



**LEE COUNTY HISTORIC PRESERVATION BOARD
OLD LEE COUNTY COURTHOUSE
EAST ROOM (2ND FLOOR)
2120 MAIN STREET, FORT MYERS, FL 33901**

**WEDNESDAY, SEPTEMBER 18, 2013
10:00 AM**

AGENDA

NOTE: (For public review, back-up materials for the historic designation and special certificate of appropriateness cases will be available at the Pine Island Public Library, 10700 Russell Road NW, Bokeelia, FL 33922, starting September 11, 2013).

- 1. Call to Order/Review of Affidavit of Publication**
- 2. Approval of 7/17/13 Minutes**
- 3. Review of the proposed Snook Inn rehabilitation and Bat House Park Development in the Matlacha Historic District at 4445 Pine Island Rd NW Matlacha FI 33993.**
- 4. Request to File a Historic Designation**
 - A. Court Residence at 11461 Island Ave Matlacha FI 33993**
- 5. Items by the Public; Committee Members; Staff**
- 6. Next Meeting Date: October 16, 2013**

A verbatim record of the proceeding will be necessary to appeal a decision made at this hearing. Contact the Lee County Division of Planning at 239-533-8583 for further information on obtaining a record. In accordance with the Americans with Disabilities Act, reasonable accommodations will be made upon request. Contact Janet Miller at 533-8583.

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MINUTES REPORT
LEE COUNTY HISTORIC PRESERVATION BOARD
July 17, 2013

MEMBERS PRESENT:

Ruby Daniels	James Ink
Marsa Detscher (Vice Chair)	Rae Ann Wessel
Toni Ferrell	

MEMBERS ABSENT:

Kevin Williams (Chair)
Vacant

STAFF PRESENT:

Janet Miller, Recording Secretary	Gloria Sajgo, Principal Planner
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Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication

Mr. Williams, Chair, called the meeting to order.

Ms. Miller, Recording Secretary, noted she had gotten a response from the Attorney's office stating the ad for this meeting was sufficient.

Agenda Item 2 – Approval of Meeting Minutes – June 19, 2013

Ms. Wessel referred to Page 2 of 6 where Ms. Ferrell made a motion. She stated "contributing" and "noncontributing" were reversed. The motion should say, "**She made a motion to direct it to public hearing to change the status from the Matlacha Historic District and the subject property from non-contributing to contributing and the case number is HDC2013-00001 Claunch, seconded by Dr. Detscher. The motion was called and passed 5-0.**"

Ms. Wessel made a motion to approve the June 19, 2013 meeting minutes with the above correction, seconded by Mr. Ink. The motion was called and passed 5-0.

Agenda Item 3 – Public Hearing on a Historic Designation (change in status from non-contributing to contributing)

A. HDC2013-00001 Claunch, 4819 Pine Island Road NW, Matlacha, FL 33993
(Change in status from non-contributing to contributing)

Ms. Sajgo stated she had reviewed the designation report at last month's meeting. It had not changed since that time, but she was available for questions.

Mr. Ron Schlegel had no additional comments to make, but was also available for questions.

The Board had no questions of staff or the applicant.

No other members of the public were present, so the public comment segment was closed.

Ms. Ferrell made a motion to change the status of 4918 Pine Island Road NW, Matlacha from non-contributing to a contributing structure in the Matlacha Historic District, HD2013-00001 Claunch, seconded by Ms. Wessel. The motion was called and passed 5-0.

Agenda Item 4 – Public Hearing on a Special Certificate of Appropriateness (COA)

A. COA2013-00079 Claunch, 4819 Pine Island Road NW, Matlacha, FL 33993

(This project entails the rehabilitation of the residence and its expansion with the addition of a lanai at the rear)

Ms. Sajgo reviewed her staff report and recommendations (attached).

Due to a question by Ms. Wessel, staff confirmed that this is now a contributing structure because of the action taken on the first case.

Mr. Schlegel was available for questions.

The Board had no questions of staff or the applicant's representative.

No other members of the public were present, so the public comment portion was closed.

Mr. Ink made a motion to approve the proposal as presented by the applicant and make a finding that the proposed project has been designated under Chapter 22 of the Land Development code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior's Standards for Rehabilitation and Chapter 22 of the LDC, seconded by Ms. Ferrell. The motion was called and passed 5-0.

Agenda Item 5 – Items by the Public; Committee Members; Staff

Public – None

Committee Members

Dr. Detscher stated the Lee Trust for Historic Preservation Newsletter was mailed out. If anyone did not receive it, she encouraged them to let her know so that she could make sure they get a copy.

Staff – None

Agenda Item 6 – Next Meeting Date: To Be Determined

Ms. Sajgo stated she was not certain whether or not we would have a meeting in August. So far, no applicants are ready with submittals, but that could change. If a meeting is held, the meeting date would be August 21st.

Ms. Ferrell noted she would be out of town on August 21st and would be unable to attend.

Mr. Ink made a motion to adjourn, seconded by Ms. Wessel. **The meeting adjourned at 10:10 a.m.**

**LEE COUNTY HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00079 Claunch 4819 Pine Island Rd Matlacha Fl 33993

HEARING DATE: July 17, 2013

I. SUMMARY

The request is for the rehabilitation of a residence and its expansion by the addition of a lanai at the rear. The property is a contributing residence in the Matlacha Historic District HD (District) 90-10-01. It is located at 4819 Pine Island Rd, Matlacha 33993. The STRAP is 24 44 22 01 00003.0250. Staff analyzed the proposed project for compliance with the Secretary of the Interior's Standards for Rehabilitation and Chapter 22 of the Lee County Land Development Code.

II. STAFF ANALYSIS

Existing Conditions: The subject single family is built on the Pine Island Fill Subdivision on Block 3 lot 25. The lot is rectangular (roughly 100-ft by 40-ft) and straddles both land and water (Matlacha Bay). The land portion of the lot is only roughly 60-ft by 40ft. with roughly 40-ft frontage along Pine Island Rd.

Like many of the contributing structures in the Matlacha Historic District, this is a wood frame house built in the vernacular architectural style – which refers to construction using local materials and labor, usually without the benefit of plans, and built at the most economical price at the time. The small building is typical of the diminutive cottages in Matlacha. Its footprint is roughly 1286 sq ft. (including 246 sq ft for the garage). It is rectangular in shape with roughly 29-ft along the front and rear and roughly 44 ½ ft along the sides. From grade to roof peak it is about 12-ft high.

This small vernacular building features horizontal vinyl siding and both metal and composition (flat) roofs. The exterior windows and doors and their locations are not original to the house or historically or architecturally accurate. The house features two principal wings, both clearly visible from the front and the rear elevations; one is under a metal roof and the other under a flat roof. The metal roofed wing is roughly 17-ft wide and features a small side gable roof with a small shed roof in front and a larger, expansive shed roof at the rear. To the right (south) is the flat roofed wing that is roughly 12-ft wide and houses a garage at the front and additional living area at the rear.

The front elevation features:

- An enclosed shed roofed porch with two narrow rectangular windows located high up and towards the left corner of the building and
- A single car garage with a flat roof.

The rear elevation features:

- Centered under the metal roofed wing is a pair of French doors flanked by oversized 1/1 windows and
- Under the flat roof wing is a pair of narrow, rectangular windows, located high up the wall.
- A 15 -ft+/- wide deck, a dock and a majestic view of Matlacha Bay.

While visually the house is broken into these two main wings (metal roofed and flat roofed), the building is more complex than it appears. The form and design of the building are additive so the building appears to have had a series of additions and changes over the course of years. Originally the building was a cottage with a side gable roof and shed roofed porch at the front—though even the porch might have been added later.

Proposed Project: The building is stable but needs to be rehabilitated; the structural integrity of some of the additions is questionable and the interior finishes have been removed. The building does not comply with setbacks and in some instances is impractically close to the property line i.e. in one area the front of the building is setback roughly 3-inches from the front property line.

The request is to rehabilitate the building and to expand it by adding a screened lanai at the rear.

- The horizontal vinyl siding would be replaced with horizontal wood siding, which is the building's original exterior finish.
- The metal and flat roofed wings would be combined under one larger metal gable roof.
On the front elevation: The original small cottage had a side gable roof with a shed roof over the porch—those roofs would still be visible. The flat roof over the garage would be replaced by a low pitched partial hip roof that would tie in with the proposed new large gable roof.
On the rear elevation: The existing flat roof and metal shed roofs would be replaced by one large a rear facing gable roof that would intersect with the original cottage's side gable roof.
- On the front elevation the proposal keeps the side gable roof of the original little cottage and the shed roof over the former front porch (which would continue to be enclosed as the traffic noise makes it impractical to have a front porch). The garage would be preserved where it is.
- The rear elevation would feature a new rear facing gable roof over the proposed lanai, two pairs of French Doors would open from the main house onto to the proposed screened lanai. The rear elevation unified under the new large roof would extend for roughly 28-ft 10-in along the water. New proposed screened lanai would be roughly 8-ft wide. The width of the rear deck would be reduced from roughly 15-ft to 7-ft 8-in.
- The building height would increase slightly to accommodate a modern lifestyle; i.e. from grade to highest roof peak the increase is from roughly 12-ft 3 in to 12-ft 9-in.
- The total square footage of the building would be increased by roughly 231 sq ft from roughly 1286 square ft to 1517 square ft by the addition of screened lanai at the rear.
- The proposal would also relocate the building on the site so the building would no longer be at an angle and the front of the building would be roughly 1-ft from the front property line (now the building is roughly 3-in from the front property line).

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the standards also refer to the discussion above.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.* The property will continue to be used as a residence with minimal changes to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The character of the property shall be retained. The house will continue to be a small and low height single story wood frame residence with a metal side gable roof and a metal front shed roof. The wall material would be changed to the original horizontal wood siding. The new unified large gable roof will have the most impact on the areas that were newer additions to the original cottage and on the proposed lanai area.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
The distinctive features of this property will be preserved. The house will continue to be a diminutive residence with a metal side gable roof and metal shed roof. The wall material will be changed to the original horizontal wood siding.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence. N/A
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
The proposed screened lanai will have a minimal impact on the historic property and is clearly differentiated from the historic house.

The addition shall be compatible with the massing, size, scale and architectural features of the existing house and thus protect the historic integrity of the property and its environment. The addition features the same materials as the existing house.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
If the proposed screened lanai is removed in the future the essential form and integrity of the historic property and its environment would be unimpaired.

III. STAFF RECOMMENDATION: Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior's Standards for Rehabilitation and Chapter 22 of the LDC.

WEDNESDAY, SEPTEMBER 18, 2013
10:00 AM

Review of the proposed Snook Inn rehabilitation and Bat House
Park Development in the Matlacha Historic District at 4445 Pine
Island Rd NW Matlacha Fl 33993.

PARKER / MUDGETT / SMITH ARCHITECTS, INC.

2136 MCGREGOR BLVD. FORT MYERS, FLORIDA 33901 (239) 332-1171 / FAX (239) 332-3537

September 6, 2013

Gloria M. Sajgo, AICP, Principal Planner
Lee County Planning Division
1500 Monroe St.
Fort Myers, FL
33901

RE: Bat House Park and the Snook Inn Historic

Gloria,

As requested the following is a narrative summary of the current status and goals of the above referenced project for informal review by the Historic Preservation Board.

Previous research and work

A thorough preservation report and partial rehabilitation plans were produced between 2007 and 2010 by (Linda) Stevenson Architects, Inc. for the historic Snook Inn structure and the property which it occupies. Since 2010 the program for the use of the subject property and partially salvaged Snook Inn have been modified and further developed by Lee County. Parker/Mudgett/Smith Architects, Inc. have been hired to create the development plans for the subject property, now called Bat House Park, and the historic rehabilitation plans for the use of the Snook Inn remnant as a public restroom facility.

Current status of property and the remaining structure

The subject property is still being utilized as a construction lay-down area by the builder of the new bridge adjacent to the property. The Snook Inn remnant has been placed in a chain link enclosure at the corner of the property. Neither the County nor the design team has access to the site or structure until the close-out of the bridge project.

Meetings with Parks and Recreation, Construction and Design and Lee County Planning Division

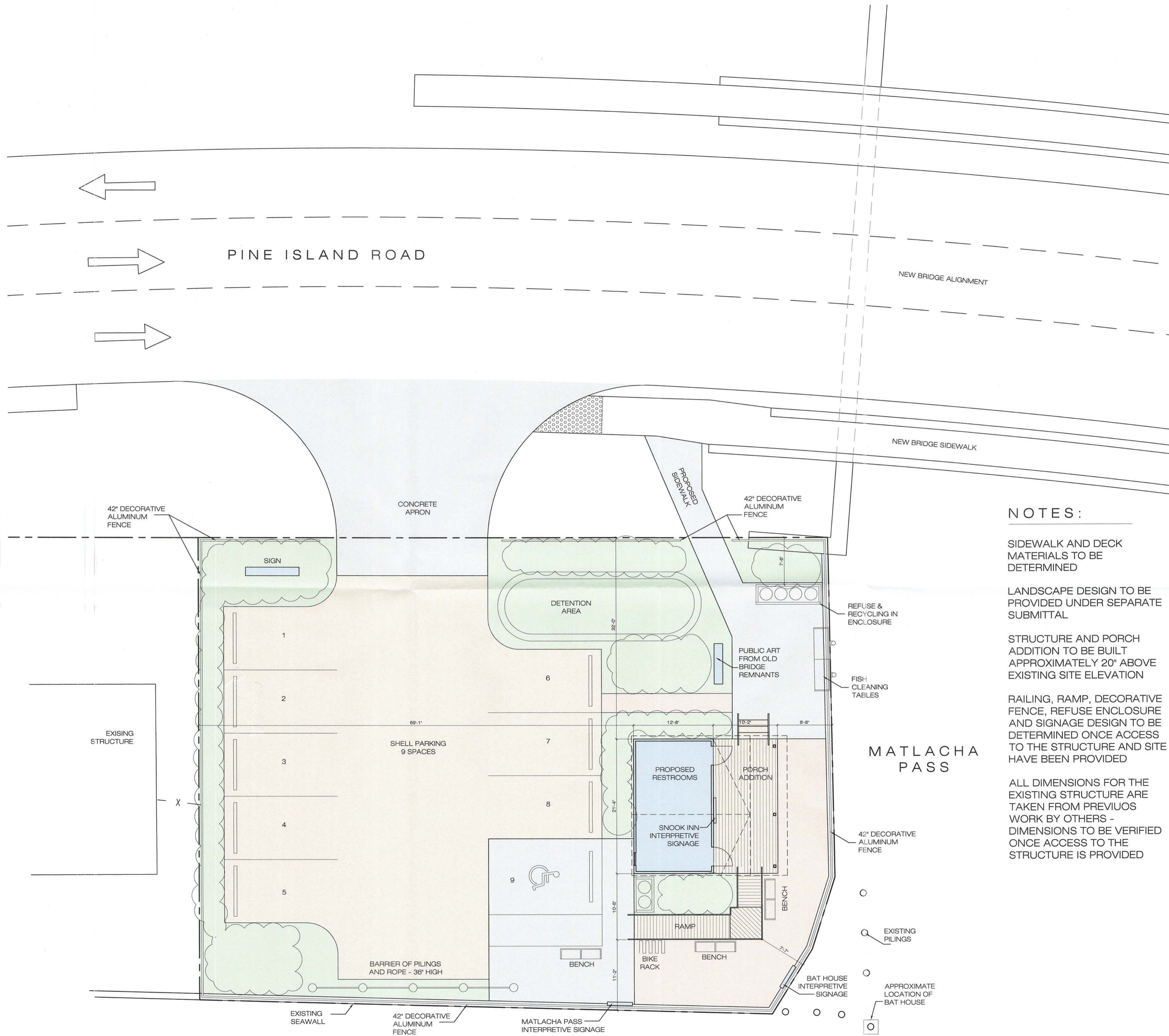
Lee County Parks and Recreation will be the end users of the proposed project and will be managing the park once it is complete. They have provided input on the actual use of the facility as well as durability and maintenance issues. Lee County Construction and Design is responsible for executing the design and construction of the project. They have provided input on the project budget and schedule, Lee County construction requirements and standards, and the design and approval process that must be met for the project. We have met also with Pam Houck and Gloria

Sajgo of the Lee County Planning Division. They have provided input on the historic preservation requirements and goals of Lee County as well as the process for obtaining the required variances and administrative rulings that will be required to execute this project. The historic status of the structure and the goals of the rehabilitation will be the principal justification for obtaining these variances and rulings.

Goals for Historic Rehabilitation of the remaining portion of the Snook Inn

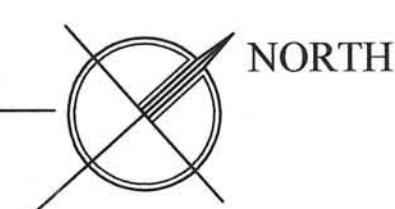
The previously referenced Preservation Report and rehabilitation plans by Stevenson Architects, Inc. have identified the remnant of the Snook Inn as a structure of historical significance. The plans include basic measured drawings of the walls and roof that have been used for this submittal. The plans also identify the period of 1939 to 1960 as the period of interpretation. The intent is to utilize the research and concepts proposed in the Preservation Plan to the greatest degree possible in the actual execution of the rehabilitation project. All work will be designed, reported and executed in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

As the structure is currently not accessible to the design team we have not developed our own measured drawings, structural analysis or inventory of features but will do so when possible. Once our own analysis based on the current condition of the structure is complete we will move on to the design of restoration elements, new railings, the ramp, door details and other elements that will impact the success of the Historic Rehabilitation.

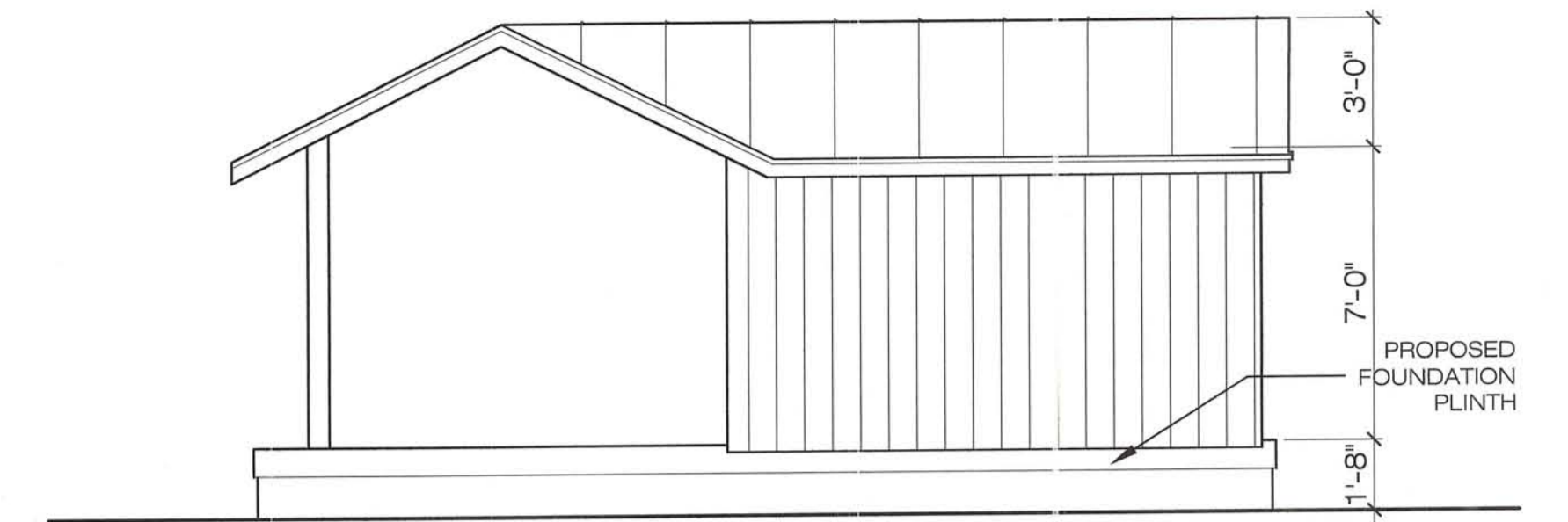


MATLACHA
PASS

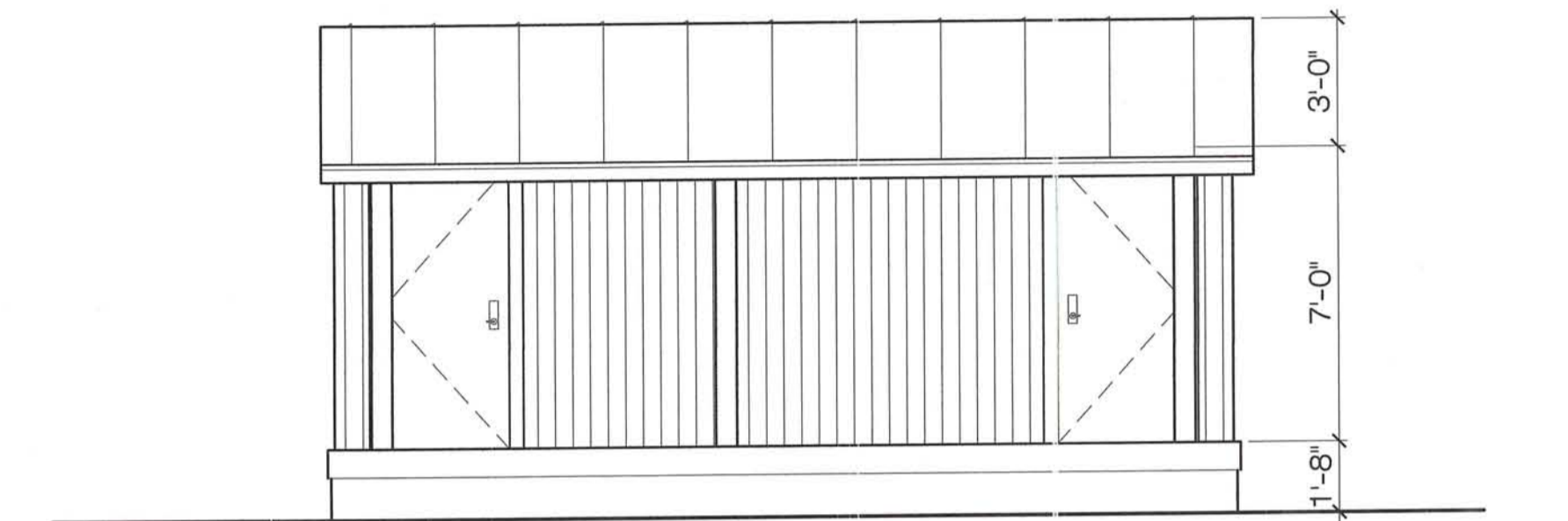
PROPOSED SITE PLAN
SCALE: 1/8" = 1' - 0"



