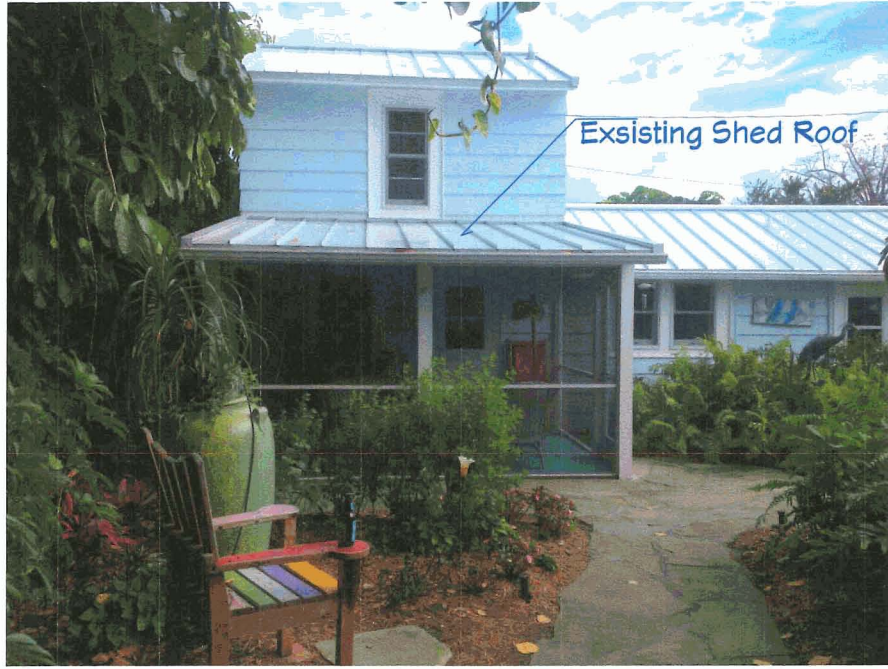
COA2016-00009 Hurlburt 1141 11th St W Boca Grande, FL 33921

Note: Zoning relief for this case is being considered pursuant to Land Development Code Section 22-174. A summary of the zoning relief request is provided for informational purposes only. The Lee County Zoning Section will make a determination after the Historic Preservation Board renders its decision

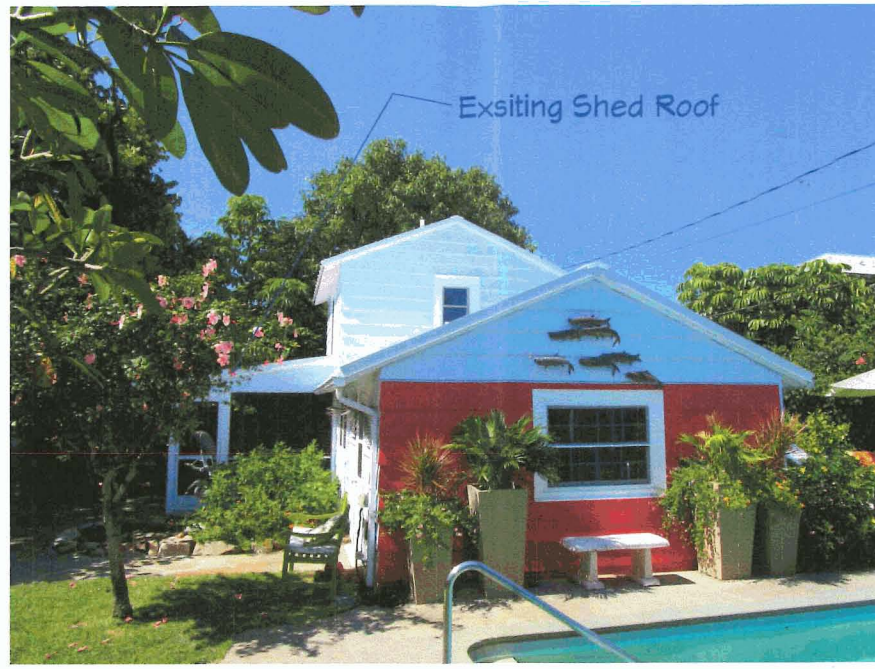
The applicant seeks zoning relief in the RS-2 (Residential Single-Family) zoning district from the Lee County Land Development Code as follows:

- 1) Section 34-695 from the required lot width of 100 feet, TO ALLOW a lot width of 97± feet.
- 2) Section 34-695 and 34-2192 from the required 25 foot street setback (Gasparilla Road), TO ALLOW 0± feet for the existing garage.
- 3) Section 34-1174(b)(1) from the required 100 foot setback for an accessory structure (garage) in front of the principal structure (house), TO ALLOW 0± feet for the existing garage.
- 4) Section 34-695 and 34-174(d)(2) from the required 10 foot side setback, TO ALLOW a 6± foot setback from the west property line for the existing guest house.
- 5) Section 34-1744(b)(2)a.i. which requires all fencing located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet, TO ALLOW a 6 foot high wall from the street right-of-way (11th Street); and
- 6) Section 34-3131 which prohibits a corner lot to be planted with 3 feet to 10 feet high structural or planting masses within the triangular space bounded by the two intersecting right-of-way lines and a straight line connecting the two points on the street right-of-way lines 25 feet from their intersection, TO ALLOW the existing 6 foot high wall with existing plantings.

