



**LEE COUNTY HISTORIC PRESERVATION BOARD
OLD LEE COUNTY COURTHOUSE
EAST ROOM (2ND FLOOR)
2120 MAIN STREET, FORT MYERS, FL 33901**

**WEDNESDAY, JUNE 19, 2013
10:00 AM**

AGENDA

NOTE: (For public review, back-up materials for the historic designation and special certificate of appropriateness cases will be available at the Pine Island Public Library, 10700 Russell Road NW, Bokeelia, FL 33922 starting June 12, 2013).

- 1. Call to Order/Review of Affidavit of Publication**
- 2. Approval of 5/15/13 Minutes**
- 3. Request to File Historic Designation (change in status from non-contributing to contributing)**
 - A. HDC2013-00001 Claunch, 4819 Pine Island Rd NW, Matlacha, FL 33993**
- 4. Public Hearing on a Historic Designation**
 - A. HDC2012-00004 Over the Waterfront/Safety Harbor Club (Ferry Boat Captain's Bunk House), 44700 Escondido Lane, Captiva, FL 33924**
- 5. Public Hearing on a Special Certificate of Appropriateness (COA)**

***Note:** A summary of the zoning relief requests is provided for informational purposes only. The Lee County Zoning Division will make a determination after the Historic Preservation Board renders its decision.*

 - A. COA2013-00042 Vanwart Residence, 4898 Pine Island Rd NW, Matlacha, FL 33993 - This project entails a minor rehab and installation of a shed.**

The request for Zoning Relief in the C-1 (Commercial) zoning district from the Lee County Land Development Code from:

1. Relief from LDC Section 34-844, which requires a minimum side setback of 15 feet, to allow a 4± foot setback from the western property line to bring the existing structure into compliance.
2. Relief from LDC Section 34-844 and LDC Section 34-2192(a) which requires a minimum street setback of 25 feet, to allow a setback of 14± feet from the southern property line (Pine Island Road right-of-way) to bring the existing structure into compliance and allow construction of a proposed wood deck.
3. Relief from LDC Section 34-844 and LDC Section 34-2194 which requires a minimum 25 foot waterbody setback, to allow a 15± feet setback from the northern property line (man-made canal) to bring the existing wood deck into compliance.

(OVER)

- 6. Review of the National Register Nomination for the Captiva Chapel-By-The-Sea Historic District – 11580 Chapin Lane, Captiva, FL 33924**
- 7. Items by the Public; Committee Members; Staff**
- 8. Next Meeting Date: July 17, 2013**

Any person appealing a decision made at this hearing must ensure a record of the proceedings is made. In accordance with the Americans with Disabilities Act, Reasonable Accommodations will be made upon request. If you are in need of a Reasonable Accommodation or would like additional information, please contact Janet Miller at (239) 533-8583.

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Government's virtual public forum today!

MINUTES REPORT
LEE COUNTY HISTORIC PRESERVATION BOARD
May 15, 2013

MEMBERS PRESENT:

Ruby Daniels	Kevin Williams (Chair)
Marsa Detscher (Vice Chair)	Rae Ann Wessel
James Ink	

MEMBERS ABSENT:

Toni Ferrell
Theresa Schober

STAFF PRESENT:

Janet Miller, Recording Secretary	Gloria Sajgo, Principal Planner
Antia Richards, Planning	

Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication

Mr. Williams, Chair, called the meeting to order.

Ms. Miller, Recording Secretary, noted she had gotten a response from the Attorney's office stating the ad for this meeting was sufficient.

Agenda Item 2 – Approval of Meeting Minutes – February 20, 2013

Dr. Detscher referred to Page 4 of the February 20th meeting minutes and made a few corrections. The two paragraphs she corrected read as follows:

Dr. Detscher brought up an issue ~~where~~ regarding the City of Fort Myers ~~changed a~~ regulations, which enables applicants who received an unfavorable recommendation or action by the Historic Preservation Commission to appeal their case to the City Council. There was recently an appeal, but the City Council did not overturn the Historic Preservation ~~Council's~~ Commission's decision. Instead it was unanimously upheld. She reviewed the case with the Board.

Ms. Ferrell attended a ~~tour at the Koreshan Historic Site; it was amazing and well done.~~ Lee Trust for Historic Preservation event "Making History Memorable" at the Koreshan State Historic Site.

Ms. Wessel made a motion to approve the February 20, 2013 meeting minutes with the above corrections, seconded by Dr. Detscher. The motion was called and passed 5-0.