MATLACHA
PASS



NORTHWEST (STREET) ELEVATION
STAIRS, RAMP AND RAILING NOT SHOWN
SCALE: 1/4" = 1' - 0"



NORTHEAST ELEVATION
STAIRS, RAMP AND RAILING NOT SHOWN
SCALE: 1/4" = 1' - 0"

NOTES:

SIDEWALK AND DECK MATERIALS TO BE DETERMINED

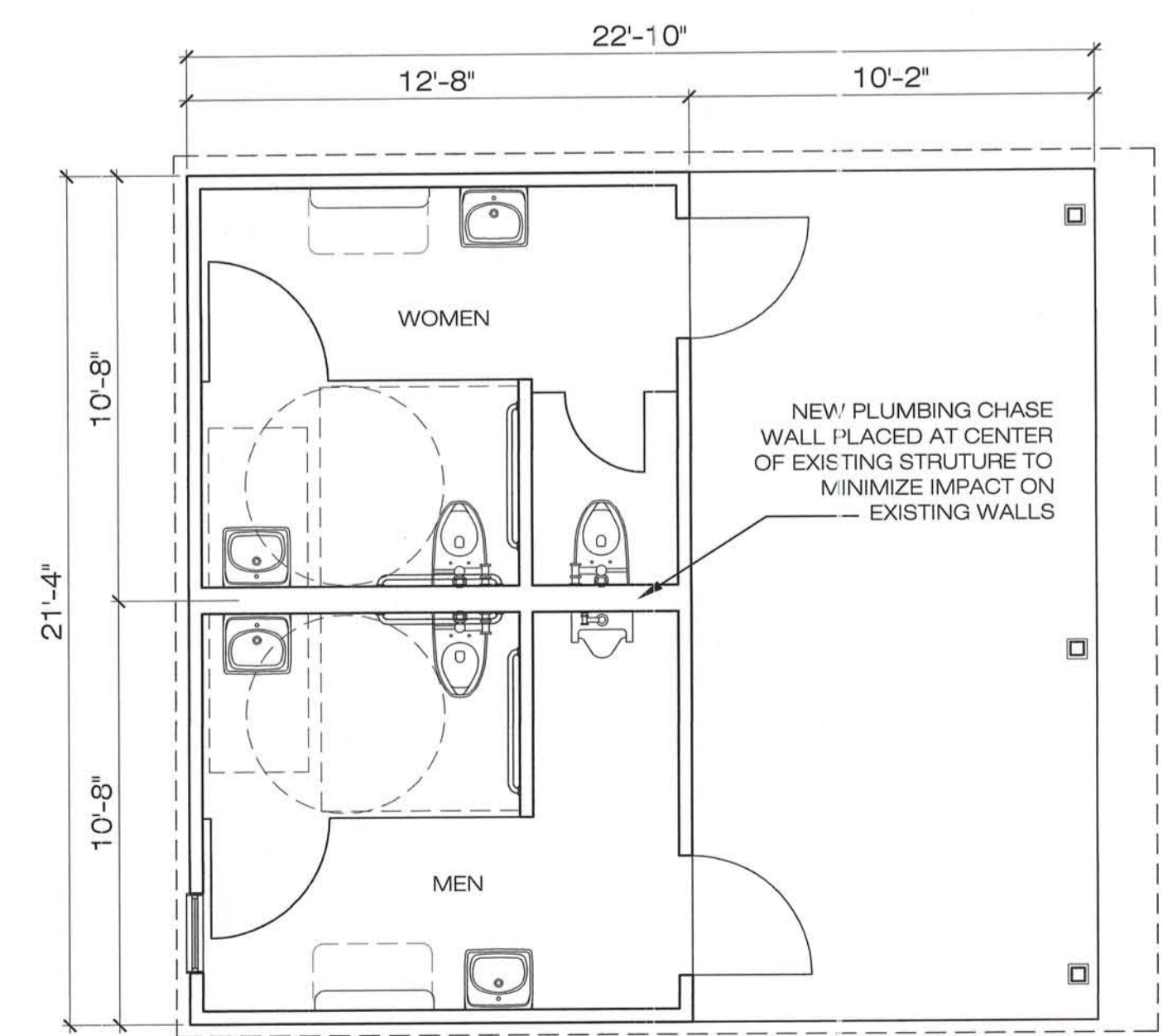
LANDSCAPE DESIGN TO BE PROVIDED UNDER SEPARATE SUBMITTAL

STRUCTURE AND PORCH ADDITION TO BE BUILT APPROXIMATELY 20" ABOVE EXISTING SITE ELEVATION

RAILING, RAMP, DECORATIVE FENCE, REFUSE ENCLOSURE AND SIGNAGE DESIGN TO BE DETERMINED ONCE ACCESS TO THE STRUCTURE AND SITE HAVE BEEN PROVIDED

ALL DIMENSIONS FOR THE EXISTING STRUCTURE ARE TAKEN FROM PREVIOUS WORK BY OTHERS - DIMENSIONS TO BE VERIFIED ONCE ACCESS TO THE STRUCTURE IS PROVIDED

ALL DIMENSIONS FOR THE EXISTING STRUCTURE ARE TAKEN FROM PREVIOUS WORK BY OTHERS. DIMENSIONS TO BE VERIFIED ONCE ACCESS TO THE STRUCTURE IS PROVIDED.



FLOOR PLAN
SCALE: 1/4" = 1' - 0"

MEMORANDUM

FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
DIVISION OF PLANNING

DATE: September 11, 2013 FROM: Gloria M. Sajgo

Re: February 4, 2010 Lee County Historic Preservation Board approval of COA2010-00007 Snook Inn

- The attached plans are the plans approved per COA2010-00007
- Staff report and Preservation Plan provide back-up

**LEE COUNTY HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2010 00007 Snook Inn, 4445 Pine Island Rd. Matlacha

HEARING DATE: February 4, 2010

SUMMARY:

The proposed project entails the first phase of the rehabilitation of the Snook Inn for an adaptive re-use as a public amenity (restrooms) on the proposed park site by the upgraded Matlacha Bridge. The subject property is a contributing structure in the Matlacha Historic District HD (District) 90-10-01. Staff analyzed the proposed project for compliance with the Secretary of the Interior's Standards for Rehabilitation. The STRAP number is 24 44 22 00 00020.0000; the address is 4445 Pine Island Rd NW Matlacha, Florida 33993. Physically, the building fronts on Pine Island Road and abuts Matlacha Pass on the rear and east side elevations.

STAFF ANALYSIS:

Existing conditions: The Snook Inn was last housed a restaurant in Matlacha. It is located on a lot southeast of the Matlacha Bridge. Lee County acquired this property as part of the project to upgrade the Matlacha Bridge. As part of that project the county proposes to create a small park on the subject lot and rehabilitate The Snook Inn for an adaptive re-use as public bathroom facilities.

According to the "*Preservation Plan & Report for: Snook Inn Property*" Stevenson Architects, Inc., August 31, 2007, "The Snook Inn is an important survivor in the collection of buildings that are contributing structures in the Matlacha Historic District. Originally built around 1939, the building was placed on the narrow fill site created during the construction of the Matlacha Pass. The building has been a landmark in the community since that time and has retained its early use as a facility that catered to both tourists and the local fishing community." (Pgs 1-2).

The Snook Inn is a frame vernacular building that is additive in form. On the front elevation it features a small central front facing gable roof over the front door; this area and a small area to the right of it (under a shed roof) make up the original central core of the building. Over the years the Snook Inn grew expanding from its core to the rear and sides. Today long roof wings extend out on both sides and the rear of this central portion. The roof material is metal and the exterior wall material is T-1-11 siding. The windows are metal awning windows. The building is a low single story building.

The rehabilitation of the Snook Inn as an adaptive re-use for the public restrooms for the proposed park on the site will be implemented in two phases. The applicant is currently asking for approval of Phase 1 and will bring back Phase 2 for review by the Board, after the bridge construction project is completed.

Phase 1:

- Preservation of the historic core of the Snook Inn – an area with a foot print of roughly 22-ft 6-in by 24-ft 4-in. This area encompasses the small front facing gable roof with its shed wing to the side.
- Demolition of the non-historic elements: areas currently used for bathrooms, storage, kitchen, food prep and dining. Also entails the removal of the walk-in cooler and the Tiki hut.
- Temporary relocation of the historic core of the Snook Inn to the southwest corner of the parcel for protection while bridge construction activities are being undertaken.

- Structural shoring and protections for the historic building for relocation to south edge of site during bridge work project.
- Stabilization, including stabilization of the exterior walls, replacement of the rotted sections of framing and insertion of hurricane ties and straps. This will entail the removal of all of the interior siding, repairs and replacement to the wood structural framing members. Exterior siding will be left in place until the building is in the final location.

Phase 2:

- The historic portion of the Snook Inn will be shifted from its original placement to a location closer to the water but still within the modern footprint, to allow for more parking and site accessibility.
- The area under the existing gable roof will remain open and an incorporate a sitting area by the water. As a result the east wall will not be reconstructed but the existing columns and beams will be retained. (Currently this interior area of the existing building is open as there are no walls between the reception area and the dining area). By incorporating this open area by the water, police will be able to monitor activities just by glancing to the building as they drive over the bridge. Allowing a visual access from the bridge will increase security on the site while minimizing intrusion on the public's enjoyment of the site.
- The shed roofed portion to the right of the main, small gable roof (which is enclosed) will be enclosed and will house the bathrooms.
- The roof material will be metal and the wall material will be traditional board and batten siding.
- The new bathrooms will be handicap accessible.

Overall staff believes this is a well thought out project that keeps the character defining features of this small vernacular building.

The Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
The historic core of the building has been identified and will be placed in a new adaptive re-use as public bathrooms for the new proposed park. The new use will preserve the characteristics of the original small building: its original diminutive size, its roof design and its wall material.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The proposal has identified the historic character of the property and proposes to reconstruct it.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. Not Applicable
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
The proposal has identified the historic character of the property and proposes to reconstruct it.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
The original features, finishes and construction techniques that characterize the property are being preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
Due to the severity of deterioration there will be replacement of distinctive features which will match the old in design, visual qualities and materials.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Not Applicable
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. Not Applicable
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment. Not applicable
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. Not applicable

STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

- Approve the proposal for Phase 1 as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior's Standards for Rehabilitation and Chapter 22 of the LDC.

**PRESERVATION PLAN for the
SNOOK INN PROPERTY, Matlacha Florida**

August 31, 2007

WITH 2009 updates including:

- **Photographs**
- **Recommendations**

ADDENDUM TO PRESERVATION PLAN
Updated sections for the Preservation Plan report.

I. History of the Snook Inn

There are no changes to this section.

II. Existing Conditions and Conditions Assessment

Update on the property

A fire occurred in October 2009 and was documented by Lee County staff. The original historic section of the building escaped serious damage, but some damage occurred in the 1960s-era additions to the buildings. The modern "chickee" hut was also damaged. These sections of the building are among the areas previously identified for selective demolition within the 2007 Preservation Plan report.



View from bridge November 2009



View from north east November 2009

III. Standards, Regulatory Issues and Building Codes

Proposed Uses:

As the project to reconstruct the Matlacha Bridge has developed, some changes are proposed for the site use program. Public restrooms will be provided, but the concession/vending area idea is not included in the latest plan. Instead, the original gable roof section will be preserved as an open covered area near the water. Parking spaces, include accessible spaces will be provided. Some of the trees will be salvaged for replanting on the site.

The historic section of the building will be preserved as the later additions are removed. During the bridge construction work, the preserved sections of the building will be moved to the south west corner of the site for protection. After bridge work is complete, the building will be placed on the site in the north-east corner, generally in the same location of the 1960s-era Dining Room and oriented towards the water.

IV. Recommendations and Conclusion

Period of restoration

The report recommended a period from the late 1920s/ early 1940s to early 1960s, this recommendation remains the same.

The areas of the building to be preserved remain unchanged.

Building Use

In a previous meeting on August 15, 2007 with representatives of the Lee County Parks, Public Works, Planning and Community Development and Building Departments, the primary use for the building was to provide a public amenity on the proposed park site and contain restrooms and an area for vending machine concessions.

In recent meetings with the same entities and in view of current environment, the recommendations for proposed uses will be modified. The area under the original gable roof section will contain an open seating area. As visibility is important for site security, the open east wall will not be reconstructed as a solid wall, but the existing columns and beams will be retained.

Preservation Plan/ Specific Rehabilitations and Conservation Measures

This section provides recommendations on specific rehabilitation and conservation measures and treatments for the project.

Site Work/ Landscaping:

- The restored building should be located on the site in its original location, unless otherwise approved by Lee County.
This recommendation has been altered to shift the building closer to the water, but still within the modern footprint, to allow for more parking and site accessibility.
- Set the rehabilitated structure onto the site on elevated wood piers after rebuilding the floor system and provide drainage away from the building.
Given the need to relocated the building twice and the condition of the floor system, the building will be set in its final location on a new concrete slab.
- Handicapped accessibility will be provided by a ramp sloped up to the entrance.
This recommendation remains, with the provisions of a HC accessible parking and walkways as well as restroom facilities.
- Treat the building and the surrounding area for termite protection.
Unchanged.

Structure:

- The foundations need to be stabilized and additional footings will be added below the principal column points in the exterior bearing walls. The floor level of the structure should remain as close as possible to the existing, but elevated slightly, to allow for structural repairs to the floor framing.
Since the structure will be in a new location, the use of a concrete slab is being investigated for ease of construction and site accessibility.
- Provide proper shoring of walls and roof framing, and protection of interior surfaces prior to commencing work. **Unchanged.**
- After removal of the siding, inspect the studs, floor beams, joists and posts in the four exterior walls. Replace damaged, rotted members (most likely the entire perimeter of the first floor sill plate will need replacement due to water infiltration) with new pressure treated Southern Yellow Pine framing. **Unchanged.**
- Sister the new studs and vertical members to original framing. Strap framing members together using galvanized metal straps and anchors and conceal the anchorages.
- Reinforce the roof rafters as needed, this repair will be concealed behind the ceiling finish. **Unchanged.**
- Tie rafters to top wall plates or beams with galvanized clips. **Unchanged.**

Exterior Wall Cladding:

- Replace modern T-111 siding with traditional board and batten siding. **Material recommendation unchanged, see elevations for proposed siding finish areas.**

Exterior Doors:

- Provide new panel doors to the building in the existing door openings at the front and rear of the building. **Openings will now face onto the covered area per floor plan revisions.**

Wood Floors:

- Replace the plywood and carpet and tile with new flooring, provide ceramic tiles in the restroom areas. **See foundation notes above.**

Interior Wall surfaces: Unchanged.

- Provide new tongue and groove wood wall cladding boards, in 1 x 6 lumber.

Ceilings: Unchanged.

- Provide new tongue and groove wood ceiling cladding boards, in 1 x 6 lumber.

Electrical: Unchanged.

- Provide exterior lighting as part of an overall site lighting plan.
- Relocate the existing electrical service and reuse the panel boxes, locate on east side of building and screen with landscaping.
- Provide interior light fixtures, fans and service outlets.
- Provide service outlet at exterior.

Plumbing:

- Add a hose bib near the north side of the building to facilitate the maintenance needs of the park. **Revise to a locking hose bibb.**
- Provide new plumbing lines and connect to existing site utilities. **It has been determined that all new utility connections will be provided to the site.**

Fire Protection:

- Maintain portable fire extinguishers. **Unchanged.**

Phasing Plan/ Prioritization of Work – revised as follows:

1. **Structural shoring and protections for the building for relocation to south edge of site during bridge work project.**
2. **Stabilization, including stabilization of the exterior walls, replacement of the rotted sections of framing and insertion of hurricane ties and straps. This will entail the removal of all of the interior siding, repairs and replacement to the wood structural framing members. Exterior siding will be left in place until the building is in the final location.**
3. **After bridge work is complete, prepare foundations in new location for building, and related site work and utility work/.**
4. **Relocated to new place on site. Install electrical system and plumbing lines. Provide new board and batten siding and exterior trim boards, and paint.**
5. **Completion of exterior restoration: Roof repairs, windows, doors.**
6. **Installation of building system improvements: plumbing and electrical system components, and interior finishes.**
7. **Finish site work, including the drives, paths, landscaping and irrigation, and site lighting.**



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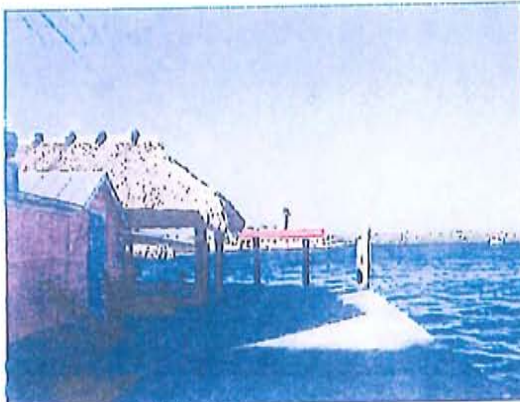


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Preservation Plan & Report for:



View across Matlacha Pass



Aerial 2006



North elevation seen from Pine Island Road

Snook Inn Property Matlacha, Florida

Stevenson Architects Inc.
417 12th Street West, Bradenton, FL 34205
#AAC 002131

August 31, 2007

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- III. Standards, Regulatory Issues and Building Codes
- IV. Recommendations and Conclusion
- V. List of Drawings
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Snook Inn site seen from Matlacha Bridge, August 2007

I. History of the Snook Inn

Introduction

This report was commissioned as part of a study to improve the Matlacha Bridge in Lee County, Florida. The scope of work summarizes the known history of the Snook Inn, records the building's existing conditions and makes recommendations for the portions of the building to be retained and restored.

Early History 1920s to post World War II

The community of Matlacha is one of the few remaining fishing villages in Florida. Its significance lies in the collection of simple frame vernacular buildings that comprise the town center and their long association with waterfront activities. Before the arrival of American settlers the geography of the area was described as:

“Numerous islands fringed Metlochatch Sound (Matlacha Pass), separating Pine Island from the mainland to the east. The channel through Middle Metlochatch was tortuous and impassable for vessels of more than 2-foot draft. Upper and Lower Metlochatch Sound were relatively less obstructed by islands and afforded deeper water, accommodating vessels drawing 6 to 7 feet. Pine Island and Metlochatch Sounds joined at the south in San Carlos Bay. An extensive tidal delta at the mouth of the Caloosahatchee shoaled the east portion of San Carlos Bay.”¹

In 1925 a rough road was built to connect Pine Island to the mainland through the islands of Matlacha, and was named Pine Island Road. The Matlacha Pass Bridge was originally constructed in 1926, and the fill from dredging was used to elevate the adjacent ground, affording opportunities for building sites.²

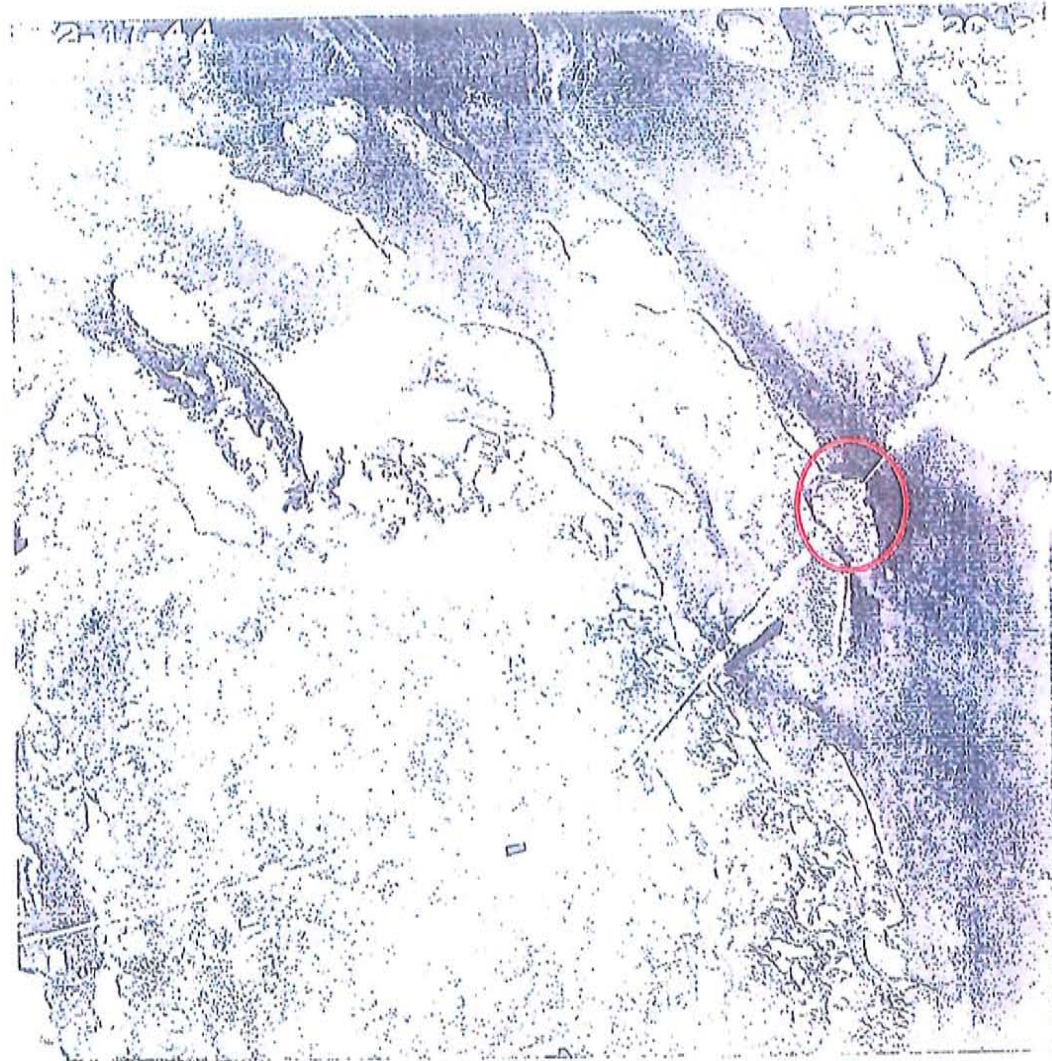
At first the area was sparsely settled, with squatters arriving in the area, first by boat and then by the road. This was the period of the Great Depression, and some of these early residents lived in tents or in their cars. As described in a history of Matlacha:

“The fishing was legendary, so at least they had fish to eat. These settlers built docks, shanties and stilt fish houses along what is now Pine Island Road. Eventually this earned them homestead rights.”³

The Snook Inn is an important survivor in the collection of buildings that are contributing structures in the Matlacha Historic District. Originally built around 1939, the building was placed on the narrow fill site created during the construction of the Matlacha Pass. The building has been a landmark in the community since that time and has retained its