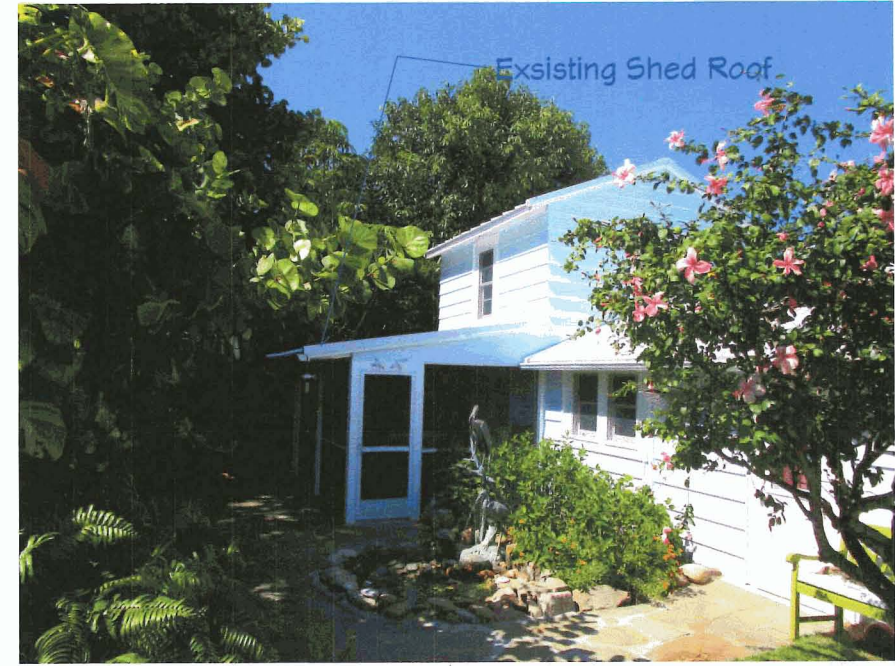




Existing Structure with Porch



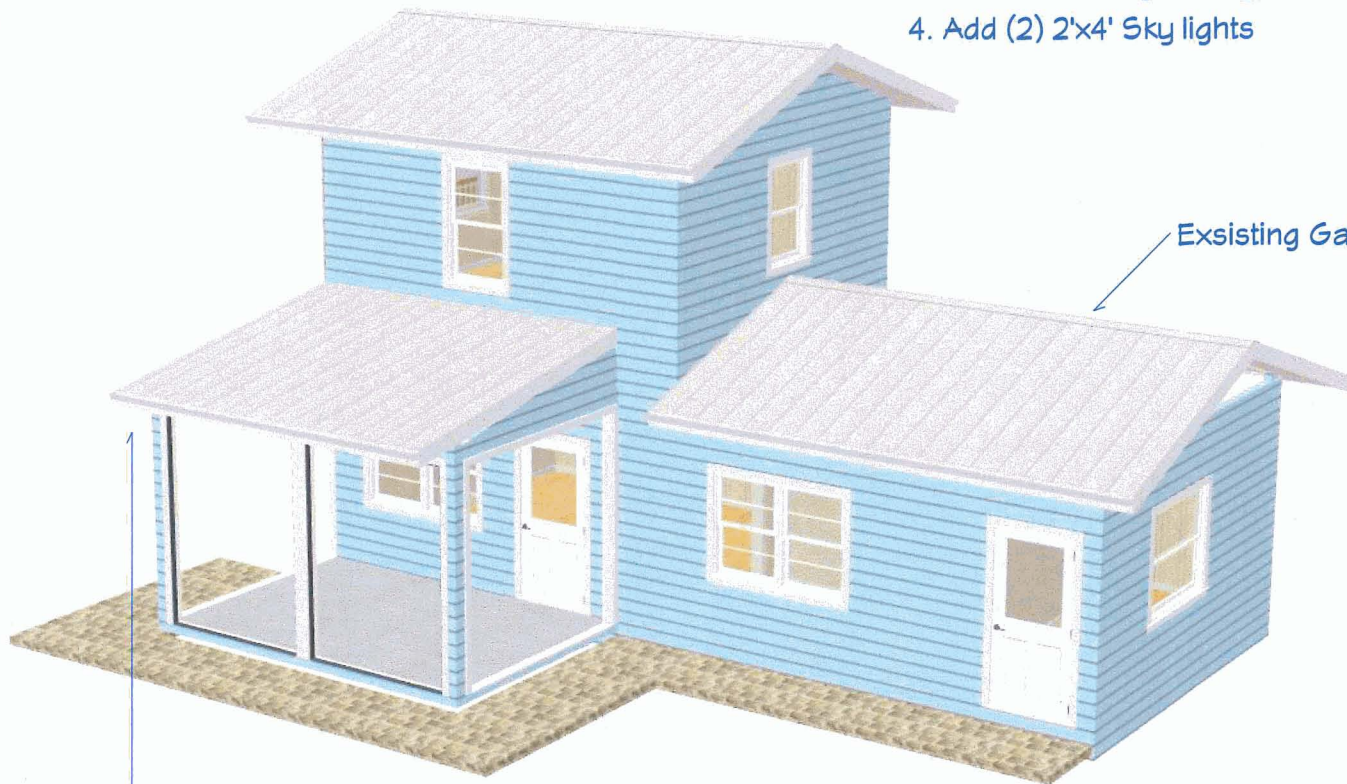
Existing Structure with Porch



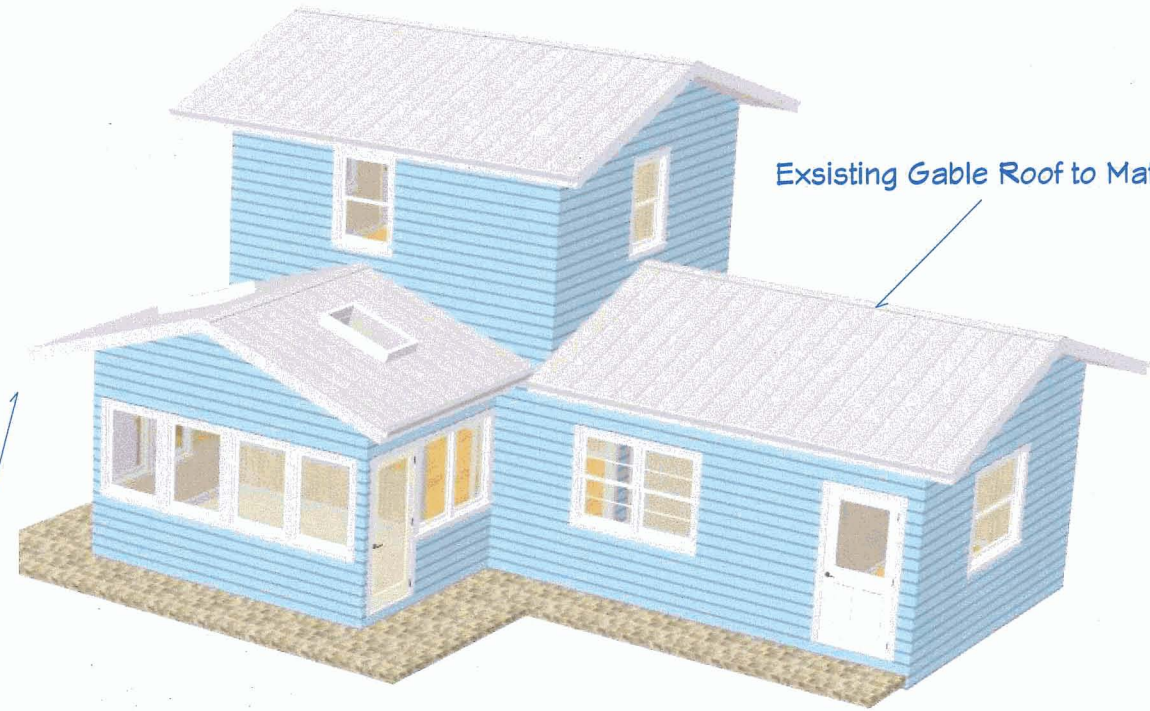
Existing Porch

Proposed Scope of Work:

1. Remove Flat/Shed Roof and Change to Gable roof to match existing structure.
2. Install New Impact Casement Windows (6@30"x48") and Glass Door (1@36"x80") in New walls (Per Drawing)