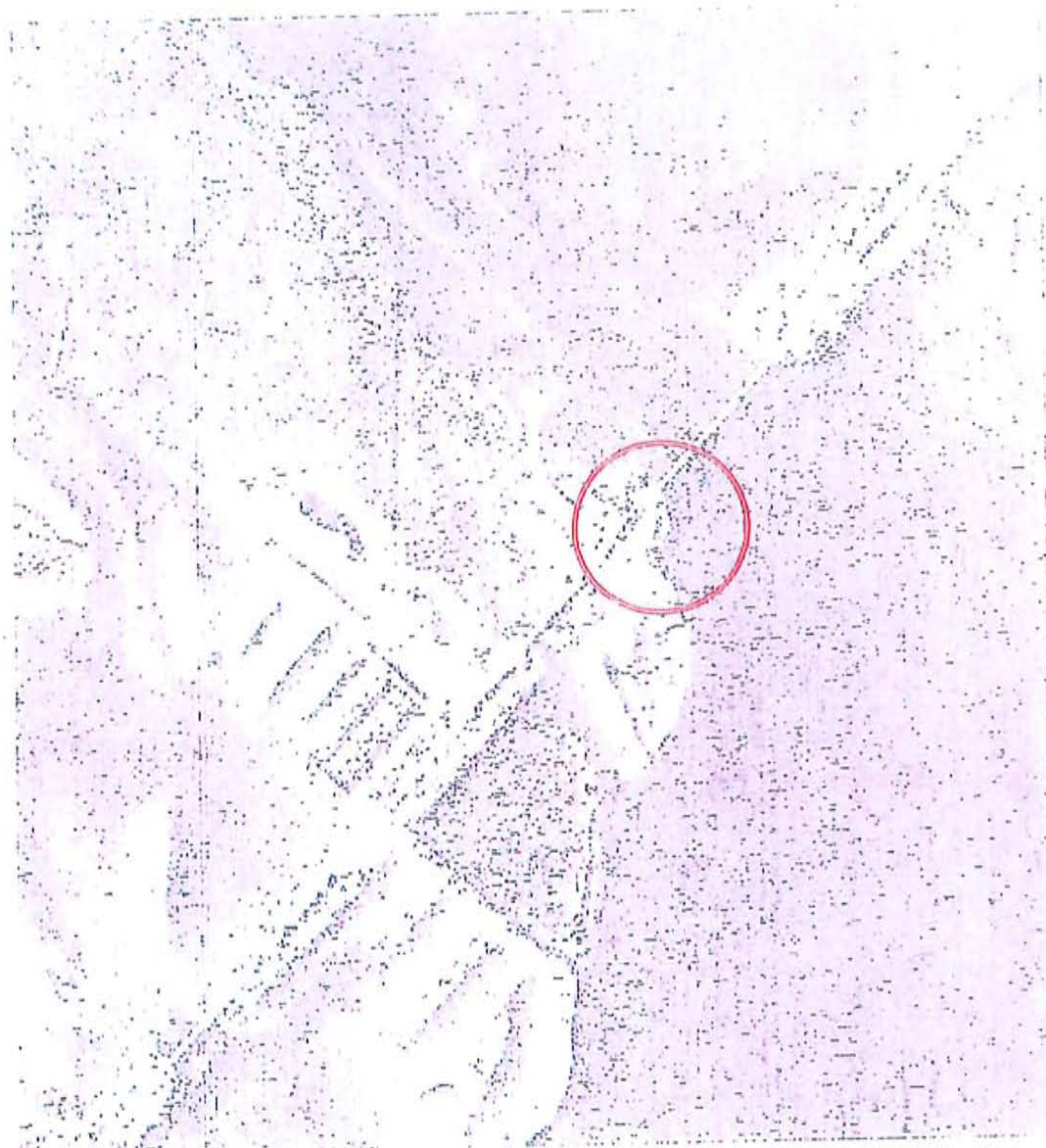
early use as a facility that catered to both tourists and the local fishing community.⁴ The building was likely a fish supply house originally, but no documentation has been found to substantiate this theory.⁵

The Snook Inn appears on aerials, the earliest was obtained from the USDA's NCSD office in North Fort Myers, and dates from 1944. The Snook Inn site has a structure that is discernible.⁶



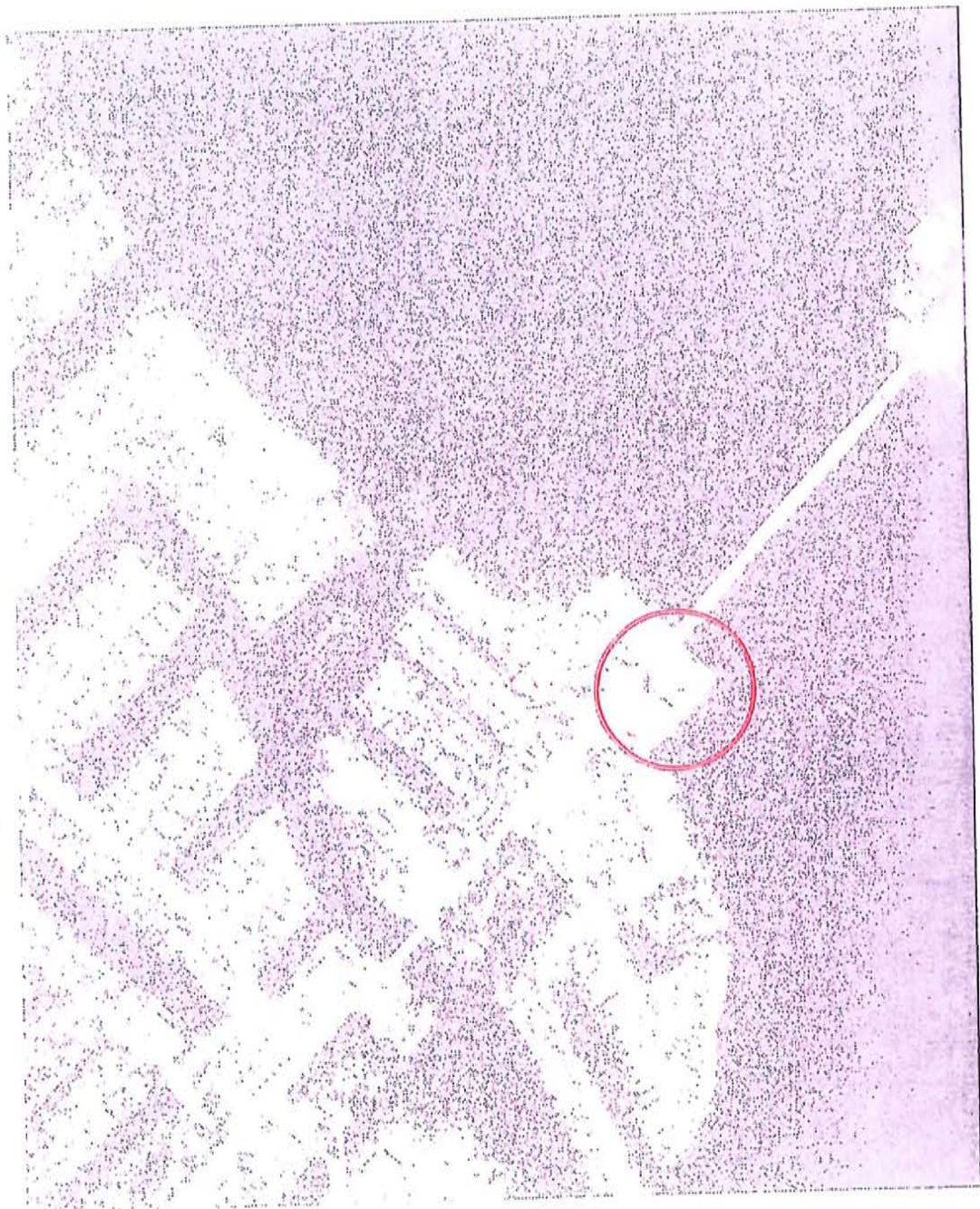
1944 aerial over the Snook Inn site

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1953 aerial

By 1953, the aerials show increased development on both sides of the Matlacha Bridge along Pine Island Road.



1966 aerial

The Lee County Property Appraiser's Office has aerial photographs the earliest dating from 1966. From a review of these aerials, it can be seen that the form of the current building was generally set by the 1960s.

An important place to the local community, the Snook Inn has been operating as a waterfront facility supplying snacks and drinks since its initial construction. One local informant remembers going there as a child and buying soft drinks and candy. She recalls when the dining area was expanded on the west side of the building, as the population grew in the 1960s.⁷

The Snook Inn appears on the Florida Master Site File Inventory of 1986. At that time the structure has a "lateral gable roof and a hall and parlor plan".⁸ The front façade appears much as it does today in basic forms and massing. The file was updated in 1993, with little change in the building's appearance, with the exception of the changes to some of the windows that were completed around 1990. Rotted flooring was also replaced at that time.

The building was designated as an individually listed historic resource by the Lee County Historic Preservation Board in October 1990, and is considered a contributing structure in the Matlacha historic district.

A review of the building permits issued for the project reveal that some remodeling work was done in 1985 and again in 2004. Additional work was completed in 2005, including seawall repairs, an addition and a fence.

The building has recently been purchased by Lee County. The proposed project will study the idea of reusing a portion of the building in the development of a small waterfront park with amenities for the public who enjoy fishing at the Bridge area.

Conclusion

The architecture of the Snook Inn is reminiscent of the fish houses that clustered around Charlotte Harbor and Pine Island Bay. The basic form of the early sections of the building remains, despite changes in the cladding materials and roof covering.



Typical building forms and materials found in the Matlacha Historic District

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II. Existing Conditions and Conditions Assessment

Stylistic and Character Defining Features of the Snook Inn

The original design of the Snook Inn reflects the Frame Vernacular Style of the region. The term “vernacular” refers to the native spoken language of an area or region. Vernacular architecture refers to “folk” architecture that is built with local materials and local labor, without plans and at the most economical price for the time. It does not adhere to any academic style and relies heavily on the builder’s experience. The vernacular, while termed a style, is characterized by not belonging to any formal style.

This style is identified by the following character defining features:

- Simple rectangular plan shape and massing
- Additions that reflect a functional or organic development of the floor plan
- Shallow pitch gable roof forms (on buildings post World War II)
- Wood frame construction
- 1 story construction typical for this area
- Windows usually wood, double hung sash, with 1/1 lites.
- Pier foundations under wood floor system
- Exposed rafter ends
- Front facing gable
- Little ornamentation

Massing and Form of the Building



Front façade of the Snook Inn

As with many of the frame vernacular structures of this district, the Snook Inn grew over time. Additions and changes in materials have modified the earliest form of the structure.

The front façade features a small gable section facing the roadway and long wings on either side of the entrance. The west wing features a cross gable rectangular form and the east wing mass is covered by a shallow-pitched shed roof.



Rear elevation of the Snook Inn view to west

The original gable form is carried through subsequent additions to the rear of the lot, with a shallow-pitch shed roof over the kitchen area. The recent addition of the chickee structure is visible from this area.



Rear Elevation of Snook Inn view to east

Exterior:

Siding/ Cladding Materials:

There are no remnants of the original siding on the building. Almost all of the exterior wall surfaces are now clad with a T-111 type plywood panel. The gable pavilion at the east end is the exception; this area has vertical board and batten siding on the north side. The rest of this small pavilion is clad in stucco on lath and plywood.



East side facing Matlacha Pass Bridge

Windows:

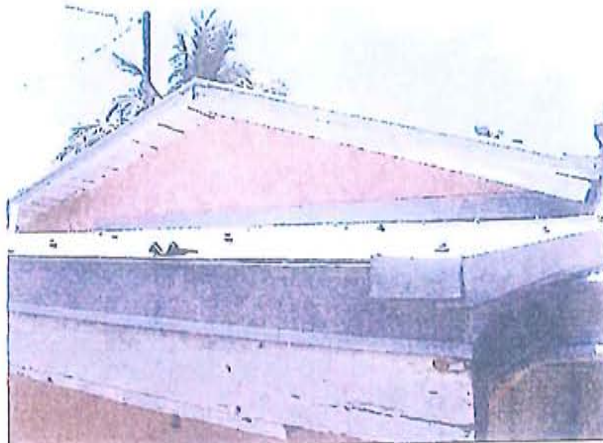
The existing windows are all contemporary alterations. The front façade features bronze anodized aluminum single hung sash. The east and south windows on the dining area are awning style mill finish anodized aluminum units.



Detail of front façade windows and door

Doors:

The existing entrance door is a mill finish aluminum storefront glass door, the rear doors are hollow metal doors in metal frames. All of the existing doors are contemporary in design.



Detail of roof covering and drip edge condition

Roof coverings:

The building is covered with a 5-V crimp metal roof. This feature is in keeping with the character of the other structures in the historic district.

Interior:

The following paragraphs explain the features of the spaces that are identified on the Existing Conditions drawings located in Section V.

Reception Area:

This section of the building is constructed over wood floor framing and is the original portion of the structure. The flooring material features a carpet over plywood over wood floor framing, and a vinyl base. The walls are covered in a thin layer of paneling that simulates alternating bands of vertical tongue and groove wall panels. This material is a contemporary alteration of the original interior wall covering, typically this would have been a tongue and groove boards run horizontally across the wall studs. The ceilings in this area, as well as throughout the building (except in the Storage and Restroom areas), are covered with a pressed wood paneling. The ceiling line follows the slope of the rafters to a flat area where a collar tie is applied across the rafters. A line of 4 x 4 columns and one 6 x 6 wrapped column supporting a beam, indicates the location of a wall that was removed when the building enlarged.



South wall of Reception with column line



East wall of reception looking into Dining 2

Dining Area 1:

This section of the building is also constructed over wood floor framing. The flooring material features ceramic tile over plywood over wood floor framing, and a vinyl base. The walls are covered in a thin layer of paneling that simulates alternating bands of vertical tongue and groove wall panels. This material is a contemporary alteration of the original interior wall covering. The ceilings in this area, are similar to those of the Reception area.

The Serving Bar area features a counter area open to the Reception space, with a ceramic tile floor and similar wood paneling on the walls. The ceiling is the same material that is found in the Reception space.

Dining Areas 2 and 3:



View of south wall of Dining 2



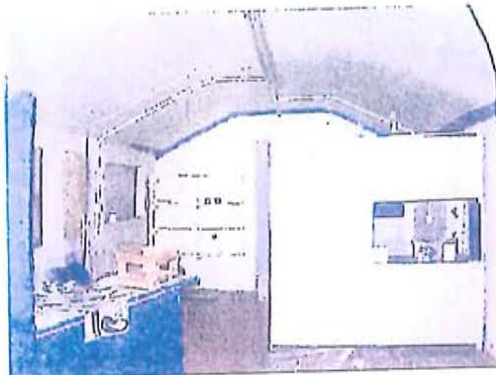
North and east walls of Dining 3

These sections of the building features a concrete slab at the floor area, and a clear line of demarcation between the two areas in the floor at the line of internal columns. This corresponds to the local informant's memory of the later addition of the Dining section

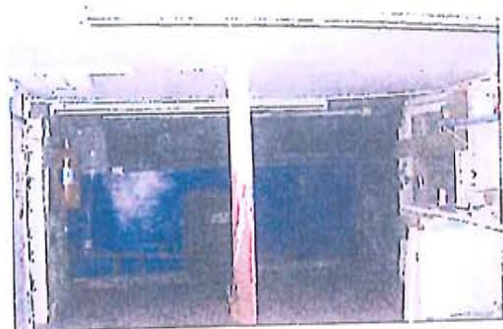
adjacent to the water. The wall finishes match those of the Reception area, with the exception of the south wall that is clad in $\frac{3}{4}$ " thick wood beadboard, applied vertically.

Food Prep:

The Food Prep area continues the line of the vaulted ceiling from the Reception space. The walls are constructed over a concrete slab floor and are covered with a thin wood paneling material without the grooves found in the paneling of the Dining Areas.



South wall of Food Prep



South wall of Kitchen

Kitchen:

The Kitchen finishes are the same as those found in the Prep Area. This space contains a wood column near the center.

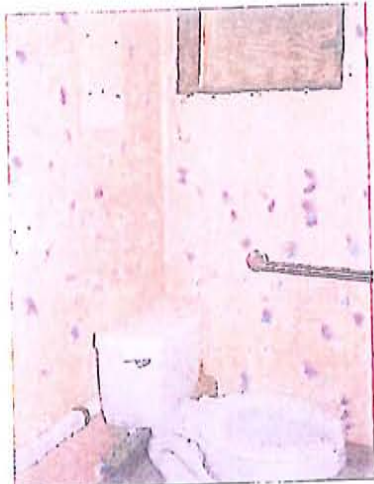
Storage Areas:

The Storage Areas are covered with gypsum board material for the walls and the ceilings and are built over a concrete slab.



Storage Area interior

Mens and Womens Rooms:



Womens Room



Mens Room

The restroom areas are built over a concrete floor slab and contain contemporary materials, both spaces contain painted thin wood wall paneling with similar materials for the ceilings.

Interior doors:

The interior doors are flush hollow core doors of varying sizes, and are of contemporary design.

Building Systems:

Structural Systems:

The building structure is simple, traditional wood frame construction, with the original 2 x 4 wall structure on wood joists. Later section of the building were erected over a concrete floor slab. The roof is framed in 2 x 4s at about 24" on center. The rafter ends are exposed, a characteristic of this type of architecture, as noted above in discussion of the character-defining features.

Environmental Features:

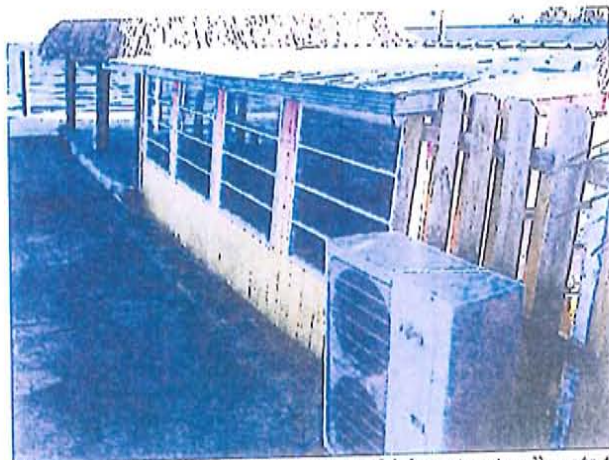
The building's plumbing system is tied into central utilities. The electrical system was upgraded recently. The building has a mechanical system in place, comprised of several air conditioning units.



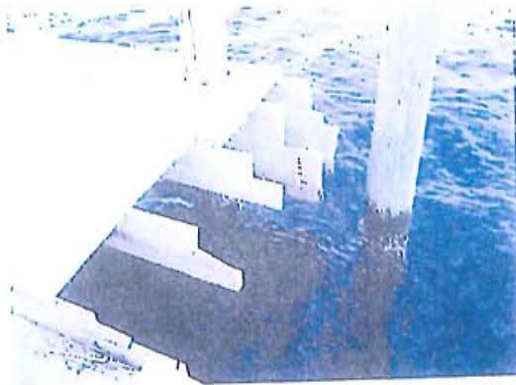
Electrical Panels

Accessory structures:

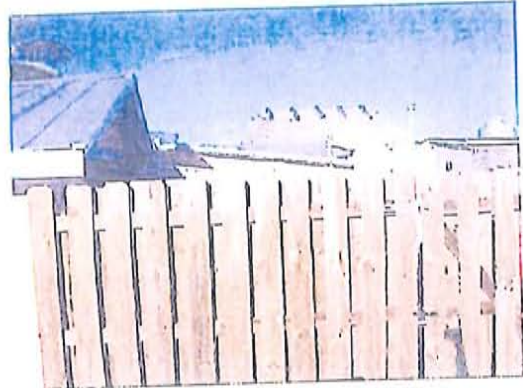
The site features several amenities, including a wood dock along the sea wall edge of the Matlacha Pass, a cypress fence along the west side of the property, the "chickee" structure and a concrete deck on the water.



A recent addition to the site is the "Chickee structure", note the wood piling beyond



Wood dock



Cypress fence

The site also contains tanks, free standing freezer and other related equipment.



Freezer and Tanks

Conclusion

Despite a series of alterations and additions, the Snook Inn retains some of the main historic character defining features. The roof is in good repair and protects the structure from further deterioration. The wall cladding and windows, while not original, are in fair to good condition. The building can be stabilized and maintained as is, until an adaptive use project is initiated.

III. Standards, Regulatory Issues and Building Codes

Proposed Use

After preserving the essential historic components of the Snook Inn, Lee County has further defined the scope of the project to address an adaptive use as part of the proposed County Park site at the west end of Matlacha Bridge. The intent will be to provide site amenities such as public restrooms and possible concession/ vending area on the Snook Inn site, along with public parking.⁹

Historic Preservation Issues

The Snook Inn is designated as an individual historic resource in Lee County and is a contributing structure in the Matlacha Historic District. Any proposed work to the building should be in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Appropriate treatments for historic resources are defined in the *Standards*, and take into account the relative importance in history of the resource, its physical condition, the proposed uses and mandated code requirements. Since an adaptive use of the structure is proposed, the treatment of **Rehabilitation** is the most appropriate.

The *Standards* define **Rehabilitation** as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural or architectural values".¹⁰ There are 10 Standards for **Rehabilitation**, these are listed in the Appendix of this report.

The recommended procedure is as follows:

- Identify, retain and preserve historic materials and features (see sections 1 and 2 of this report)
- Protect and maintain historic materials and features
- Repair historic materials and features
- Replace deteriorated historic materials and features
- Design for replacement of missing historic features
- Alterations and Additions for the new use (including recommendations on removal of the non contributing portions of the building)
- Energy efficiency, accessibility considerations/ health and safety code considerations

Please see sections 4 and 5 of this report for the specific recommendations.

Codes and Standards

Florida Building Code, Existing Building 2004 edition with 2006 amendments (FBC-EC)

Historic Buildings are addressed in Chapter 10 and reference the *Secretary of the Interior Standards and Guidelines for Rehabilitating Historic Buildings* as the basis for the work. The Code allows for alternate methods of compliance with code requirements that take into account the goal of maintaining and preserving historic buildings. The first option is a prescriptive based application of provisions in the Code. The second option is a compliance alternative based approach as outlined in Chapter 12 of the FBC-EB, and the third is a performance based compliance referencing NFPA 914, Code for Fire Protection of Historic Structures Chapter 6 and a structural evaluation in compliance with FBC-EB 1201.4.1.

Further discussion of the compliance alternatives is discussed in Chapter 12 FBC-EB, and these alternatives are triggered by a change in the building's occupancy classification. Note that the existing facility was previously a restaurant with over 50 seats at the interior and exterior, hence it met the criteria of an Assembly (Group A) occupancy.

ADA - Americans with Disabilities Act & the Florida Accessibility Code

The former and proposed uses of the Snook Inn fall clearly within the definition of a "public accommodation" and are subject to the ADA accessibility requirements. As the building is on the local historic Register, exemptions from certain regulatory requirements are possible, and can be negotiated with the assistance of the State Historic Preservation Officer (SHPO), Bureau of Historic Preservation, Division of Historical Resources, Department of State.

Certain alternative minimum accessibility standards may be applied to historic buildings to protect the historic significance and character defining features of the structure. Examples of these standards are:

- Only one accessible route from a site access point to an accessible entrance must be provided.
- Only one accessible public entrance must be provided.
- Only the publicly used spaces on the level of accessible entrance must be accessible.
- Only one accessible unisex toilet facility must be provided along an accessible route.
- Displays and written information should be located where visible by a seated person.

These requirements are further defined in Section 11-4.1.7 Accessible buildings: Historic preservation, of the Florida Building Code

(3) **Historic preservation: Minimum requirements.**

(a) At least one accessible route complying with Section 11-4.3 from a site access point to an accessible entrance shall be provided.

Exception: A ramp with a slope no greater than 1:6 for a run not to exceed 2 feet (610 mm) may be used as part of an accessible route to an entrance.

(b) At least one accessible entrance complying with Section 11-4.14 which is used by the public shall be provided.

Exception: If it is determined that no entrance used by the public can comply with Section 11-4.14, then access at any entrance not used by the general public but open (unlocked) with directional signage at the primary entrance may be used. The accessible entrance shall also have a notification system. Where security is a problem, remote monitoring may be used.

(c) If toilets are provided, then at least one toilet facility complying with Sections 11-4.22 and 11-4.1.6 shall be provided along an accessible route that complies with Section 11-4.3. Such toilet facility may be unisex in design.

(d) Accessible routes from an accessible entrance to all publicly used spaces on at least the level of the accessible entrance shall be provided. Access shall be provided to all levels of a building or facility in compliance with Section 11-4.1 whenever practical.

(e) Displays and written information, documents, etc., should be located where they can be seen by a seated person. Exhibits and signage displayed horizontally (e.g., open books), should be no higher than 44 inches (1120 mm) above the floor surface.

The proposed preservation plan for the Snook Inn should address these issues as follows:

- One accessible route to an accessible entrance: The access to the first floor should be at grade level, leading to the accessible doorway.
- One accessible public entrance must be provided: Access should be provided through the existing north doorway which already meets the minimum size requirements.
- Parking: Accessible parking will be provided on-site.
- Rest rooms: Accessible restrooms will be provided in the interior of the building.

Conclusion

In order to utilize the alternate means of compliance with code requirements, the character defining features of the building should be preserved. Any alterations made to facilitate an adaptive use should be designed to be compatible with the Secretary of the Interior Standards for Rehabilitation, thereby preserving the historical designation status of the Snook Inn.

IV. Recommendations and Conclusion

Restoration Approach Summary

Recommendations are described in this section and illustrated in the accompanying graphics for the proposed plan.

Period of restoration

This report recommends a period of interpretation that encompasses the desired exterior and interior changes to the building. The selected period should include the early period from 1939 to early 1960s.

Building Use

After reviewing the building, program and history of the site, and meeting on August 15, 2007 with representatives of the Lee County Parks, Public Works, Planning and Community Development and Building Departments, the primary use for the building will be a public amenity on the proposed park site and contain restrooms and an area for vending machine concessions.

Preservation Plan/ Specific Rehabilitations and Conservation Measures

This section provides recommendations on specific rehabilitation and conservation measures and treatments for the project.

Site Work/ Landscaping:

- The restored building should be located on the site in its original location, unless otherwise approved by Lee County.¹¹
- Set the rehabilitated structure onto the site on elevated wood piers after rebuilding the floor system and provide drainage away from the building.
- Handicapped accessibility will be provided by a ramp sloped up to the entrance.
- Treat the building and the surrounding area for termite protection.

Structure:

- The foundations need to be stabilized and additional footings will be added below the principal column points in the exterior bearing walls. The floor level of the

structure should remain as close as possible to the existing, but elevated slightly, to allow for structural repairs to the floor framing.

- Provide proper shoring of walls and roof framing, and protection of interior surfaces prior to commencing work.
- After removal of the siding, inspect the studs, floor beams, joists and posts in the four exterior walls. Replace damaged, rotted members (most likely the entire perimeter of the first floor sill plate will need replacement due to water infiltration) with new pressure treated Southern Yellow Pine framing.
- Sister the new studs and vertical members to original framing. Strap framing members together using galvanized metal straps and anchors and conceal the anchorages.
- Reinforce the roof rafters as needed, this repair will be concealed behind the ceiling finish.
- Tie rafters to top wall plates or beams with galvanized clips.

Exterior Wall Cladding:

- Replace modern T-111 siding with traditional board and batten siding.

Exterior Doors:

- Provide new panel doors to the building in the existing door openings at the front and rear of the building.

Wood Floors:

- Replace the plywood and carpet and tile with new flooring, provide ceramic tiles in the restroom areas.

Interior Wall surfaces:

- Provide new tongue and groove wood wall cladding boards, in 1 x 6 lumber.

Ceilings: Plaster.

- Provide new tongue and groove wood ceiling cladding boards, in 1 x 6 lumber.

Electrical:

- Provide exterior lighting as part of an overall site lighting plan.

- Relocate the existing electrical service and reuse the panel boxes, locate on east side of building and screen with landscaping.
- Provide interior light fixtures, fans and service outlets.
- Provide service outlet at exterior.

Plumbing:

- Add a hose bib near the north side of the building to facilitate the maintenance needs of the park.
- Provide new plumbing lines and connect to existing site utilities.

Fire Protection:

- Maintain portable fire extinguishers.

Please refer to the Proposed Work drawings for further descriptions of this work.

Phasing Plan/ Prioritization of Work

- 1 - Structural stabilization, including stabilization of the exterior walls, replacement of the rotted sections of framing and insertion of hurricane ties and straps. This will entail the removal of all of the exterior siding, repairs and replacement to the wood structural framing members. Install electrical system and plumbing lines. Provide new board and batten siding and exterior trim boards, and paint.
- 2 - Completion of exterior restoration: Roof repairs, windows, doors.
- 3 -Installation of building system improvements: plumbing and electrical system components. Interior finishes.
- 4 - Site work, including the drives, paths, landscaping and irrigation, and site lighting.

Conclusion

The Snook Inn can be rehabilitated to accommodate the proposed new use while preserving the historic character of the building and the community.

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Endnotes

¹ Historical development of SW Florida Waterways
http://64.233.169.104/search?q=cache:23zkv0s1yrYJ:nsgd.gso.uri.edu/flsgp/flsgpm02003/flsgpm02003_parrt2a.pdf+Matlacha+history&hl=en&ct=clnk&cd=170&gl=us

² Florida Master Site File update form for Snook Inn, site 8LL01266, dated June 1993.

³ <http://bridgewaterinn.com/aboutus.htm>

⁴ Text from the Statement of Significance from the Lee County Designation report filed with the Lee County Historic Preservation Board, September 17, 1990.

⁵ Quote from article in Fort Myers News-Press by Cindy McCurry, 1990.

⁶ The USDA Natural Resources Conservation Service office in North Fort Myers has several early aerials including the 1944 and 1953 aerials.

⁷ Oral History interview with Virginia Morton on August 24, 2007. Ms. Morton visited the site as a child and recalls its role as a gathering place in the community for the local population and tourists.

⁸ Florida Master Site File form for the Snook Inn, dated 12/86 by Florida Preservation Services, Tallahassee, Florida.

⁹ AS discussed in a meeting with County Staff of Planning, Public Works, Parks and Recreation and Building Departments, on August 15, 2007 at the Lee County Planning Department Conference Room.

¹⁰ Secretary of the Interior Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. Authors Kay D. Weeks and Anne E. Grimmer, US Department of the Interior, National Park Service. Also see the website <http://www.nps.gov/history/standards.htm>

¹¹ Secretary of the Interior Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. Authors Kay D. Weeks and Anne E. Grimmer, US Department of the Interior, National Park Service. C. 1995. See section on Building Site, "retaining the historic relationship between buildings and the landscape." p. 102.

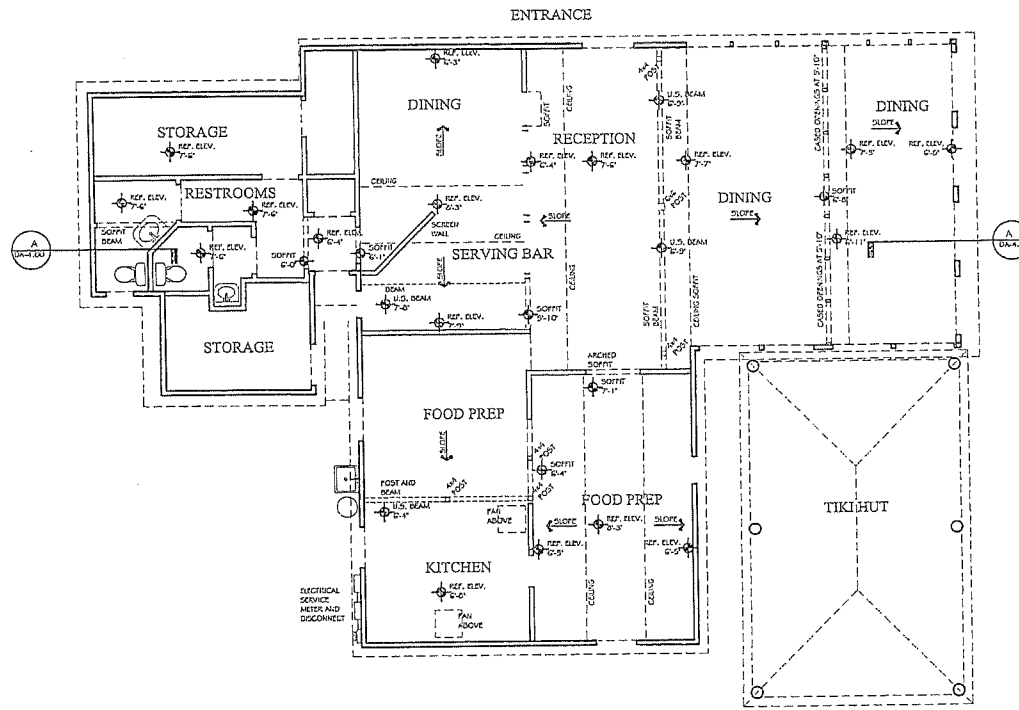
V. List of Drawings

Existing Conditions and Conditions Assessment Drawings

- DA-1.01 Floor Plan, Schedules and Site Plan – Existing Conditions
- DA-1.10 Reflected Ceiling Plan – Existing Conditions
- DA-1.20 Roof Plan – Existing Conditions
- DA-3.00 Exterior Elevations – Existing Conditions
- DA-4.00 Building Section – Existing Conditions
- EL-1.00 Electrical & Lighting – Existing Conditions

Conceptual Design Drawings

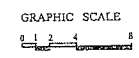
- DD-1.01 Floor Plan, Schedules and Site Plan – Demolition Plan
- A-1.01 Floor Plan, Schedules and Site Plan – Proposed
- A-1.10 Conjectural Floor Plan Evolution – Proposed
- A-3.00 Exterior Elevations and Section - Proposed



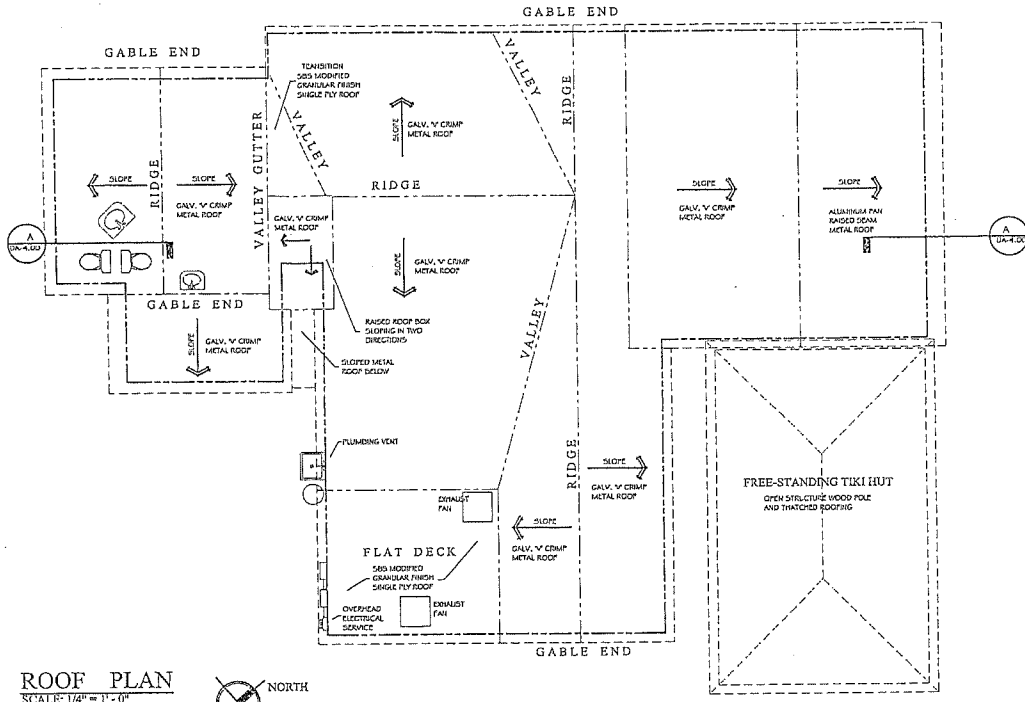
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



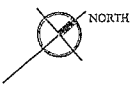
<p>STEVENSON ARCHITECTS INC. Stevenson Architects, Inc. 417 13th Street West, Suite 201A St. Petersburg, Florida 34702 341-747-5500 License # 150002131</p>	
<p>ARCHITECTURE CONTRACT PLANNING INTERIOR DESIGN MECHANICAL PRECAUTION INTERIOR DESIGN</p>	
PROJECT:	07-004
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DATE	
BY	
CHECKED	
APPROVED	
<p>DISCLAIMER TO CONTRACTOR: These documents are the property of Stevenson Architects, Inc. and are to be used only for the project and location specified herein. No part of these documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stevenson Architects, Inc.</p>	
<p>SNOOK INN 4445 PINE ISLAND ROAD NW MATLACHA PASS MATLACHA, FLORIDA</p>	
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BY:	
CHECKED:	
APPROVED:	
<p>REFLECTED CEILING PLAN EXISTING CONDITIONS</p>	
<p><input checked="" type="checkbox"/> ADDRESS SET - NOT FOR CONSTRUCTION <input type="checkbox"/> BID SET - NOT FOR CONSTRUCTION <input type="checkbox"/> PERMIT SET</p>	
PROJECT NUMBER:	DA-1.10
ISSUANCE DATE:	8/31/07



SCANNED

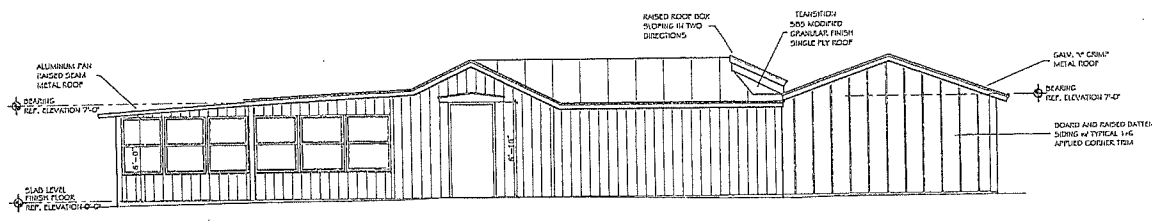


ROOF PLAN
SCALE: 1/4" = 1'-0"

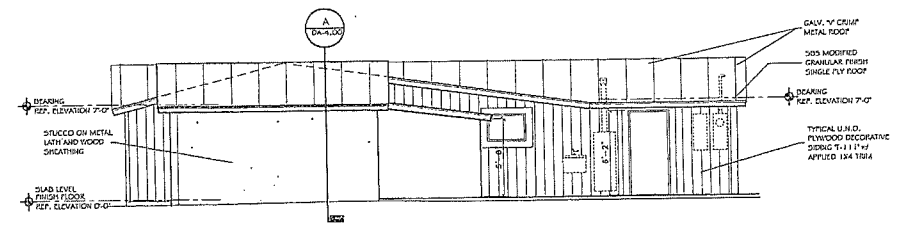


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<p>ARCHITECTURE CONTRACT PLANNING EXTERIOR DESIGN INTERIOR DESIGN</p>	
<p>PROJECT 07-004</p>	
<p>DATE NO. BY DATE BY DATE BY</p>	
<p>REVISIONS</p>	
<p>NOTES TO CONTRACTOR These documents and their contents are prepared for the project and are not to be used for any other project. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.</p>	
<p>PROJECT: SNOOK INN 4445 PINE ISLAND ROAD NW MATLACHA PASS MATLACHA, FLORIDA</p>	
<p>SCALE</p>	
<p>DATE 8/31/07</p>	
<p>ROOF PLAN DETAILS EXISTING CONDITIONS</p>	
<p>DESIGNED BY: [] CHECKED BY: [] DATE: []</p>	
<p>DATE: 8/31/07</p>	

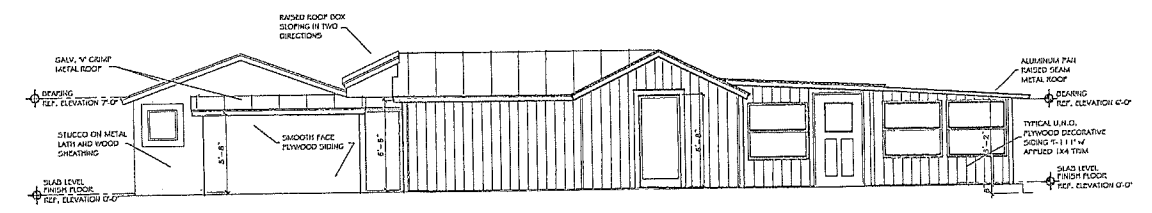
SCANNED



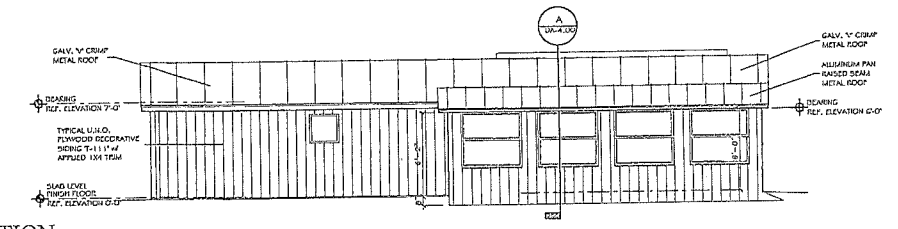
FRONT ELEVATION
PLAN NORTH
SCALE: 1/4" = 1'-0"



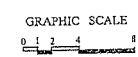
RIGHT SIDE ELEVATION
PLAN WEST
SCALE: 1/4" = 1'-0"



REAR ELEVATION
PLAN SOUTH (WATERFRONT)
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
PLAN EAST (WATERFRONT)
SCALE: 1/4" = 1'-0"



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941-747-3535
License # FAK000131

ARCHITECTURE
COMMUNITY PLANNING
URBAN DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT: 07-004

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THIS DOCUMENT IS SUBJECT TO CONTRACTORS. The contractor shall be responsible for obtaining all permits and all work shall be done in accordance with the applicable codes and all local, state and federal laws. All materials and workmanship shall be subject to inspection and approval by the architect before proceeding with any work.

PROJECT: SNOOK INN
4445 PINE ISLAND ROAD NW
MATALACHA PASS
MATALACHA, FLORIDA

DATE: 8/3/2007

THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT.