3. Match existing 12" Cypress Siding and Paint to match structure
4. Add (2) 2'x4' Sky lights



Existing Porch with Shed Roof



Proposed Porch with Gable Roof and New Casement Windows

REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION

Old Florida Homes LLC
1192 Brown Street
Englewood, FL
941-380-1365

1141 11th Street
Boca Grande, FL

DRAWINGS PROVIDED BY:
Justin Sexton
941-380-1365

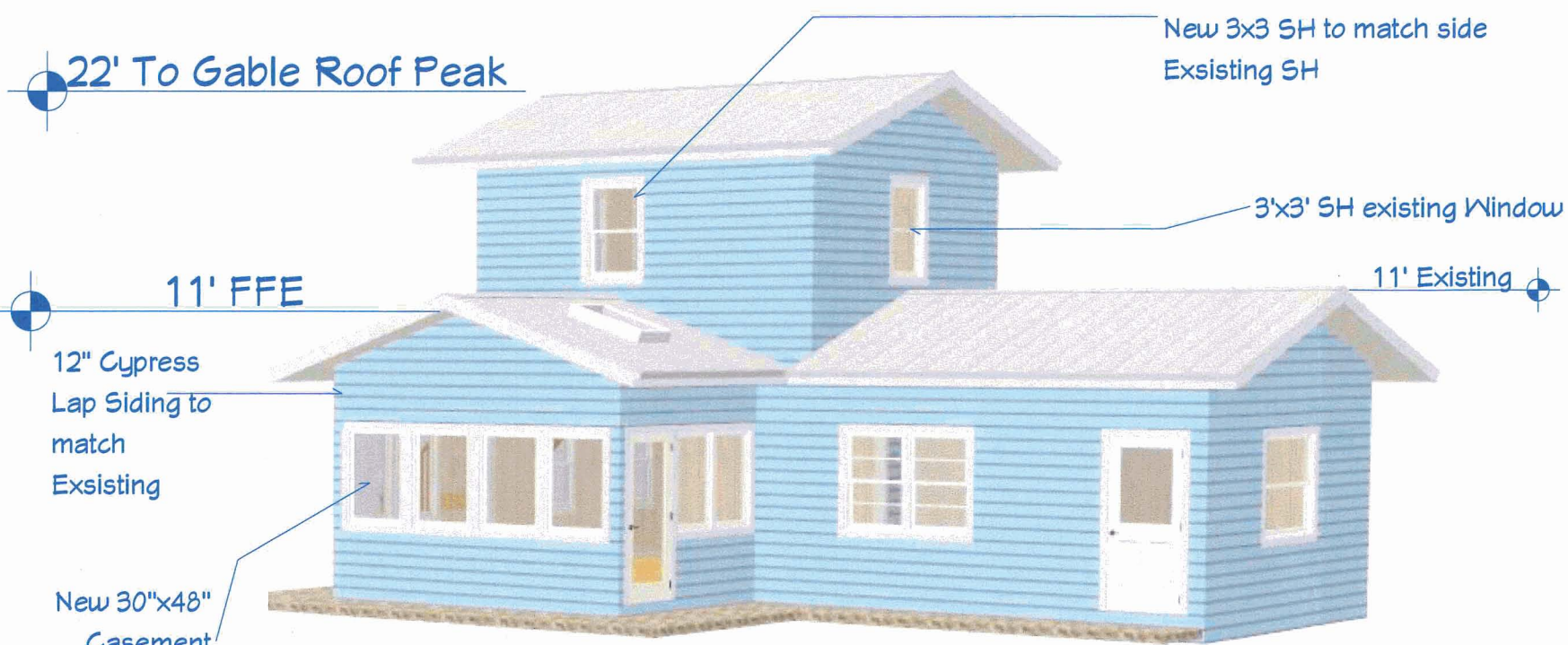
DATE:

1/21/16

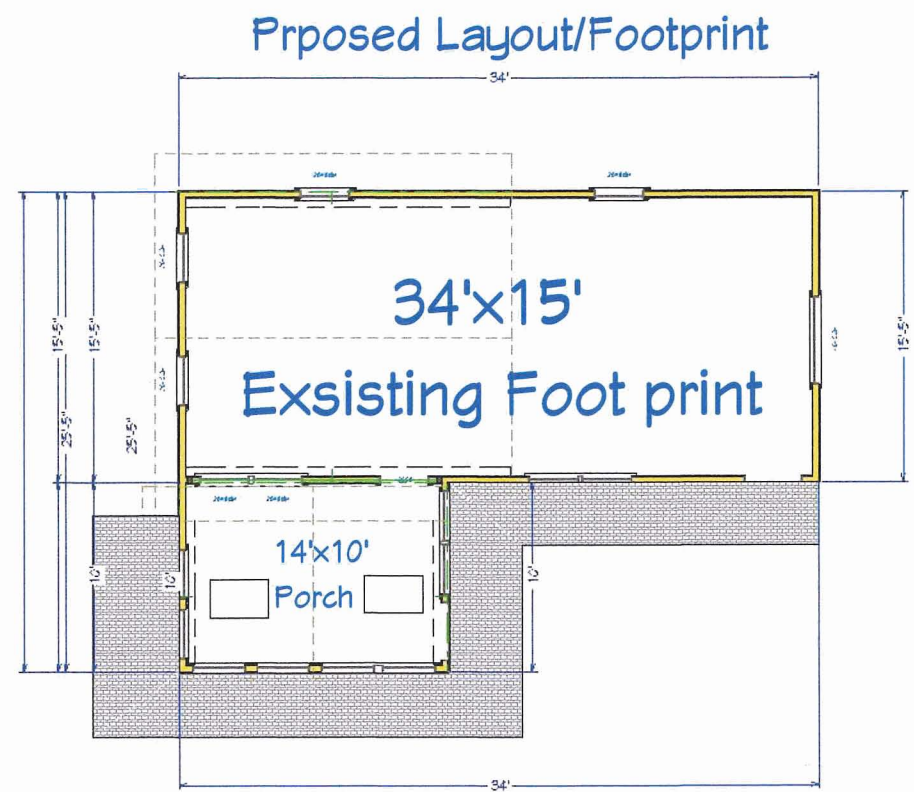
SCALE:

SHEET:

A#1



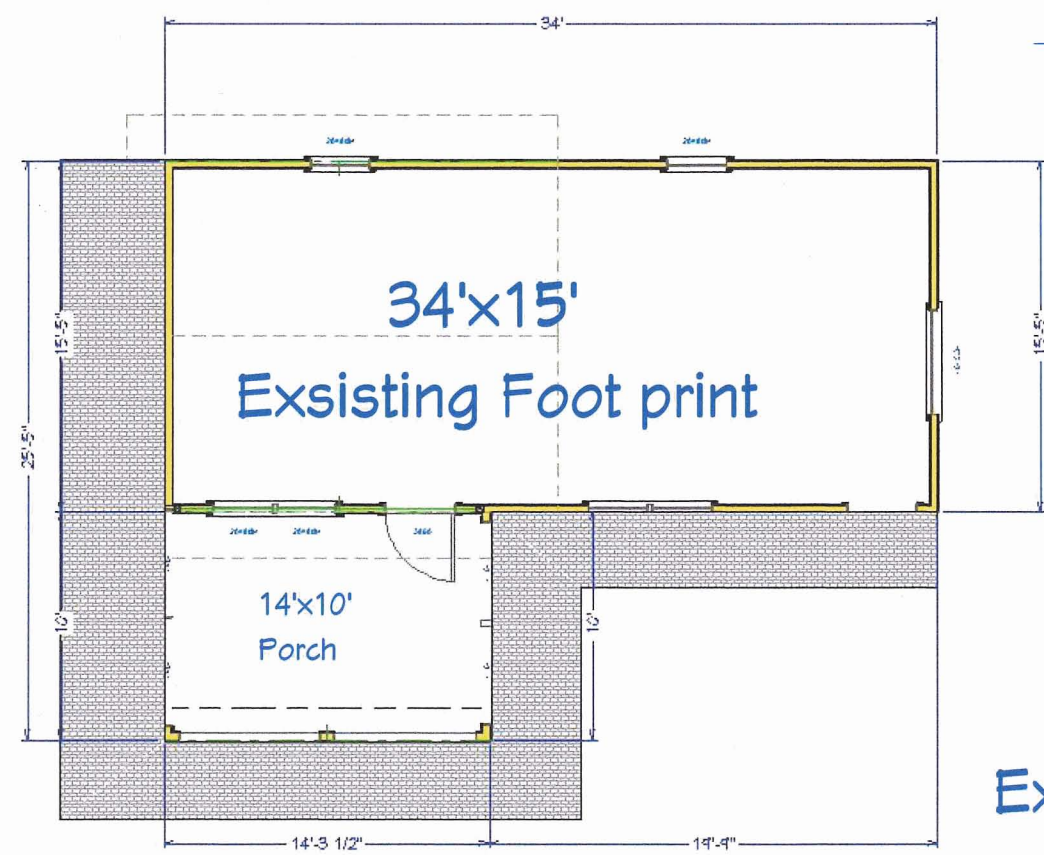
Prposed New 14'x10 Gable Roof/porch Enclosure



Prposed Layout/Footprint

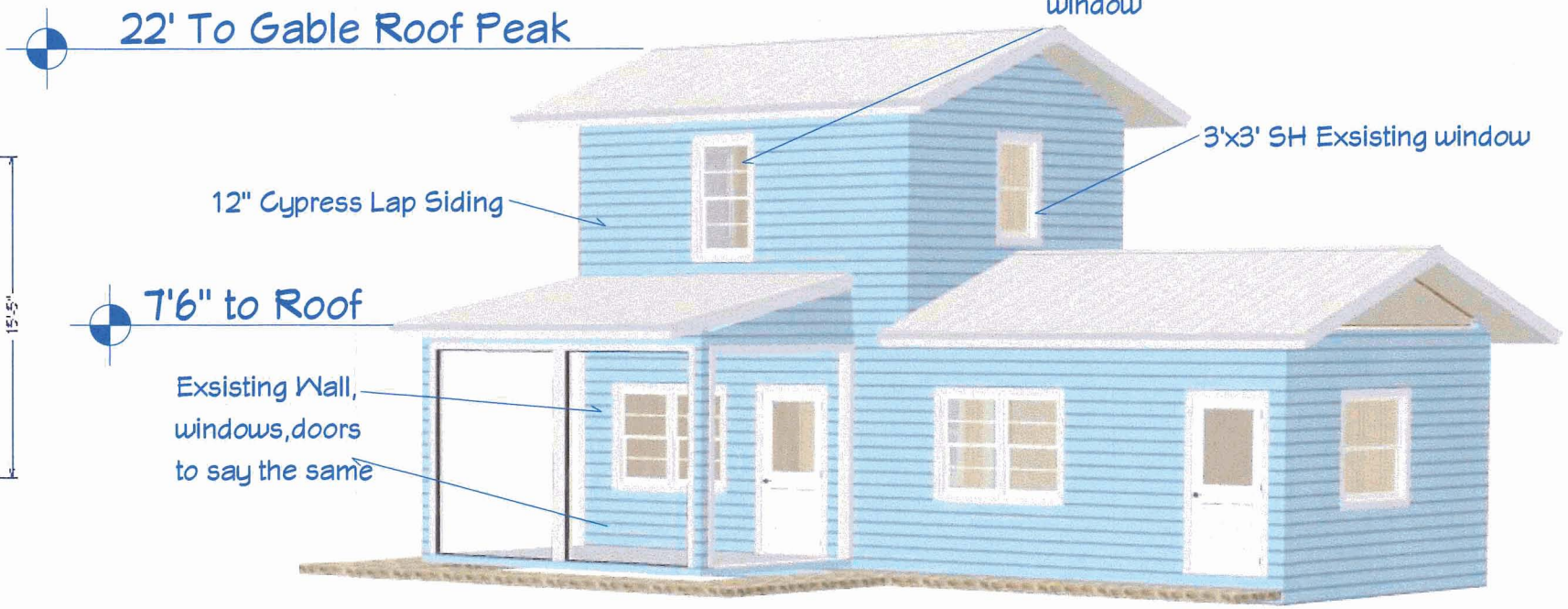
34'x15'
Existing Foot print

14'x10'
Porch



34'x15'
Existing Foot print

14'x10'
Porch



Exsiting Floor Plan With 14'x10 Existing Shed Roof

REVISION TABLE	
NUMBER	DATE

1141 11th Street
Boca Grande, FL
"Hurlburt"

Old Florida Homes LLC
941-380-7365

DRAWINGS PROVIDED BY:
Justin Sexton
941-380-7365

DATE:

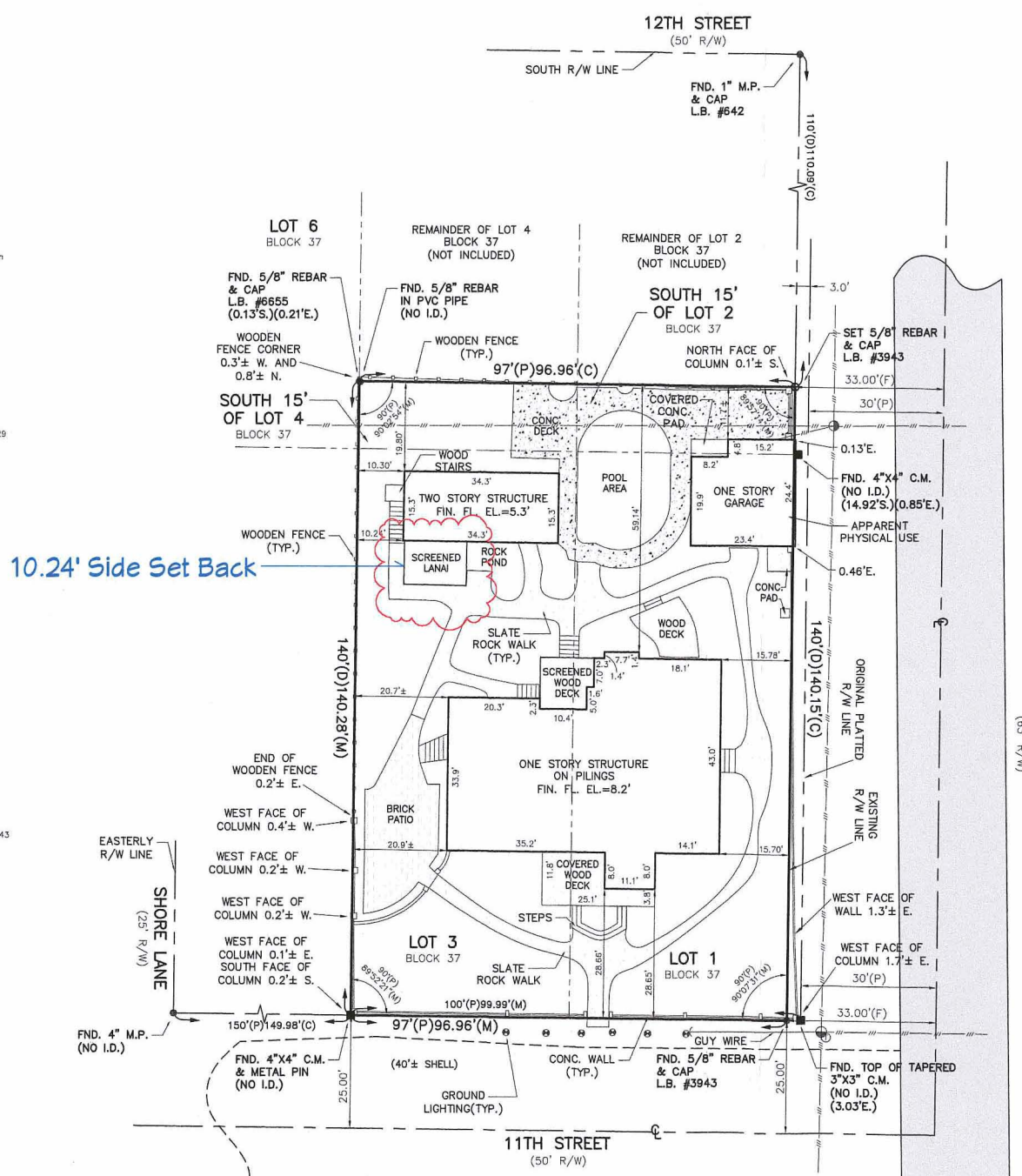
1/21/16

SCALE:

SHEET:

A#2

- ABBREVIATIONS:**
- A.A.A. = Americans Disabilities Act
 - Alum. = Aluminum
 - Approx. = Approximate
 - B.M. = Bench Mark
 - (C) = Calculated data
 - C = Chord dimension
 - C.B. = Chord Bearing
 - C.M. = Concrete Monument
 - Conc. = Concrete
 - (D) = Deed data, Description data
 - D.E.P. = Department of Environmental Protection
 - D.N.R. = Department of Natural Resources
 - D.O.T. = Department of Transportation
 - Drain = Drainage
 - El. = Elevation
 - Est. = Easement
 - (F) = Field data
 - Fin. Fl. = Finished Floor
 - Fin. = Found
 - Gar. Fl. = Garage Floor
 - In. = Invert
 - L.B. = Land Surveying Business
 - L.S. = Land Surveyor
 - (M) = Measured data
 - M.S.W. = Mean High Water Line
 - M.P. = Metal Pipe
 - M.R. = Metal Rod
 - Mag. = Magnetic
 - N.A.V.D. = North American Vertical Datum 1988
 - N.C.V.D. = National Geodetic Vertical Datum 1929
 - O.R. = Official Records
 - (P) = Plot data
 - P.C. = Point of Curvature
 - P.C.C. = Point of Compound Curvature
 - P.C.P. = Permanent Control Point
 - P.I. = Point of Intersection
 - P.K. = PARKER-KALON
 - P.L.S. = Professional Land Surveyor
 - P.O.B. = Point of Beginning
 - P.O.C. = Point of Commencement
 - P.O.L. = Point on Line
 - P.O.T. = Point of Terminus
 - P.R.C. = Point of Reverse Curvature
 - P.R.M. = Permanent Reference Monument
 - P.S.M. = Professional Surveyor and Mapper
 - P.T. = Point of Tangency
 - R = Radius
 - R/W = Right-of-Way
 - S.F. = Square Feet
 - Sta. = Station
 - Struc. = Structure
 - T.B.M. = Temporary Bench Mark
 - Typ. = Typical
 - (U) = Unrecorded data
 - U.S.G.S. = United States Geodetic Survey
 - Util. = Utility
 - Wt. Cor. = Witness Corner
 - W/W = Waterway
 - ± = Centerline
 - ± = Property Line
- LEGEND:**
- = Found 4"x4" Concrete Monument (number noted if any)
 - = Found 5/8" Rebar (I.D. noted if any)
 - ▲ = Found P.K. Nail and Disc (I.D. noted if any)
 - = Spot Elevation
 - = Set 4"x4" Concrete Monument with Cap L.B. #3943
 - = Set 5/8" Rebar with Cap L.B. #3943
 - = Set Mag. Nail and Disc L.B. #3943
 - ⊕ = Utility Box
 - ⊕ = Utility Pole
 - ⊕ = Guy Wire Anchor
 - ⊕ = Water Meter
 - ⊕ = Water Valve
 - ⊕ = Sewer Valve
 - ⊕ = Sewer Service
 - ⊕ = Fire Hydrant
 - ⊕ = Sewer Cleanout
 - ⊕ = Water Service
 - ⊕ = Well/Monitor/Irrigation
 - ⊕ = Sanitary Sewer Manhole
 - ⊕ = Storm Manhole
 - ⊕ = Miscellaneous Manhole
 - ⊕ = Electric Service
 - ⊕ = Electric Hand Hole/Manhole
 - ⊕ = Telephone Riser/Hand Hole
 - ⊕ = Cable TV
 - ⊕ = Mail Box
 - ⊕ = Road Sign
 - ⊕ = Light Pole
 - ⊕ = Street Light Box
 - ⊕ = Ground Light
 - ⊕ = Backflow Preventer
 - ⊕ = Overhead Utility Line
 - ⊕ = Barb Wire or Wire Fence
 - ⊕ = Chain Link Fence
 - ⊕ = Wooden Fence
 - WTR = Buried Water Line
 - TEL = Buried Telephone Line
 - SEW = Buried Sanitary Sewer
 - ELEC = Buried Electric Line
 - RW = Buried Reuse Water Line
 - GAS = Buried Gas Line
- Legend symbols are not to scale and are for graphic I.D. only.



DESCRIPTION:
OFFICIAL INSTRUMENT NUMBER 2013000218686

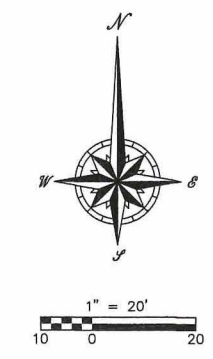
LOTS 1 AND 3 AND THE SOUTH 15 FEET OF LOTS 2 AND 4, BLOCK 37, REVISED PLAT OF BOCA GRANDE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGES 1 AND 1A, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

LESS AND EXCEPT THE EAST 3.0 FEET FOR ROAD RIGHT-OF-WAY PURPOSES.

SURVEYORS' NOTATIONS:

- FLOOD ZONE: AE, EL=11.0' AS SCALED FROM FLOOD INSURANCE RATE MAP, COMMUNITY NO. 125124, MAP NO. 12071C, PANEL NO. 0019F, REVISED 08/28/08.
- ELEVATIONS ARE BASED ON N.A.V.D. 1988.
- BASE BENCHMARK: LEE COUNTY COASTAL CONSTRUCTION CONTROL MARKER 12-81-A13 N.G.S. PID AG 7795, PUBLISHED ELEVATION 3.90 FEET N.A.V.D. 88.
- ALL DISTANCES AND ELEVATIONS ARE EXPRESSED IN U.S. STANDARD FEET AND DECIMALS THEREOF.
- THE SUBJECT PARCEL LIES LANDWARD OF THE LEE COUNTY COASTAL CONSTRUCTION CONTROL LINE.
- THE UNDERLINED PORTION OF THE DESCRIPTION WAS ADDED BY THE SIGNING SURVEYOR.

PREPARED FOR THE EXCLUSIVE USE OF:
ROBERTA M. HURLBURT



SURVEYOR'S CERTIFICATE:
This sketch of survey represents the results of a field survey prepared under my direction, is true and correct to the best of my knowledge and belief and has only been prepared to comply with standards of practice effective the date of this survey as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.051, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes. Subject to all notes and notations shown hereon.