DATE: 8/3/2007

PROJECT: SNOOK INN

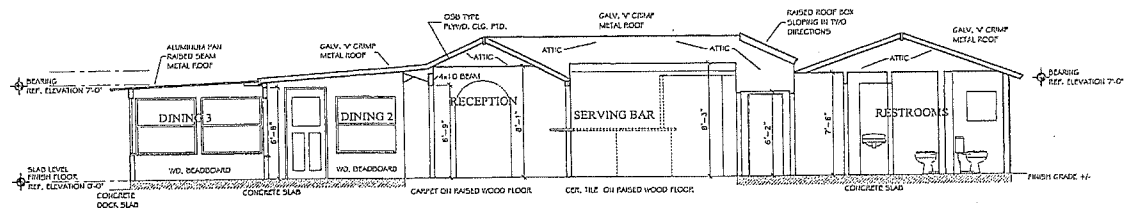
DATE: 8/3/2007

PROJECT: SNOOK INN

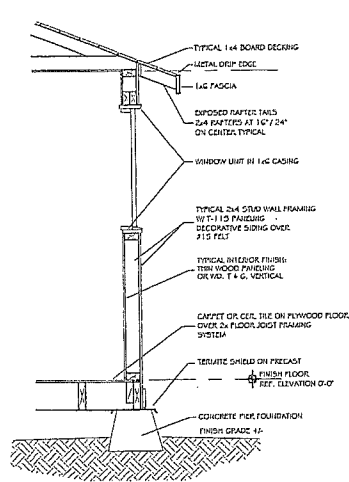
DATE: 8/3/2007

PROJECT: SNOOK INN

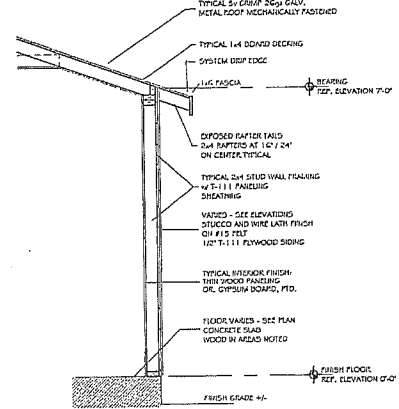
DATE: 8/3/2007



BUILDING SECTION A
SCALE: 1/4" = 1'-0"



1940S WALL SECTION
TYPICAL SCALE: 3/4" = 1'-0"



SURVEY WALL SECTION
TYPICAL SCALE: 3/4" = 1'-0"

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ARCHITECTS
P.C.
21000000
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St. Petersburg, FL 34709
341.747.2525
License # HNC002131

ARCHITECTURE
ELEMENTARY PLANNING
USUAL DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT #
07-004

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SNOOK INN
4445 PINE ISLAND ROAD NW
MANTALACHA PASS
MANTALACHA, FLORIDA

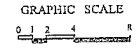
PROJECT:
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DATE: _____
BY: _____
© STEVENSON 2007

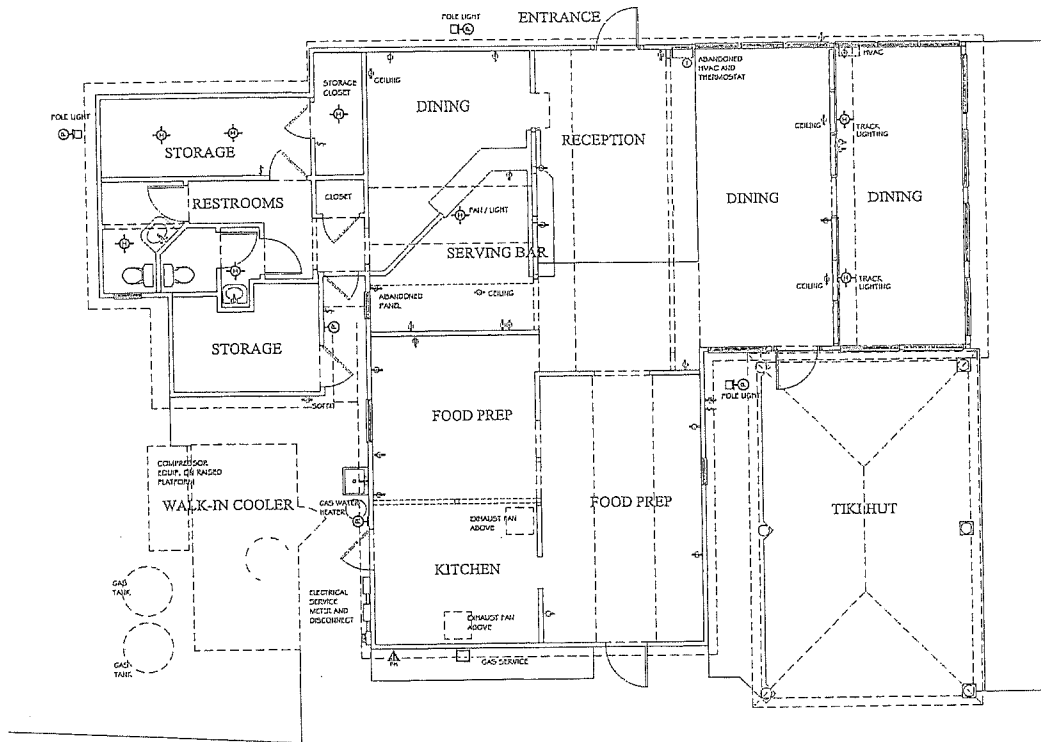
DESCRIPTION:
BUILDING SECTION
WALL SECTIONS
EXISTING
CONDITIONS

PROGRESS SET - NOT FOR CONSTRUCTION
JOB SET - NOT FOR CONSTRUCTION
PERMIT SET

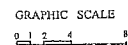
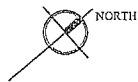
DATE DRAWN:
DA-4.00
PROJECT NO.:
07-004



SCANNED

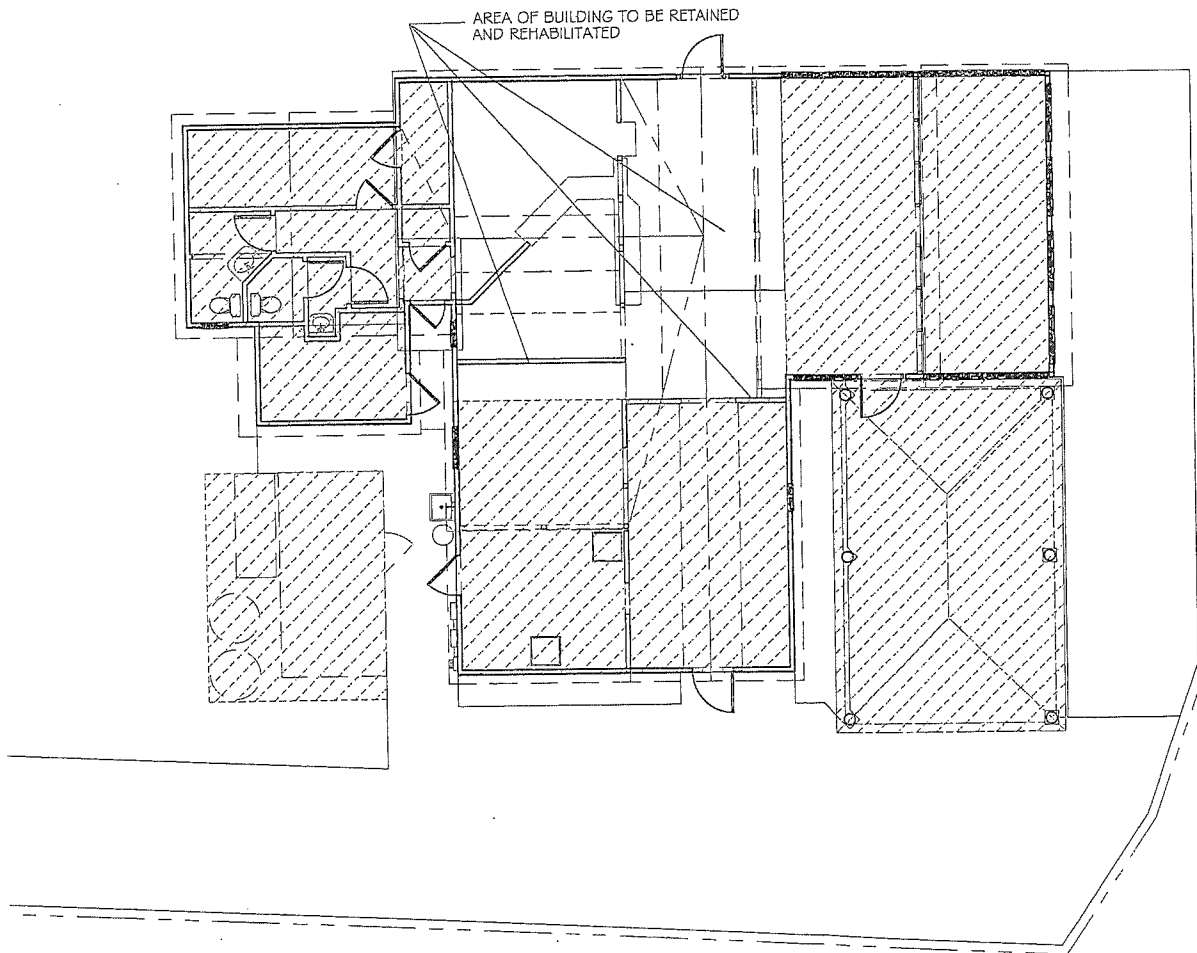


EXISTING ELECTRICAL / LIGHTING PLAN
 SCALE: 1/4" = 1' - 0"



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<p>ARCHITECTURE COMMUNITY PLANNING INTERIOR DESIGN HISTORIC PRESERVATION LANDSCAPE DESIGN</p>	
<p>PROJECT # 07-004</p>	
<p>DATE: 07/07</p>	
<p>PROJECT NAME: SNOOK INN 4452 PINE ISLAND ROAD NW MATLACHA PASS MATLACHA, FLORIDA</p>	
<p>PROJECT #</p>	
<p>DATE: 07/07</p>	
<p>SHEET TITLE: EXISTING ELECTRICAL LIGHTING UTILITIES</p>	
<p>PROJECT # 07-004 - NOT FOR CONSTRUCTION</p> <p>DATE 07/07 - NOT FOR CONSTRUCTION</p> <p>PROJECT 07/07</p>	
<p>SHEET NUMBER: EL-1.00</p>	
<p>DATE: 08/1/07</p>	

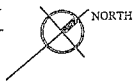
SCANNED



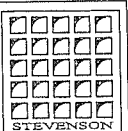
AREA OF BUILDING TO BE RETAINED AND REHABILITATED

AREA OF DEMOLITION

DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



GRAPHIC SCALE
0 1 2 4 8



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ARCHITECTS
INC.

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Dunwoody, Georgia 30350
404-747-3625
Licenses: #A0000193

ARCHITECTURE
COMMUNITY PLANNING
URBAN DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT NO.
07-004

NO.	
DATE	
BY	
CHKD	
APP'D	
REVISIONS	

NOTICE TO CONTRACTORS
These drawings reflect the architect's interpretation of all approvals and local codes regarding the project. The contractor shall verify all conditions, all codes, and all requirements before proceeding with any work and shall report any conflicts to the architect before proceeding with any work.

PROJECT:
SNOOK INN
4445 PINE ISLAND ROAD NW
MATLACHA, FLORIDA

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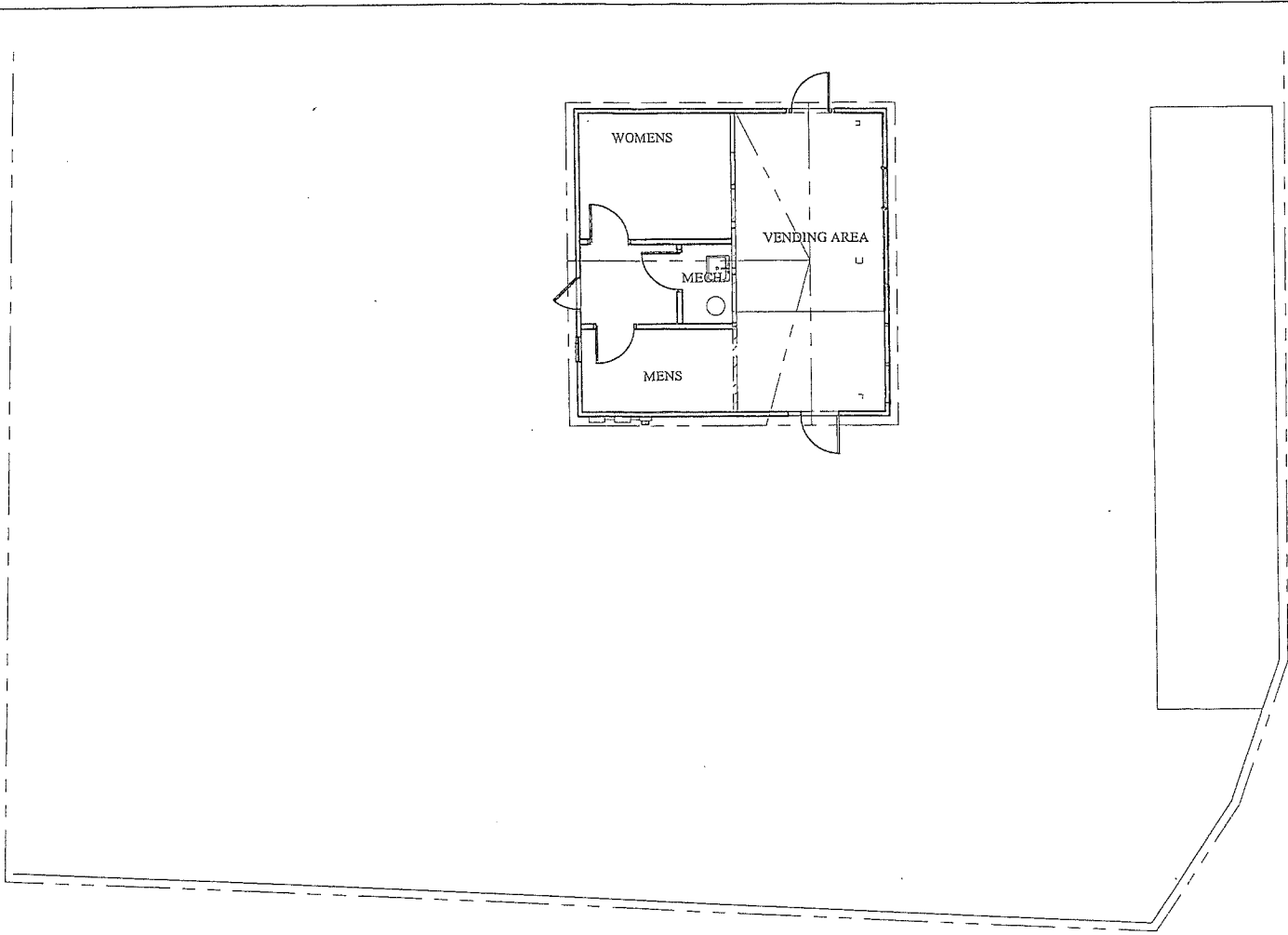
DATE: _____
BY: _____
CHECKED BY: _____

PROJECT NO.:
DEMOLITION FLOOR PLAN SITE PLAN
PROPOSED

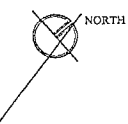
PROPOSED SET - HIGH RISK CONSTRUCTION
 BID SET - HIGH RISK CONSTRUCTION
 PERMIT SET

DRAWING NO.:
DD-1.01
DATE:
8/31/07

SCANNED

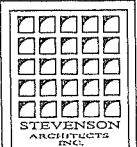


PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"



GRAPHIC SCALE
 0 1 2 4 8

SCANNED



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 941-767-5000
 License # AK000311

ARCHITECTURE
 COMMUNITY PLANNING
 URBAN DESIGN
 HISTORIC PRESERVATION
 INTERIOR DESIGN

PROJECT NO.
 07-004

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BY CONTRACTOR TO BE USED IN CONNECTION WITH THE PROVISIONS OF THE ARCHITECT'S CONTRACT DOCUMENTS. THE ARCHITECT'S CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE CONTRACT. THE ARCHITECT'S CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE CONTRACT. THE ARCHITECT'S CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE CONTRACT.

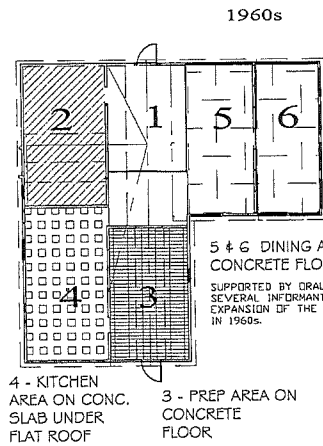
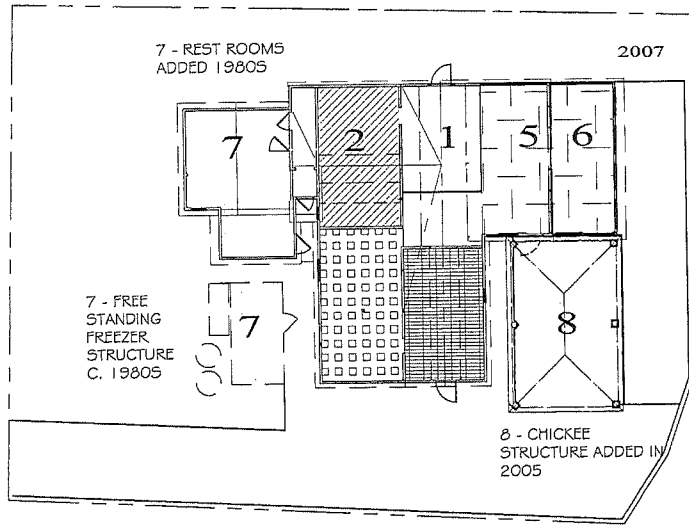
PROJECT:
 SNOOK INN
 4445 PINE ISLAND ROAD NW
 MANTALACHA PASS
 MANTALACHA, FLORIDA

DATE: 05/01/2007

FLOOR PLAN
 SITE PLAN

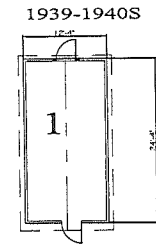
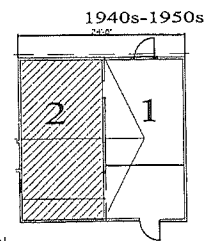
PROPOSED
 PROPOSED SET - NOT FOR CONSTRUCTION
 BIG SET - NOT FOR CONSTRUCTION
 PLANT SET

SHEET NUMBER: A-1.01
 PROJECT NO.: 07-004



PREP AREA ON RAISED WOOD
FLOOR SECTION

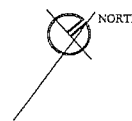
SUPPORTED BY ORAL HISTORY. ONE INFORMANT RECALLS LATE 1950S - GOING IN TO BUY SNACKS & DRINKS AFTER SCHOOL IN SECTION MARKED 2 ON THE PLAN.



1 - ORIGINAL PORTION
OF BUILDING ON
RAISED WOOD FLOOR
SECTION

FORM & MATERIALS SUGGEST THIS WAS POSSIBLY A FISH HOUSE OR AN ON-SHORE CABIN, BUT NO DOCUMENTARY EVIDENCE CONFIRMS THIS. A SMALL STRUCTURE APPEARS ON THE 1944 AERIAL OF THE SITE.

CONJECTURAL FLOOR PLAN EVOLUTION
SCALE: 1/8" = 1' - 0"



GRAPHIC SCALE
0 2 4 8 16



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Beverly Hills, CA 90209
310.747.2626
www.stevensonarch.com

ARCHITECTURAL
CONCEPT PLANNING
URBAN DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT:
07-004

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REVISIONS TO BE
ADDED TO THE
DRAWINGS TO
REFLECT THE
LATEST REVISIONS
AND APPROVALS.
ALL REVISIONS
SHOULD BE
APPROVED BY
THE ARCHITECT
BEFORE BEING
USED FOR
CONSTRUCTION.

SNOOK INN
4445 FINE ISLAND ROAD NW
MAYLACHA PASS
MAYLACHA, FLORIDA

PROJECT:

THESE DIMENSIONS AND REPRESENTATIONS OF DIMENSIONS ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY. FOR EXACT DIMENSIONS, REFER TO THE ARCHITECT'S DRAWINGS.

DATE: 8/21/07

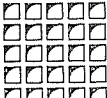
CONJECTURAL
FLOOR PLAN
EVOLUTION

PROJECT NO.: 07-004

DATE: 8/21/07

SHEET NUMBER:
A-1.10

DATE: 8/21/07


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 INC.
 Stevenson, Inc.
 417 FINESTREET ROAD, SUITE 110
 DUNEDIN, FLORIDA 32025
 386-3400 FAX
 386-3400111

ARCHITECTURE
 COMMUNITY PLANNING
 URBAN DESIGN
 HISTORIC PRESERVATION
 INTERIOR DESIGN

PROJECT: 07-004

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ACCEPTED REFERENCE TO CONTRACTOR:
 These documents are intended to provide the architect's understanding of all dimensions and conditions in order for the project. The contractor will be responsible for verifying all dimensions and conditions in the field with any and all field reports for the project. The architect will not be responsible for any errors or omissions resulting from any such field reports.

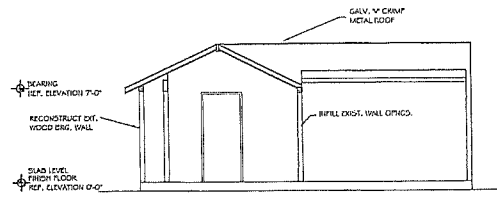
PROJECT:
SNOOK INN
 4445 PINE ISLAND ROAD NW
 MATEACHEL PASS
 MATLACHA, FLORIDA

These documents are intended to provide the architect's understanding of all dimensions and conditions in order for the project. The contractor will be responsible for verifying all dimensions and conditions in the field with any and all field reports for the project. The architect will not be responsible for any errors or omissions resulting from any such field reports.

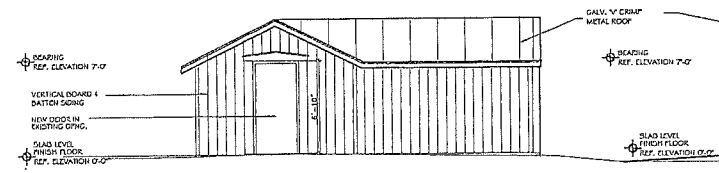
DRAWING:
EXTERIOR ELEVATIONS & SECTION
 PROPOSED

PREPARED BY: HOF FOR CONSTRUCTION
 875 SET - NOT FOR CONSTRUCTION
 PAPER SET

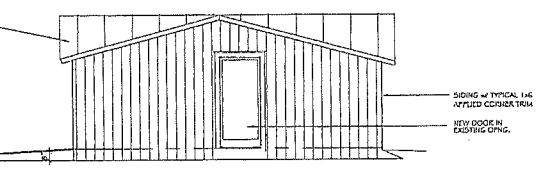
SHEET NUMBER:
A-3.00
 DRAWING DATE:
 8/31/07



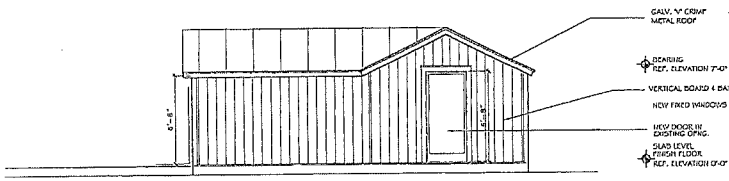
SECTION - PROPOSED
 SCALE: 1/4" = 1'-0"



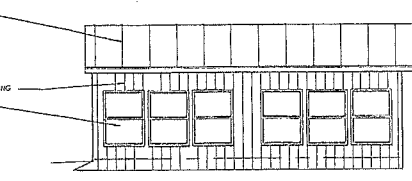
FRONT (NORTH) ELEVATION
 PLAN NORTH SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 PLAN (EAST) SCALE: 1/4" = 1'-0"



REAR ELEVATION
 PLAN SOUTH (WATERFRONT) SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 PLAN WEST SCALE: 1/4" = 1'-0"

ELEVATIONS - PROPOSED
 SCALE: 1/4" = 1'-0"

GRAPHIC SCALE
 0 1 2 3 4

SCANNED

VI. Bibliography

Articles

(October – November) 1990, Fort Myers New-Press, article “Down-home Matlacha café gains historic designation.” Cindy McCurry, staff writer.

Lee County Planning Department sources

Florida Master Site File forms
1986 form by Historic Property Associates, Tallahassee
1993 update form by Lee County Planning Department

Designation Report 90-09-03

Lee County Property Appraiser site data

Parcel 24-44-22-00-00020.0000

Oral History

Interview with Virginia Morton, Matlacha resident, August 25, 2007
Interview with Carol Casal, Realtor, July 17, 2007

Miscellaneous Sources

Historical development of SW Florida Waterways
http://64.233.169.104/search?q=cache:23zky0s1yrYJ:nsgd.gso.uri.edu/flsgp/flsgpm02003/flsgpm02003_parrt2a.pdf+Matlacha+history&hl=en&ct=clnk&cd=170&gl=us

Website for the Bridge Tender Inn <http://bridgewaterinn.com/aboutus.htm>

Secretary of the Interior Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings. Authors Kay D. Weeks and Anne E. Grimmer, US Department of the Interior, National Park Service. <http://www.nps.gov/history/standards.htm>
http://www.nps.gov/history/hps/tps/standards_guidelines.htm

Lee County Historic Districts - Matlacha
<http://www.lee-county.com/dcd/HistoricPreservation/HistoricPreservationMain.htm>

SCANNED

VII. Appendix: Secretary of the Interior Standards for Rehabilitation

Source: <http://www.nps.gov/history/hps/tps/standards/rehabilitation.htm>

REHABILITATION IS DEFINED AS the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Rehabilitation as a Treatment

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment.

SCANNED

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2010-00007

SNOOK INN

4445 PINE ISLAND RD NW MATLACHA 33993

Contributing Non-Contributing Individual Designation Not Historical

YOU ARE HEREBY NOTIFIED that the Lee County Historic Preservation Board voted to:

Approve
 Approve with Conditions
 Deny
 Continued

Date of Decision: 02/04/2010

The proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of Interior's Standards for Rehabilitation and Chapter 22 of the LDC.

A copy of this notice, the Special Certificate of Appropriateness (and other documents if appropriate as noted below) have been furnished to the following persons:

LEE COUNTY

Don DeBerry
Don Culbert
Pam Houck/ Shawn Lamey

Bob Stewart

LINDA STEVENSON

Property Owner ___ with without Plans

Director, Zoning Division ___ with without plans

Building Official ___ with without plans

Applicant ___ with without plans

Date: 02/05/2010

LEE COUNTY
SPECIAL CERTIFICATE OF APPROPRIATENESS NO. COA2010-00007

Contributing Non-Contributing Individual Designation Not Historical

Designation No.: HD90-10-01
Name of Project: SNOOK INN
Location: 4445 PINE ISLAND RD NW MATLACHA 33993
STRAP No.: 24-44-22-00-00020.0000
Name of Applicant: LINDA STEVENSON
Address: 417 12TH ST W
SUITE 208
BRADENTON, FL 34205

YOUR APPLICATION FOR A SPECIAL CERTIFICATE OF APPROPRIATENESS HAS BEEN

 X **APPROVED**

Certified by: Gloria Sajgo

Date Certified by Staff: 02/05/2010

 APPROVED WITH CONDITIONS For the reason outlined below

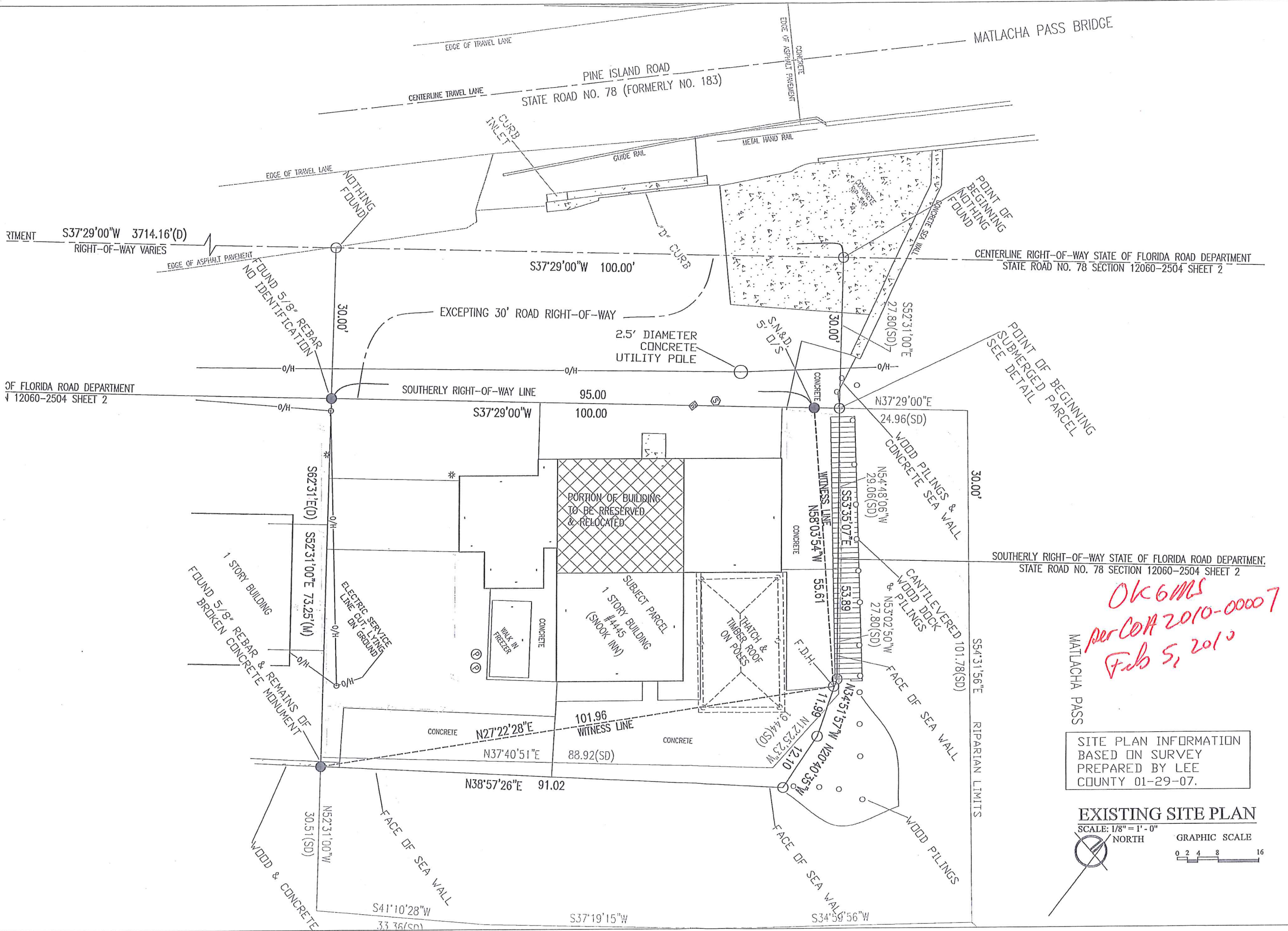
 DENIED For the reason outlined below

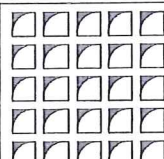
 CONTINUED

COMMENTS:

NOTICE OF APPEAL RIGHTS

Pursuant to LDC § 22-42, any owner of a building, structure or site affected by the operation of this chapter may appeal a decision of the Historic Preservation Board by filing a written notice of appeal within 15 days of the date of this decision. The notice of appeal must state the decision being appealed, the grounds for the appeal, and a summary of the relief sought. The notice must be filed with the Lee County Hearing Examiner and a copy provided to Historic Preservation Board staff, and must otherwise comply with LDC § 34-145(a), pertaining to appeals from administrative matters, and any county administrative codes adopted to implement the provisions of LDC Chapter 34. Notwithstanding the foregoing, except as may be required by F.S. § 163.3215, and then only pursuant to that statute, a third party does not have standing to appeal a decision rendered under the provisions of LDC Chapter 22.




STEVENSON ARCHITECTS INC.
 Stevenson Architects, Inc.
 417 12th Street West, Ste. #208
 Bradenton, Florida 34205
 941-747-3526
 License # AAC002131

ARCHITECTURE
 COMMUNITY PLANNING
 URBAN DESIGN
 HISTORIC PRESERVATION
 INTERIOR DESIGN

PROJECT #:

09-002

REVISED:

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ARCHITECTS NOTICE TO CONTRACTORS:
 These documents reflect the architect's understanding of all dimensions and conditions required for the project. The contractor and all tradesmen shall verify all conditions and dimensions before proceeding with any work and shall report any conflicts to the architect before proceeding with any work.

PROJECT:
SNOOK INN
 4445 PINE ISLAND ROAD NW
 MATLACHA PASS
 MATLACHA, FLORIDA

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DATE: _____
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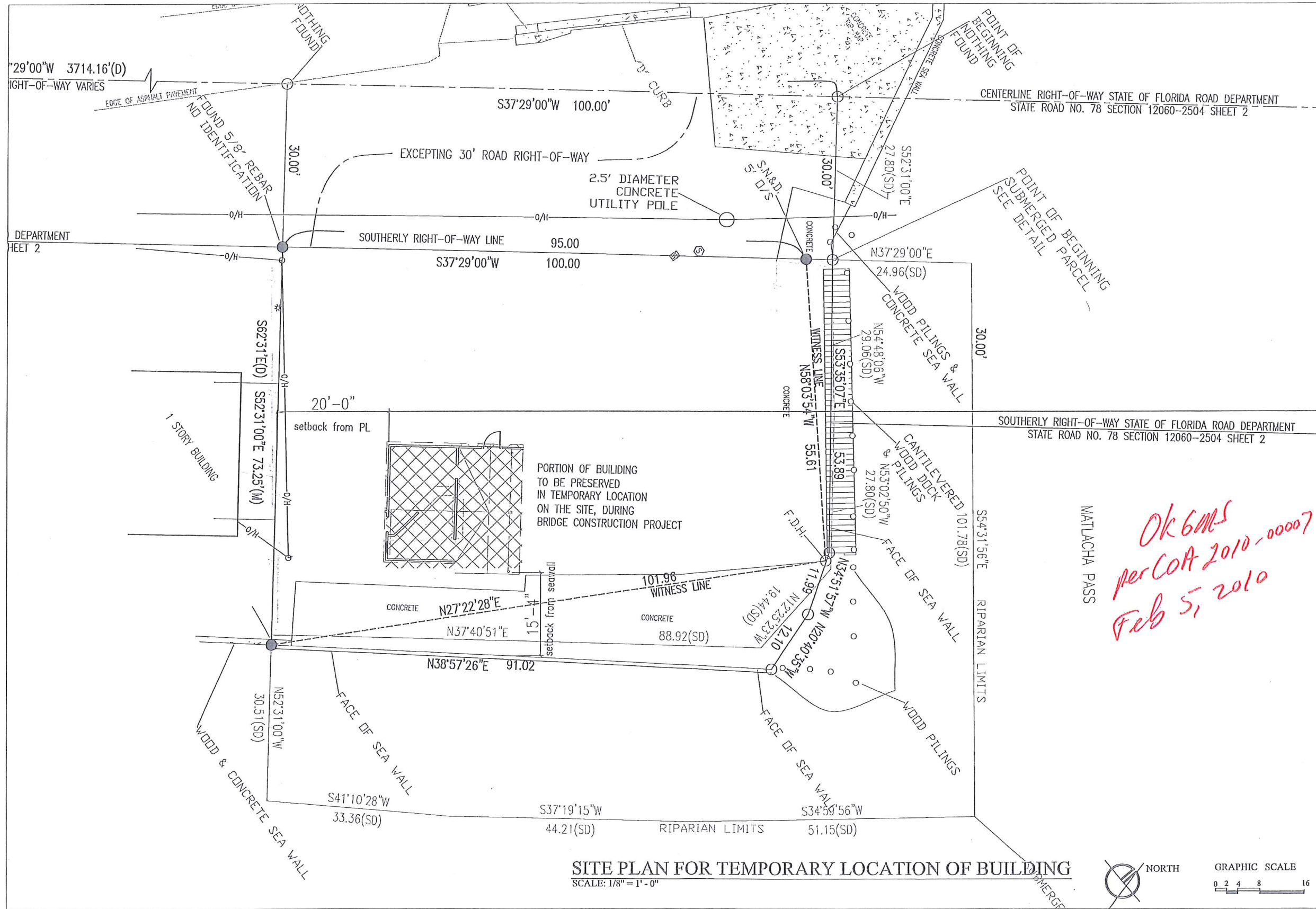
SHEET NAME:
EXISTING SITE PLAN & BUILDING

LEGEND:
 ■ PROGRESS SET - NOT FOR CONSTRUCTION
 □ BID SET - NOT FOR CONSTRUCTION
 □ PERMIT SET
 SHEET NUMBER:
SP-1.01
 DRAWING DATE:
01/27/10

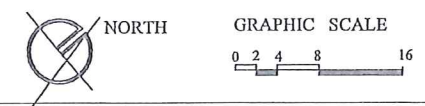
OK GMS
Per COA 2010-00007
Feb 5, 2010

SITE PLAN INFORMATION
 BASED ON SURVEY
 PREPARED BY LEE
 COUNTY 01-29-07.

EXISTING SITE PLAN
 SCALE: 1/8" = 1' - 0"
 NORTH
 GRAPHIC SCALE
 0 2 4 8 16



SITE PLAN FOR TEMPORARY LOCATION OF BUILDING
 SCALE: 1/8" = 1' - 0"



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ARCHITECTURE
 COMMUNITY PLANNING
 URBAN DESIGN
 HISTORIC PRESERVATION
 INTERIOR DESIGN

PROJECT #:
09-002

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REVISIONS:
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PROJECT:
SNOOK INN
 4445 PINE ISLAND ROAD NW
 MATLACHA, FLORIDA

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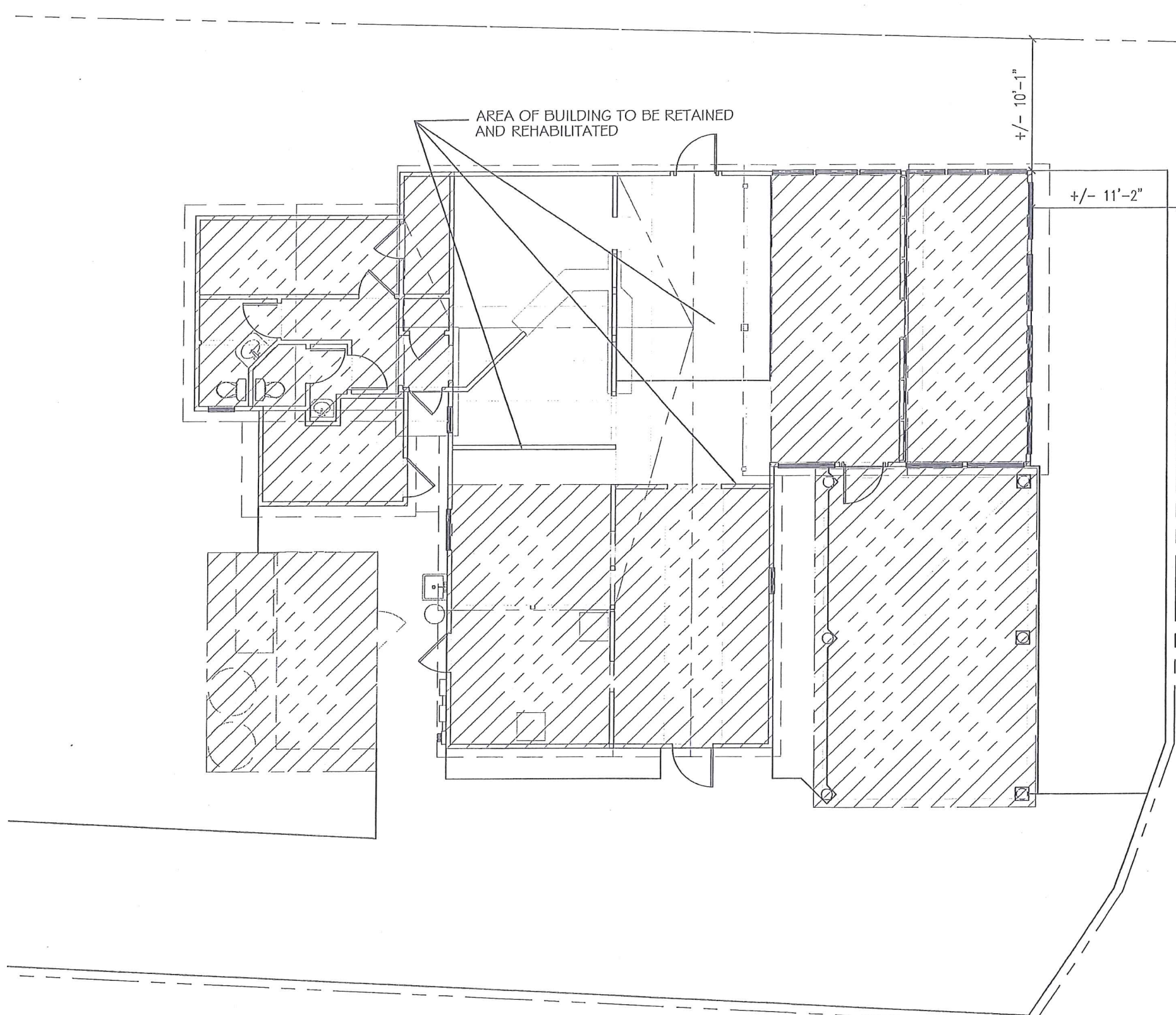
SCALE:
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SHEET NAME:
SITE PLAN FOR TEMPORARY LOCATION OF BUILDING ON SITE

PROGRESS SET - NOT FOR CONSTRUCTION
 BID SET - NOT FOR CONSTRUCTION
 PERMIT SET

SHEET NUMBER:
SP-2.00
 DRAWING DATE:
 1/27/10

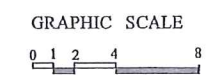
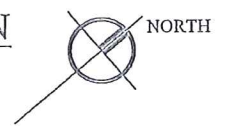
*Ok 6MS
 per COA 2010-00007
 Feb 5, 2010*



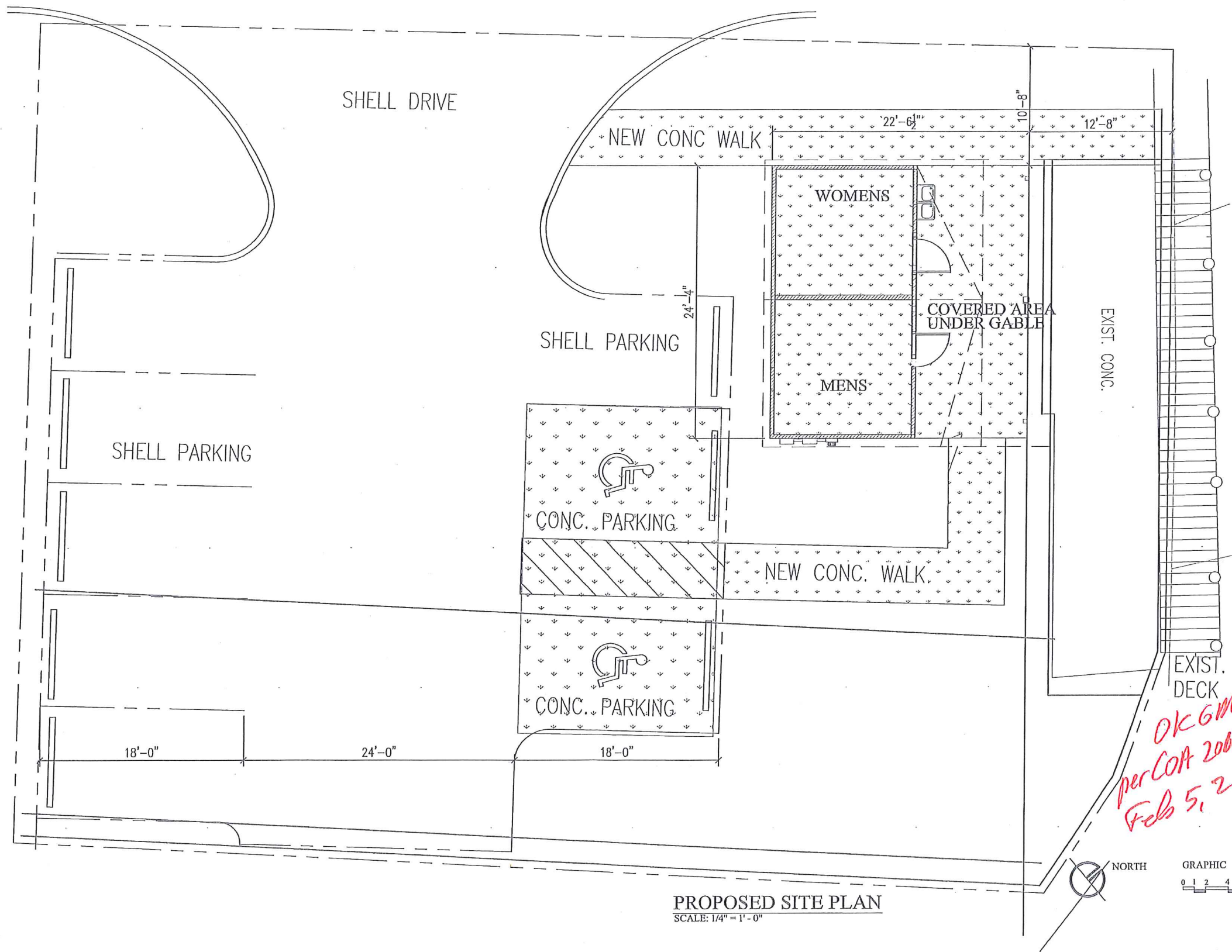
*OK GMS
per COA 2010-00007
Feb 5, 2010*



DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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<p>ARCHITECTURE COMMUNITY PLANNING URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN</p>																					
<p>PROJECT #: 09-002</p>																					
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<p>ARCHITECT'S NOTICE TO CONTRACTORS: These documents reflect the architect's understanding of all dimensions and special requirements for the project. The contractor shall be responsible for verifying all conditions and dimensions before proceeding with any work and shall report any conflicts to the architect before proceeding with any work.</p>																					
<p>PROJECT: SNOOK INN 4445 PINE ISLAND ROAD NW MATLACHA PASS MATLACHA, FLORIDA</p>																					
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<p>SHEET TITLE: DEMOLITION FLOOR PLAN SITE PLAN PROPOSED</p>																					
<p>PROGRESS SET - NOT FOR CONSTRUCTION BID SET - NOT FOR CONSTRUCTION PERMIT SET</p>																					
<p>SHEET NUMBER: DD-1.01</p>																					
<p>DRAWING DATE: 01/27/10</p>																					



PROPOSED SITE PLAN
SCALE: 1/4" = 1' - 0"

*OK GMS
per COA 2000-00007
Feb 5, 2010*

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 Bradenton, Florida 34205
 941-747-3696
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ARCHITECTURE
 COMMUNITY PLANNING
 EXHIBIT DESIGN
 HISTORIC PRESERVATION
 INTERIOR DESIGN

PROJECT #
07-004

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 and dimensions before
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PROJECT:
SNOOK INN
 4445 PINE ISLAND ROAD NW
 MATLACHA, FLORIDA