DMK ASSOCIATES, INC.
01/05/16
DATE OF FIELD SURVEY
01/19/16
DATE OF SIGNATURE

BY:
WARREN (BARRY) McLEOD
Professional Surveyor and Mapper
Florida Licensed Surveyor No. 4855
Land Surveying Business No. 3943
File No. 16-0004

DMK ASSOCIATES
ENGINEERS & SURVEYORS
4315 S. Access Road
Briarwood, Florida 34224
TEL: (813) 470-8898 FAX: (813) 470-1881
Date: 01-19-16 Field Book: 15-08
Scale: NAD83 Proj. No.: 16-0004 Page: 1-3

DMK

NUMBER	DATE	REVISION BY	DESCRIPTION

Job No. _____
Revision _____
Date _____
Field Book _____
Drawn By _____
Checked By _____
Scale _____

NOTE: The undersigned and DMK Associates, Inc. do not warrant, represent, or guarantee the accuracy of any data, information, or other material provided by any third party, including but not limited to, utility companies, governmental agencies, or other sources. The user of this survey is advised to verify the accuracy of any data, information, or other material provided by any third party before relying on it for any purpose. The user of this survey is advised to consult with an attorney for legal advice regarding the use of this survey.

Type of Survey: **Boundary**
Accuracy Standard: **Suburban**
Expected Survey Use: **Finance**

1 of 1

REVISION TABLE

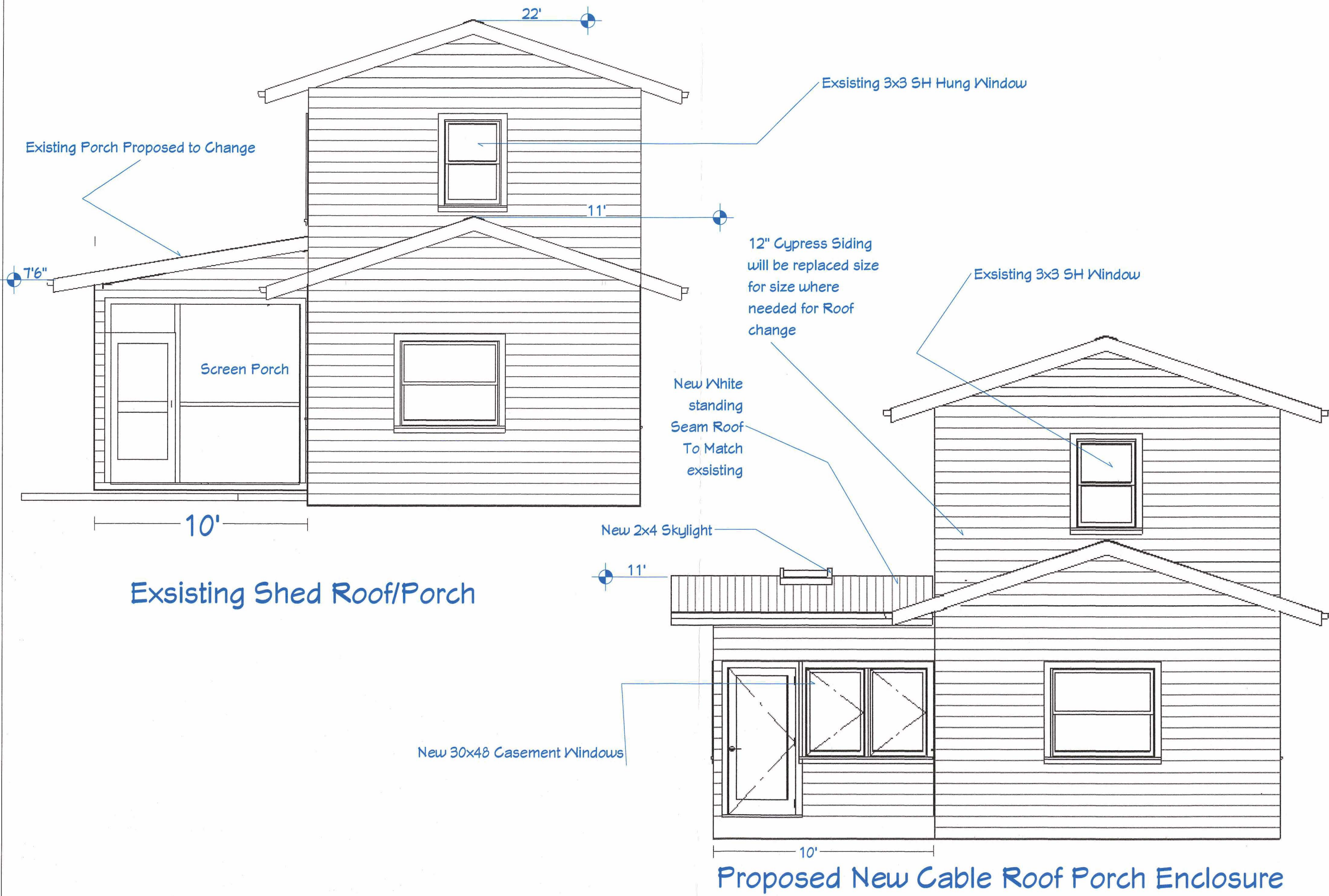
Old Florida Homes
941-380-7365
Justin@oldfloridahomesllc.com

1141 11th Street
Boca Grande, FL
33921

DATE: 1/21/16

SCALE:

SHEET: A#3



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Old Florida Homes
941-380-7365

1141 11th Street
Boca Grande, FL 33921

DRAWINGS PROVIDED BY:

DATE:

1/21/16

SCALE:

SHEET:

A#4