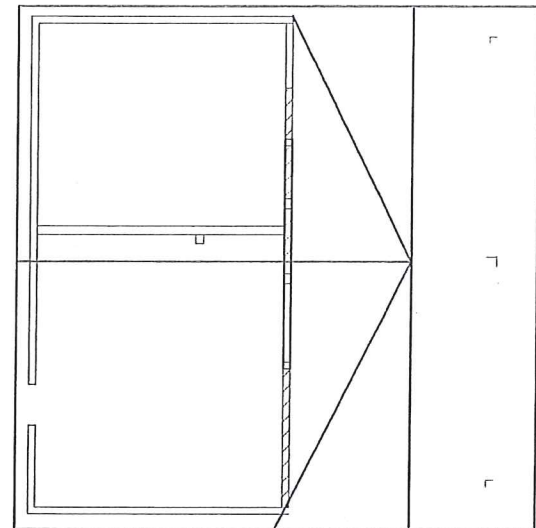
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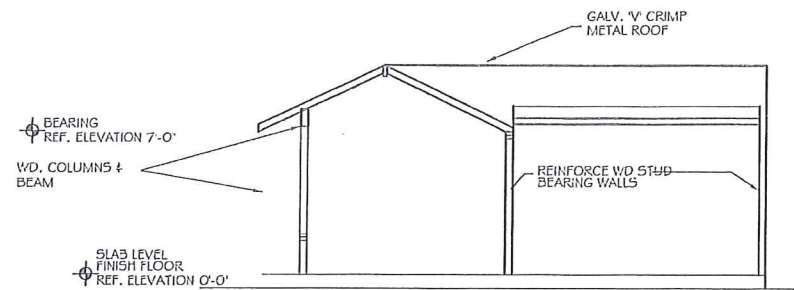
SHEET NAME:
**FLOOR PLAN
 SITE PLAN**
 PROPOSED

PROGRESS SET - NOT FOR CONSTRUCTION
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 PERMIT SET

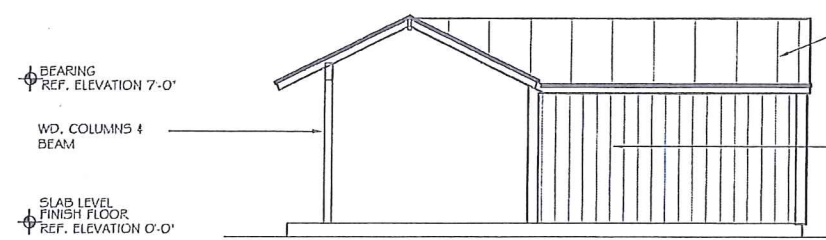
SHEET NUMBER:
A-1.01
 DRAWING DATE:
01/27/10



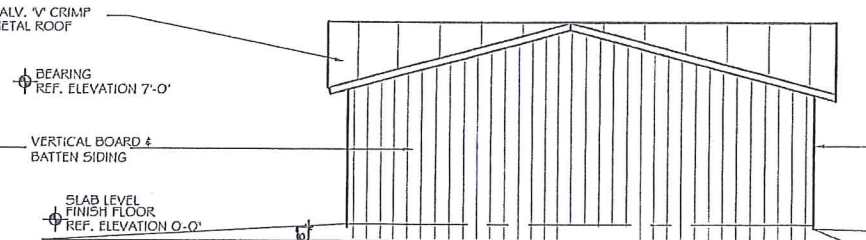
ROOF PLAN
SCALE: 1/4" = 1'-0"



SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

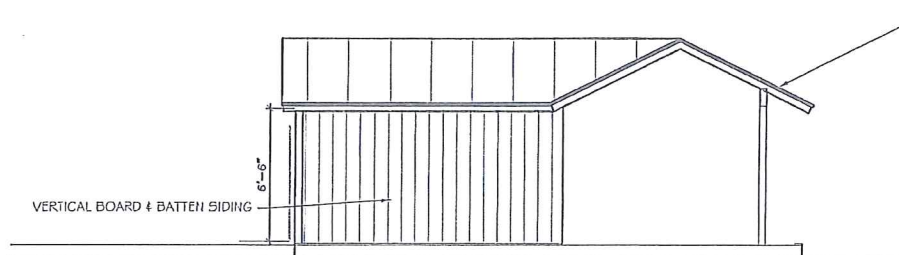


FRONT (NORTH) ELEVATION
PLAN NORTH SCALE: 1/4" = 1'-0"

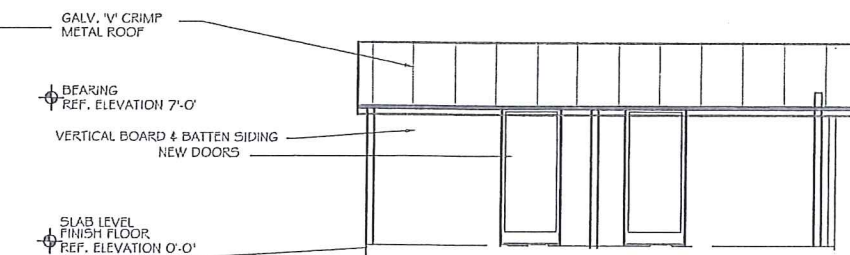


LEFT SIDE ELEVATION
PLAN (WEST) SCALE: 1/4" = 1'-0"

SIDING w/ TYPICAL 1x6 APPLIED CORNER TRIM

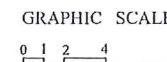


REAR ELEVATION
PLAN SOUTH (WATERFRONT) SCALE: 1/4" = 1'-0"

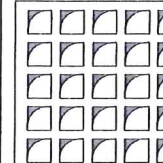


RIGHT SIDE ELEVATION
PLAN EAST SCALE: 1/4" = 1'-0"

ELEVATIONS - PROPOSED
SCALE: 1/4" = 1'-0"



*OK GMS
per COA 2010-00007
Feb 5, 2010*



**STEVENSON
ARCHITECTS
INC.**

Stevenson Architects, Inc.
417 E. State Street, Suite #200
Tallahassee, Florida 32303
904-747-3656
License # ANCO02131

ARCHITECTURE
COMMUNITY PLANNING
URBAN DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT #
09-002

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REVISIONS

ARCHITECT'S NOTICE TO CONTRACTORS:
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PROJECT:
SNOOK INN
4445 PINE ISLAND ROAD NW
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MATLACHA, FLORIDA

PROJECT:

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SCALE
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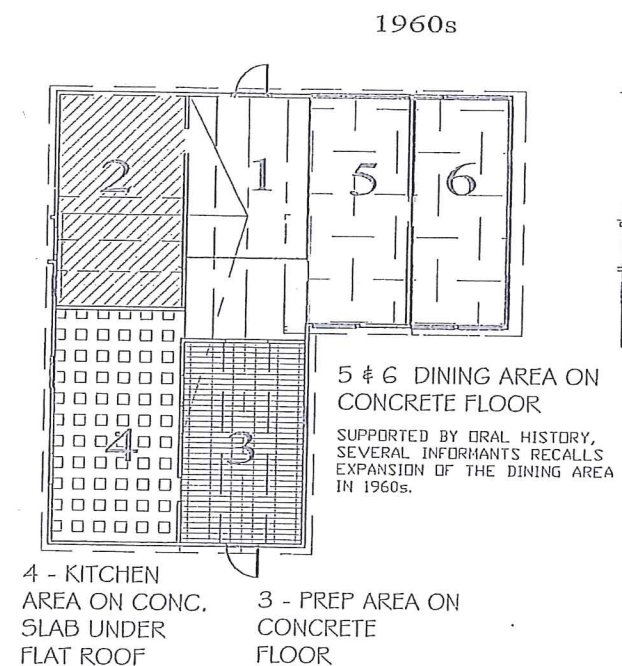
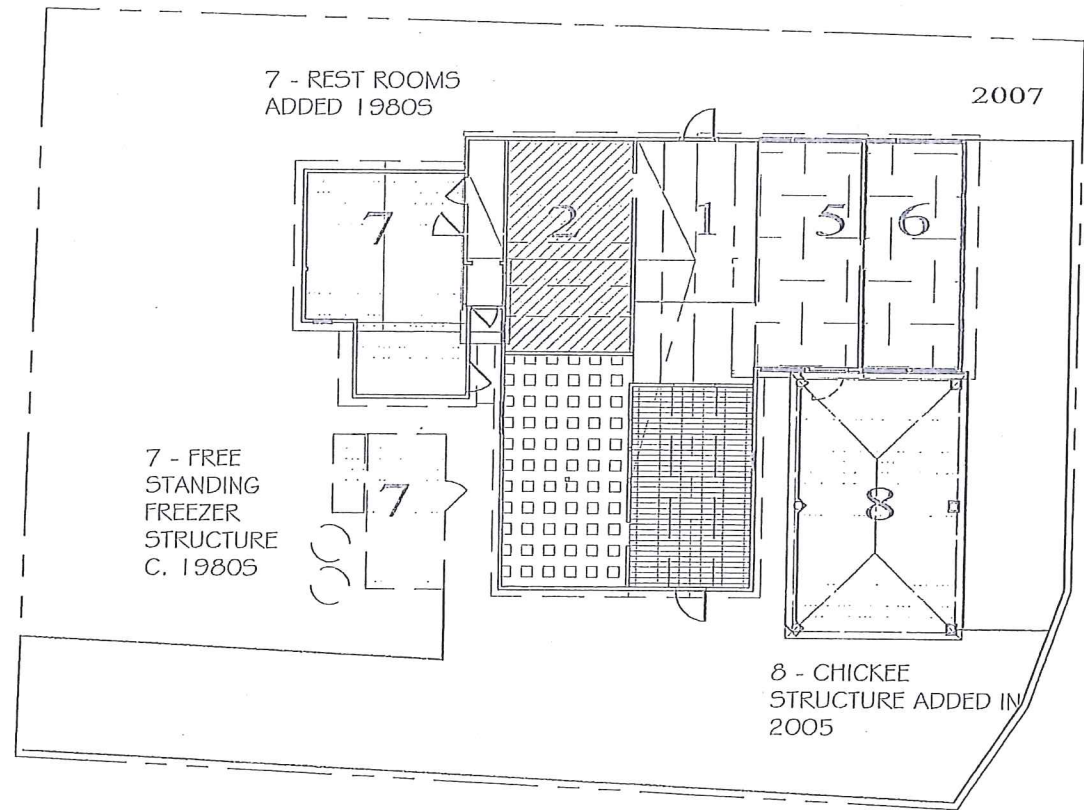
EXTERIOR
ELEVATIONS
& SECTION
PROPOSED

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DID SET - NOT FOR CONSTRUCTION
PERMANENT SET

SHEET NUMBER

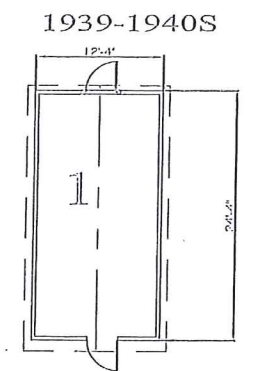
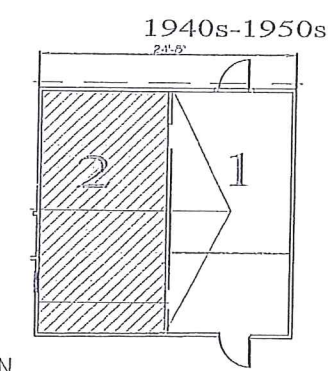
A-3.00

DRAWING DATE
01/27/10



PREP AREA ON RAISED WOOD
FLOOR SECTION

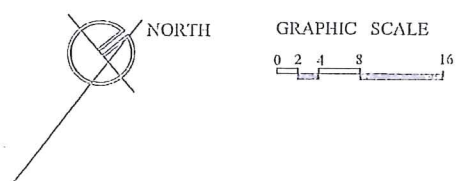
SUPPORTED BY ORAL HISTORY, ONE INFORMANT
RECALLS LATE 1950S - GOING IN TO BUY SNACKS
& DRINKS AFTER SCHOOL IN SECTION MARKED 2 ON
THE PLAN.



1 - ORIGINAL PORTION
OF BUILDING ON
RAISED WOOD FLOOR
SECTION

FORM & MATERIALS SUGGEST
THIS WAS POSSIBLY A FISH
HOUSE OR AN ON-SHORE
CABIN, BUT NO DOCUMENTARY
EVIDENCE CONFIRMS THIS. A
SMALL STRUCTURE APPEARS
ON THE 1944 AERIAL OF THE
SITE.

CONJECTURAL FLOOR PLAN EVOLUTION
SCALE: 1/8" = 1' - 0"



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ARCHITECTS
INC.

Stevenson Architects, Inc.
417 1/2th Street West, Ste. #218
Bradenton, Florida 34205
941-747-3696
License # 445028181

ARCHITECTURE
COMMUNITY PLANNING
URBAN DESIGN
HISTORIC PRESERVATION
INTERIOR DESIGN

PROJECT #:
07-004

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1 PREP. PLAN UPDATE 01/27/10
REVISED:

ARCHITECT'S NOTICE
TO CONSTRUCTION:
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proceeding with any work.

PROJECT:
SNOOK INN
4445 PINE ISLAND ROAD NW
MATLACHA PASS
MATLACHA, FLORIDA

PROJECT:

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SHEET NAME:
CONJECTURAL
FLOOR PLAN
EVOLUTION

PROGRESS SET - NOT FOR
CONSTRUCTION
BID SET - NOT FOR CONSTRUCTION
PERMIT SET

SHEET NUMBER:
A-1.10
DRAWING DATE:
5/31/07
REV. BY:
JLV

*Ok GMS
per COA 2010-00007
Feb 5, 2010*



HISTORIC PRESERVATION PROGRAM DESIGNATION REPORT FORM AND/OR APPLICATION

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

Date Filed:	September 18, 2013	FSF No.		Designation No.	Court
-------------	--------------------	---------	--	-----------------	-------

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts pursuant to Lee County Land Development Code, Chapter 22, Historic Preservation.

Name of Property

Historic Name: Court

Other Names/Site Number: 11461 Island Ave Matlacha Fl 33993 (lot 46 First Addition to Island Harbors S/D)

Location

Street & Number: 11461 Island Ave.

City, State, Zip: Matlacha Fl 33993

STRAP Number: 24 44 22 07 00000 0460

Classification

Ownership of Property	Category of Property	Number of Resources within Property		
		Contributing		Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	1	building(s)	
<input type="checkbox"/> public-local	<input type="checkbox"/> district		sites	
<input type="checkbox"/> public-state	<input type="checkbox"/> site		structure	
<input type="checkbox"/> public-federal	<input type="checkbox"/> structure		objects	
	<input type="checkbox"/> objects	1	TOTAL	

Official Actions

Date of Petition for Designation: September 18, 2013

Date Designation Report filed with Historic Preservation Board: September 18, 2013

Date of Historic Preservation Board's written Resolution: _____

Resolution Number: _____

Date Designation was recorded: _____

Initiated by: _____

Designation

- Individual Historic Resource
- Individual Archaeological Site
- Historic District Change in status from non-contributing to contributing
- Archaeological Zone
- Archaeological District

Staff Recommendation:

Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation and direct it to public hearing and at that public hearing vote to designate it.

Statement Attached		ATTACHMENTS
YES	NO	
		Designation Report for Individual Buildings or Sites per Lee County Land Development Code (LDC) Chapter 22 Historic Preservation
X		LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.
X		Photographs (3"x5" or larger)
X		LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.
X		LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.
X		LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.
X		LDC - Sec. 22-202 (1) e - A location map, showing relevant zoning and land use information. Map attached
X		LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Applicable Criteria (check all that apply)

- Section 22-204(a) 1 2 3 4 5
- Section 22-204(b) 1 2 3 4 5
- Section 22-204(c) 1 2 3 4 5
- Section 22-204(d) 1 2 3 4 5
- Section 22-204(e) 1 2 3 4 5

Lee County Land Development Code (LDC)

Chapter 22 - Sec. 22-204. Criteria for Designation.

(a) Significance generally. The historic preservation board shall have the authority to designate historic resources based upon their significance in the county's history, architecture, archaeology or culture, or for their integrity of location, design, setting, materials, workmanship, or associations, and because they:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric, or architectural history that have contributed to the pattern of history in the community, the county, southwestern Florida, the state, or the nation;
- (2) Are associated with the lives of persons significant in our past;
- (3) Embody the distinctive characteristics of a type, period, style, or method of construction or are the work of a master; or possess high artistic value or represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded or are likely to yield information on history or prehistory; or
- (5) Are listed or have been determined eligible for listing in the National Register of Historic Places.

(b) Historical or cultural significance. A historic resource shall be deemed to have historical or cultural significance if it is:

- (1) Associated with the life or activities of a person of importance in local, state, or national history;
- (2) The site of a historic event with a significant effect upon the town, county, state, or nation;
- (3) Associated in a significant way with a major historic event;
- (4) Exemplary of the historical, political, cultural, economic, or social trends of the community in history; or
- (5) Associated in a significant way with a past or continuing institution which has contributed substantially to the life of the community.

(c) Architectural or aesthetic significance. A historic resource shall be deemed to have architectural or aesthetic significance if it fulfills one or more of the following criteria:

- (1) Portrays the environment in an era of history characterized by one or more distinctive architectural styles;
- (2) Embodies the characteristics of an architectural style, period, or method of construction;
- (3) Is a historic or outstanding work of a prominent architect, designer, or landscape; or
- (4) Contains elements of design, detail, material, or craftsmanship which are of outstanding quality or which represented, in its time, a significant innovation, adaptation or response to the south Florida environment.

(d) Archaeological significance. A historic resource shall be deemed to have archaeological significance if it meets one or more of the following criteria:

- (1) There is an important historical event or person associated with the site;
- (2) The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;
- (3) The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;
- (4) The site was the location of historic or prehistoric activities during a particular period of time; or
- (5) The site maintains a sufficient degree of environmental integrity to provide useful archaeological data. Such integrity shall be defined as follows:
 - a. The site is intact and has had little or no subsurface disturbance; or
 - b. The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information.

(e) Properties Not generally eligible. Properties not generally considered eligible for designation include cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, buildings or sites primarily commemorative in nature, reconstructed historic buildings, and properties that have achieved significance less than 50 years prior to the date the property is proposed for designation. However, such properties will qualify if they are integral parts of districts that do meet the criteria described in this section or if they fall within one or more of the following categories:

- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
- (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
- (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
- (5) A property primarily commemorative in nature if design, age, tradition, or symbolic value have invested it with its own historical significance.
- (6) A building, structure, site, or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.

LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.

The subject property is located at 11461 Island Ave Matlacha Fl 33993 at the intersection of Island Ave and May St. The subject house is located on lot 46 First Addition to Island Harbors a subdivision platted August 1953 (see attached).

Island Avenue terminates at the intersection of the Island Avenue and Pine Island Rd. The subject lot 46 is visible north of this intersection and its unusual shape and location make it appear as the gateway to the houses north of it along Island Avenue. The subject lot is roughly triangular shaped with the long leg of the triangle curving for roughly 100-ft from May St to Island Avenue. The west side (roughly 73-ft) of the lot is by a canal (canal "F" as shown on the plat). The north or rear elevation is roughly 67-ft long.

According to the Property Appraiser's web site the house was built in 1957 (making it 56 years old) and the building's footprint is roughly 1,392 sq ft.—including 917 sq ft for the base, 253 sq ft for the carport, 156 sq ft for the open porch and 66 sq ft for the finished utility.

This small post WWII house was built in the modern style and retains its original materials, mass, scale and architectural integrity. Only discernible alterations include the relocation of the front door on the front elevation, removal and replacement of some of the original windows and the addition of a pair of French Doors on the west side elevation by the canal. The house features two clearly differentiated wings:

- The main house

The base house is roughly 29-ft by 37-ft and features a stucco wall finish and a flat roof with parapet walls on the front and the two side elevations (i.e. by Island Avenue and the canal). The front elevation features an open flat roofed porch. This roof appears to be lower than the main house's roof because unlike the main house the porch roof does not have a parapet wall. This front porch is supported by decorative metal columns.

A sidewalk located in front of and along the side of the carport terminates at the open front porch. Originally the front door was located directly in front of this sidewalk – the shadow of the original door is still visible. The original front door opening has been filled in and the door relocated eastward on the front elevation.

The house features awning windows and a pair of French doors opening to the canal.

- The carport/utility

The rectangular carport/utility wing to the south of the house is roughly 29-ft by 11-ft. It is in line with the west side of the house and as a result appears to be an extension of that side elevation along the canal. Like the house the carport/utility wing features stucco walls and a flat roof – but without parapet walls.

On the front elevation the carport is completely open and accessible from May St. On the two side elevations it features stucco walls. Each side wall features two oversized square openings with concrete sills; on either side of these central openings are narrow, tall rectangular openings infilled with patterned, decorative concrete motifs. Towards the rear of the carport is a breezeway separating the open carport from the enclosed utility area.

The house incorporates characteristic design features of the post WWII modern style. It features flat roofs, stucco walls and minimal decorative elements. The design is made interesting by including parapet roof walls that provide variable roof heights and in the case of the carport by incorporating several openings in walls. The house retains a great deal of its architectural integrity as it has been minimally altered.

LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.

According to the Property Appraiser's web site this modest structure was built in 1957. The post WWII period is associated with unprecedented increases of middle class housing and car ownership both of which facilitated suburban developments. This house is strongly associated with the post WWII modern suburban architecture and retains most of its integrity of design, as well as, its mass and scale. Although the subject property is 56 years old and its age would qualify it as historic, the design of houses such as the subject house are reminiscent of the recent and not the historic past and as a result are particularly endangered.

The subject house embodies the characteristics of the modern architectural style of the post WWII era, but it is endangered because:

- It has no historic designation to encourage it's preservation by exempting from FEMA flood regulations
- It cannot be built as a new structure under current building and land development regulations. Today buildings such as the subject structure would have to be elevated to meet FEMA flood regulations. However, even then the surrounding environment of this small house by a canal could not be duplicated. The dredge and fill practices that allowed the dredging of land to create canals and the use of the fill dirt to create land is no longer allowed.

The National Trust for Historic Preservation has started initiatives to deal with modernism and the preservation of the recent past. In its website the Trust states,

"In architecture, Modernism is generally defined as a design language with an emphasis on form rather than ornament, structure and materials rather than picturesque constructions, and the rational and efficient use of space...."

"Preservationists typically define the recent past as a moving window encompassing resources constructed or designed in the past 50 years. Federal, state and local preservation programs typically exclude properties fewer than 50 year old from historic designation programs and review processes. This leaves many historically and culturally significant properties unprotected from demolition or other adverse treatments."

LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site including any potential threats or other circumstances that may affect the integrity of the building, structure, of site

The following are threats to the building:

- Per the attached photographs the building is threatened by its poor structural condition.
- The building is also threatened because it is not designated as a historic building and as a non-historic structure, per FEMA regulations no more than 50% of the value of the building can be spent on its rehabilitation. Because the building value is low and the amount of work to be done is substantial, the building cannot be rehabilitated as a non-historic contributing building. Instead of being rehabilitated, the building would have to be torn down and a new building that complies with modern regulations built in its place. Only designating the building as historic would allow the rehabilitation and preservation of the existing building.
- The owner of the building has been cited under VIO2013-00812 for interior remodeling without a permit. To abate this violation the property owner will have to bring the building into compliance with the building code. Because that work would be more than 50% of the value of the building, FEMA regulations would require that the building be brought into compliance with building regulations by either designating the building as historic and thus exempting it from flood regulations or demolishing it and building a new building that complies with flood regulations.

LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals

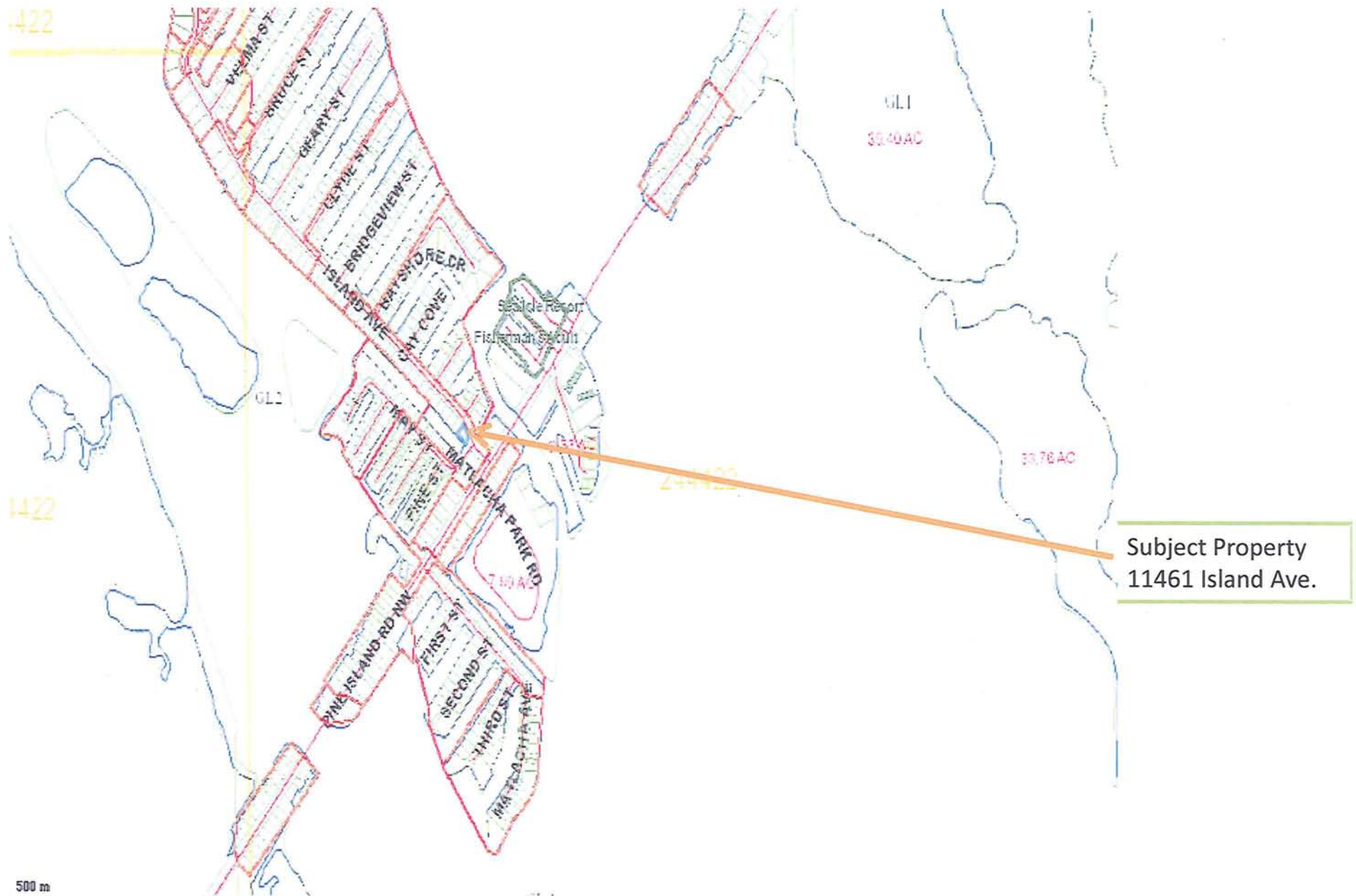
The owners are requesting that the building be designated as historic so that it can be rehabilitated in a manner that preserves the integrity of its design. The property would continue to be used as a residential building.

LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Staff recommends that the LCHPB designate the subject structure as historic under Chapter 22 of the Land Development Code. Today in 2013 the building is 56 years old. The style of the house is characteristic post WWII modern style. Current regulations would make it impossible to duplicate the house and its surroundings (i.e. the canal).

Once the building is designated the property owner will submit to the LCHPB specific plans to rehabilitate the building and those plans will have to be in compliance with the Secretary of the Interior Standards.

HDC2013- – Court Residence 11461 Island Ave. Matlacha, FL 33993



HDC2013-

– Court Residence 11461 Island Ave. Matlacha, FL 33993



Subject Property
11461 Island Ave..

Court Residence

11461 Island Ave Matlacha FI 33993



Fri Sep 6 2013 01:39:39 PM.

SUBJECT PROPERTY

Court Residence
11461 Island Ave. Matlacha, FL 33993

South East front elevation corner of May St. and Island Ave.



Carport and front elevation

East side of carport



Front elevation

Court Residence
11461 Island Ave. Matlacha, FL 33993



West side elevation by canal

West side elevation of house
and carport



West side elevation of house
and carport

Court Residence
11461 Island Ave. Matlacha, FL 33993



East side and rear elevations (note crack in the wall)



North West rear elevation

LCPA Pictometry Viewer - Windows Internet Explorer provided by Lee County ITG

http://ool.leepa.org/pictonav/default.asp?foloid=10015070

File Edit View Favorites Tools Help

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LCPA Pictometry Viewer

Images year: 2013
01/14/2013 (1 of 6)

Display Parcels

Pictometry © 2000-2013

Done Internet 100%

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SUBJECT PROPERTY

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LCPA Pictometry Viewer

Images year: 2013
01/11/2013 (1 of 2)
Display Parcels

Pictometry © 2000-2013

Done Internet 100%

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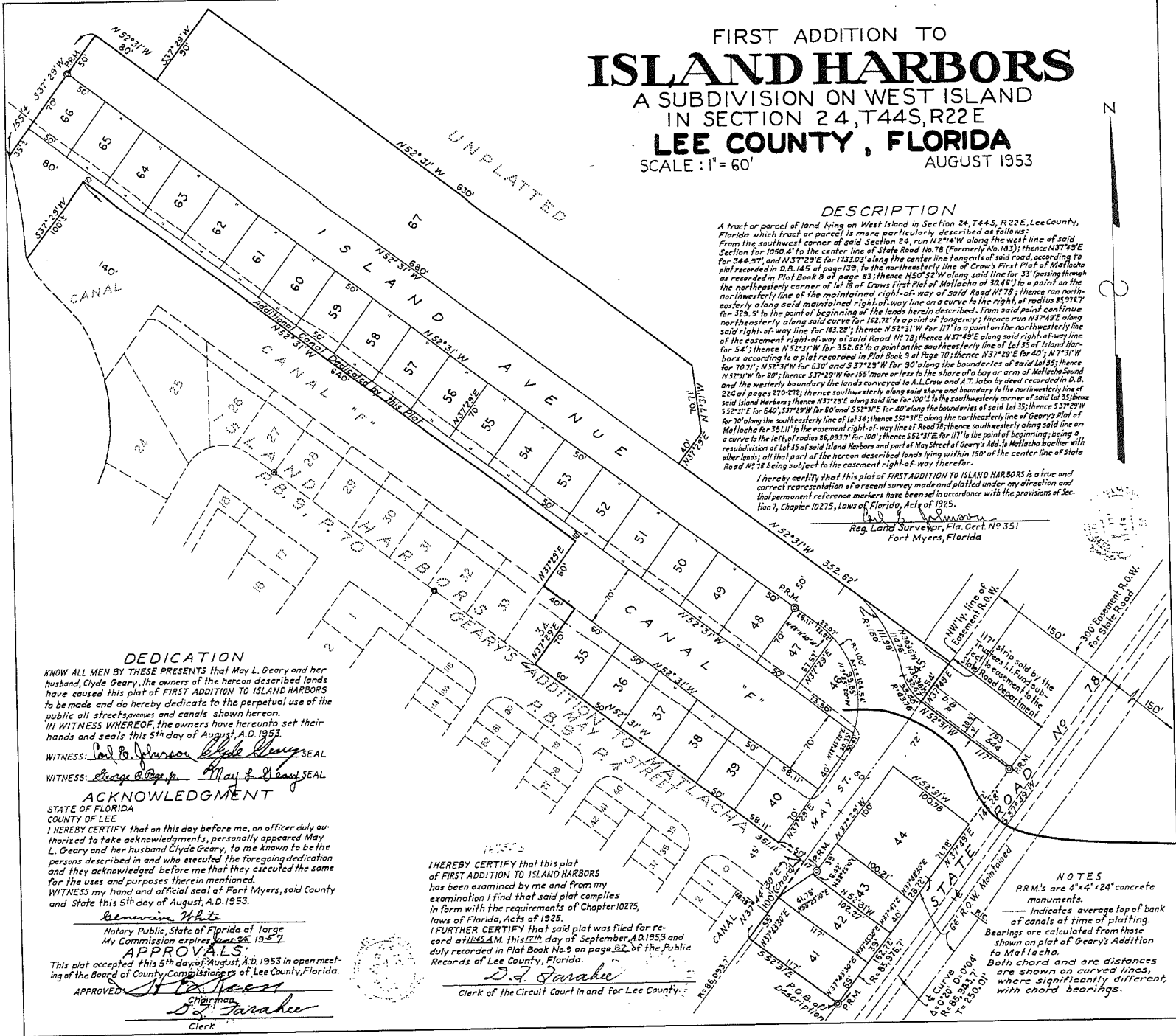
SUBJECT PROPERTY



SUBSET PROPERTY

FIRST ADDITION TO ISLAND HARBORS

A SUBDIVISION ON WEST ISLAND IN SECTION 24, T44S, R22E LEE COUNTY, FLORIDA
SCALE: 1" = 60'
AUGUST 1953



DESCRIPTION
A tract or parcel of land lying on West Island in Section 24, T44S, R22E, Lee County, Florida which tract or parcel is more particularly described as follows:
From the southwest corner of said Section 24, run N2°14'W along the west line of said Section for 1050.47 to the center line of State Road No. 78 (formerly No. 103); thence N37°49'E for 344.97, and N37°29'E for 1733.03 along the center line tangents of said road, according to plat recorded in D.B. 145 of page 139, to the northeasterly line of Crow's First Plat of Malacha as recorded in Plat Book 8 of page 81; thence N52°31'W along said line for 33' (passing through the northeasterly corner of lot 13 of Crow's first Plat of Malacha of 30.46') to a point on the northerly line of the maintained right-of-way of said Road No. 78; thence run north-easterly along said maintained right-of-way line on a curve to the right, of radius 8521.27 for 329.5 to the point of beginning of the lands herein described. From said point continue for 182.22 to a point of tangency; thence run N31°49'E along said right-of-way line for 183.28; thence N52°31'W for 117' to a point on the northwesterly line of the easement right-of-way of said Road No. 78; thence N37°49'E along said right-of-way line for 54'; thence N52°31'W for 352.62 to a point on the southeasterly line of Lot 13 of Island Har-bors according to a plat recorded in Plat Book 5 at Page 70; thence N37°29'E for 40'; N7°31'W for 70.71; N52°31'W for 630' and S37°29'W for 30' along the boundaries of said Lot 13; thence N52°31'W for 80'; thence S37°29'W for 155' more or less to the shore of a bay or arm of Malacha Sound and the westerly boundary the lands conveyed to A.L. Cow and A.T. Lobo by deed recorded in D.B. 224 of page 279-273; thence southwesterly along said shore and boundary to the northwesterly line of said Island Harbors; thence N37°29'E along said line for 100' to the southwest corner of said Lot 35; thence S52°31'E for 640', S37°29'W for 60' and S52°31'E for 40' along the boundaries of said Lot 35; thence S37°29'W for 70' along the southeasterly line of lot 34; thence S52°31'E along the northwesterly line of Geary's Plat of Malacha for 35.11' to the eastern right-of-way line of Road 78; thence southwesterly along said line on a curve to the left, of radius 86,093.7' for 100'; thence S52°31'E for 117' to the point of beginning; being a subdivision of lot 35 of said Island Harbors and part of May Street of Geary's Add. to Malacha together with other lands; all that part of the herein described lands lying within 150' of the center line of State Road No. 78 being subject to the easement right-of-way thereof.

I hereby certify that this plat of FIRST ADDITION TO ISLAND HARBORS is a true and correct representation of a recent survey made and platted under my direction and that permanent reference markers have been set in accordance with the provisions of Section 7, Chapter 10275, Laws of Florida, Act of 1925.
Reg. Land Surveyor, Fla. Cert. No. 351
Fort Myers, Florida

DEDICATION
KNOW ALL MEN BY THESE PRESENTS that May L. Geary and her husband, Clyde Geary, the owners of the hereon described lands have caused this plat of FIRST ADDITION TO ISLAND HARBORS to be made and do hereby dedicate to the perpetual use of the public all streets, avenues and canals shown hereon.
IN WITNESS WHEREOF, the owners have hereunto set their hands and seals this 5th day of August, A.D. 1953.

WITNESS: Paul R. Johnson Notary Public SEAL
WITNESS: George C. Page, Jr. May L. Geary SEAL

ACKNOWLEDGMENT
STATE OF FLORIDA
COUNTY OF LEE
I HEREBY CERTIFY that on this day before me, an officer duly authorized to take acknowledgments, personally appeared May L. Geary and her husband Clyde Geary, to me known to be the persons described in and who executed the foregoing dedication and they acknowledged before me that they executed the same for the uses and purposes therein mentioned.
WITNESS my hand and official seal of Fort Myers, said County and State this 5th day of August, A.D. 1953.

Genevieve White
Notary Public, State of Florida at Large
My Commission expires June 26, 1957
APPROVALS:
This plat accepted this 5th day of August, A.D. 1953 in open meeting of the Board of County Commissioners of Lee County, Florida.
APPROVED: W. J. Jarabee
Chairman
D. J. Jarabee
Clerk

I HEREBY CERTIFY that this plat of FIRST ADDITION TO ISLAND HARBORS has been examined by me and from my examination I find that said plat complies in form with the requirements of Chapter 10275, laws of Florida, Acts of 1925.
I FURTHER CERTIFY that said plat was filed for record at 11:45 A.M. this 12th day of September, A.D. 1953 and duly recorded in Plat Book No. 9 on page 87 of the Public Records of Lee County, Florida.
D. J. Jarabee
Clerk of the Circuit Court in and for Lee County.

SUBJECT PARCEL

NOTES
PRM's are 4"x4"x24" concrete monuments.
— Indicates average top of bank of canals at time of platting.
Bearings are calculated from those shown on plat of Geary's Addition to Malacha.
Both chord and arc distances are shown on curved lines, where significantly different, with chord bearings.



LEE COUNTY
SOUTHWEST FLORIDA
BOARD OF COUNTY COMMISSIONERS

John E. Manning
District One

Cecil L. Pendergrass
District Two

Larry Kiker
District Three

Tammy Hall
District Four

Frank Mann
District Five

Doug Meurer
Interim County Manager

Andrea R. Fraser
Interim County Attorney

Diana M. Parker
County Hearing Examiner

Writer's Direct Dial Number: 239-410-8269

March 28, 2013

COURT ANDREW J TR FOR ANDREW J COURT TRUST
1740 BRACKET AVE
EAU CLAIRE WI 54701

RE: **NOTICE OF HEARING**

Case#: VIO2013-00812

ADDRESS OF VIOLATION: 11461 ISLAND AVE MATLACHA 33993

STRAP NO.: 24-44-22-07-00000.0460

Dear Property Owner:

Please be advised that a hearing has been scheduled before the Lee County Hearing Examiner with respect to a violation on the above-referenced property contrary to:

No Permit - Lee County Ordinance Section 6-111 adopting the Florida Building Code, as amended, Section 105.1

Violation: Interior remodeling without the required permits.

The date, time and place of this hearing is as follows:

Lee County Hearing Examiner's Office
1500 Monroe Street, Fort Myers, Florida
Date: 05/13/2013
Time: 1:00 p.m.

You are requested to attend this hearing. In defense against the cited violation, you or your representative are entitled to present evidence or argument and cross-examine witnesses. Should you or a representative fail to appear at this hearing, you will be deemed to have waived this right.

Whether or not you are present at this hearing, the Lee County Division of Codes and Building Services will go forward with the presentation of its case in support of the violation cited in the Notice of Code Violation previously received by you. At the conclusion of this hearing, Lee County will request the Hearing Examiner to enter an order finding a violation has occurred and imposing a fine.

If the Hearing Examiner finds you guilty of the violation as cited, a fine of up to \$250 per day may be imposed for each day the violation continues past the date set for compliance. **Upon a finding of violation, the County is entitled to all costs incurred in prosecuting the case. This is in addition to any fine which may be imposed.**

Further, any fine imposed by the Hearing Examiner along with costs incurred by Lee County to prosecute this case will be recorded as a lien against the property referenced above and any other real or personal property you may own. In no event will any liens resulting from this case attach to the personal property or create personal liability against any person who is a debtor in a Bankruptcy proceeding under Title 11 of the United States Bankruptcy Code.

In the event this violation is abated prior to the date set for hearing, it is in your best interest to contact Lee County Code Enforcement and request an inspection of the property to verify same. **However, even if the violation is abated prior to the date set for hearing, Lee County may bring this case forward and seek a finding of violation. Upon a finding of violation, the County is entitled to all costs incurred in prosecuting the case. This is in addition to any fine which may be imposed.**

Please note, you may review your case file with respect to this violation upon reasonable notice to Lee County Code Enforcement located at 1500 Monroe Street, Fort Myers, Florida. You may also contact Code Enforcement with respect to any questions you may have at 239-410-8269.

Paul E. Smith

Paul E. Smith
Code Enforcement Officer

Certified Mail # 7190 1012 5827 4604 9084
DAM

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Modernism and the Recent Past



The significant buildings, landscapes, and sites of the Modern movement and the important architectural, social, and cultural resources of the past 50 years are among the most underappreciated and vulnerable aspects of our nation's heritage. Day by day, a steady campaign of demolition erodes the physical fabric of the recent past, with little consideration of its community importance, design significance, or role in creating a sustainable future. The National Trust for Historic Preservation challenges the nation to change how we view, steward, and preserve the architectural and cultural heritage of the recent past before more landmarks are lost.

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Modernism and the Recent Past Defined

What is Modernism?

In architecture, Modernism is generally defined as a design language with an emphasis on form rather than ornament, structure and materials rather than picturesque constructions, and the rational and efficient use of space.

The Modern movement in architecture in the United States flourished beginning in the 1930s and encompassed individual design movements with their own ways of expressing Modern ideals. These included - but werenot limited to - the International, Expressionist, Brutalist, New Formalist, and Googie movements. Technical innovation, experimentation, and rethinking the way humans lived in and used the designed environment, whether buildings or landscapes, were hallmarks of Modern architectural practice.

While the highest-style examples of Modern architecture in the United States typically date to the early- and mid-20th centuries, the influence of Modernism remained strong in everyday and vernacular design well into the late-20th century.

What is the recent past?

Preservationists typically define the recent past as a moving window encompassing resources constructed or designed in the past 50 years. Federal, state, and local preservation programs typically exclude properties fewer than 50 years old from historic designation programs and review processes. This leaves many historically and culturally significant properties unprotected from demolition or other adverse treatments.



Lee County Property Appraiser

Tax Year

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [Tax Estimator](#) [Tax Bills](#) [Print](#)

Property Data for Parcel 24-44-22-07-00000.0460

Owner Of Record

COURT ANDREW J TR
FOR ANDREW J COURT TRUST
1740 BRACKET AVE
EAU CLAIRE WI 54701

Site Address

11461 ISLAND AVE
MATLACHA FL 33993

Legal Description

ISLAND HARBOR 1ST ADDN
PB 9 PG 87
LOT 46

Classification / DOR Code

SINGLE FAMILY RESIDENTIAL / 01

[Tax Map Viewer]



[Pictometry Aerial Viewer]

Image of Structure



◀ Photo Date December of 2012 ▶



Property Values (2013 TRIM)

Just	125,640
Assessed	125,640
Portability Applied	0
Cap Assessed	125,640
Taxable	125,640
Cap Difference	0

Exemptions

Homestead / Additional	0 / 0
Widow / Widower	0 / 0
Disability	0
Wholly	0
Senior	0
Agriculture	0

Attributes

Land Units Of Measure	UT
Units	1.00
Frontage	51
Depth	68
Total Number of Buildings	1
Total Bedrooms / Bathrooms	2 / 1.0
Total Living Area	917
1st Year Building on Tax Roll	1957
Historic District	No



Taxing Authorities



Sales / Transactions



Building/Construction Permit Data



Solid Waste (Garbage) Roll Data



Flood and Storm Information



Appraisal Details

Land						
Land Tracts						
Use Code	Use Code Description	Depth	Frontage	Number of Units	Unit of Measure	
131	Single Family Residential, Canal	68	51	1.00	Units	
Land Features						
Description				Year Added	Units	
DAVITS - BOAT				1995	1	

SEAWALL - CONCRETE	1995	79
SLAB - CONCRETE	1995	816

Buildings

Building 1 of 1

Building Characteristics

Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
99 - Florida Ranch	1 - single family residential	1.0	2	1.0	1957	1957

Building Subareas

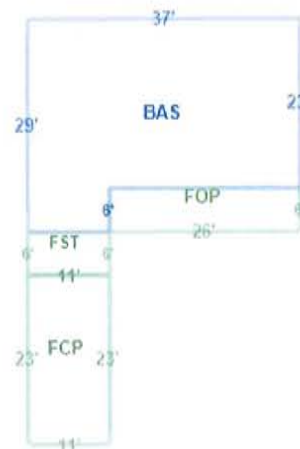
Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	917
FCP - FINISHED CARPORT	N	253
FOP - FINISHED OPEN PORCH	N	156
FST - FINISHED UTILITY	N	66

Building Front Photo



Photo Date : December of 2012

Building Footprint



TRIM (proposed tax) Notices are available for the following tax years
 [[2007](#) [2008](#) [2009](#) [2010](#) [2011](#) [2012](#) [2013](#)]

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