Agenda Item 3 – Request to File Historic Designation

- A. HDC2012-00004 Over the Waterfront/Safety Harbor Club (Ferry Boat Captain's Bunk House) 44700 Escondido Lane, Captiva, FL 33924**

Ms. Sajgo provided a recap that the LCHPB made a motion to file this designation at the February 20th LCHPB meeting. It is required that a public hearing be held within a certain time frame. Staff did not have any applications to bring forth in March or April and could not see meeting for this item only. Since the applicants were not in a hurry, she brought it forward again today. Ms. Sajgo stated there would definitely be a June LCHPB meeting, so once the LCHPB makes a motion to file the designation again, the public hearing will take place at the June LCHPB meeting.

Dr. Detscher referred to the Designation Report and noted there was a typo under “Name of Property” where it lists the “Historic Name.” It should be “Ferry Boat Captain’s Bunk House” instead of “Ferry Boar Captain’s Bunk House.” Staff stated they would correct this typo.

Mr. Ink made a motion to file it for designation, seconded by Dr. Detscher. The motion was called and passed 5-0.

Agenda Item 4 – Update on the Preservation Plan for Whidden’s Marina in Boca Grande

Ms. Sajgo gave a brief summary of this project, which was followed by Ms. Linda Stevenson who gave a PowerPoint presentation.

Ms. Wessel asked if this zoning issue surfaced as a result of the restoration plan.

Ms. Sajgo stated the owner’s of the Whidden’s Marina have no documentation for some of the structures on the property. Part of the preservation plan is to bring them into compliance. Staff discovered that the Whidden’s Marina was far more out of compliance than was initially anticipated.

Ms. Wessel asked if the owners would get some relief since these structures had been in place for quite some time.

Ms. Sajgo stated they would receive relief, but it is not an automatic process. This preservation plan will save the owners from going through the variance process. Ms. Sajgo also noted this would help them in the process of pulling future permits. Because they are not currently in compliance, it causes a problem any time they have tried to get permits. As a result, they have avoided pulling permits, which has compounded the problem.

During Ms. Stevenson’s presentation, it was mentioned that the owners were not subject to the “Submerged Land Lease.”

Mr. Ink asked if the State issued a disclaimer for that.

Ms. Sajgo stated they received a letter stating the owner’s were not subject to the Submerged Land Lease. They had not received an actual disclaimer. Ms. Sajgo stated she would look into that.

Ms. Wessel referred to the old photograph of the Dance Hall/Restaurant and two-story marina and noted the roof treatments on both buildings.

Mr. Ink noted the roof treatments were an early form of wind protection. The clipped gable roofs were often used in hurricane prone areas.

Ms. Wessel felt some attention should take place concerning Sea Level Rise especially since the County is putting money into resources. As a minimum, it should be put on some type of checklist. She also liked the idea of looking for sustainable uses for these historic structures and felt the cistern was spectacular. She also asked about a surface stormwater plan to show where water is being drained away from going directly into the Bay.

Ms. Stevenson appreciated the suggestion and felt it was something that could be added in as part of this Preservation Plan.

Mr. Ink stated that since we would be documenting everything, he felt we should add something about FWC for vesting of how many slips are on-site. The State has a procedure at FWC where you can use aerial documentation to count the boats over the years to come up with a number. The State issues a letter that says this is the number and that makes it compliant in the Management and Protection Plan of the County.

Ms. Sajgo stated this portion was given to Environment Sciences for handling, but that she would find out if Environmental Sciences received a letter similar to what Mr. Ink described.

Agenda Item 5 - Review and Recommendations for the Historic Preservation Grant Assistance Program

Ms. Sajgo gave a recap and noted the Commissioners had set aside \$50,000 last year to be given to the Estero Historic Society. They also budgeted \$50,000 for the historic preservation grant program. An additional \$26,000 is available because two previous grant recipients had some unexpected personal issues that prevented them from starting on their projects. As a result, both grants lapsed. Both grant recipients felt it was best for them to reapply sometime in the future because currently they still had not gotten these personal issues sorted out. Therefore, rather than extend these contracts, staff decided these funds would be better used by giving them towards other projects.

She reviewed the grant applications and recommendations for the 2012/2013 grant cycle.

While discussing 12/13-2 Girl Scout House at Happehatchee, Dr. Detscher referred to the applicant's narrative and noted they listed the project as "The Girl Scout Girl Scout House." Staff clarified that it should only be listed once as "Girl Scout House."

Dr. Detscher stated she recalled seeing a notice of an event taking place at this site.

Ms. Sajgo stated they had worked with the Building Department so that they would allow the event since it was already scheduled. The Happehatchee Center provided handicapped port-a-potties on the site and there was no access to the Girl Scout House.

While discussing 12/13-3 Lewis House, questions came up about work for the roof and windows and whether it was on-going.

Staff stated this work was on-going but that it was the property owner's goal to have it done in time for the rainy season.

While discussing the Special Project (Whidden's Marina), Ms. Wessel asked if the facility would remain open to the public since it was a working waterfront. Staff confirmed that it would remain open to the public.

Ms. Wessel asked if this special project would be to fund the work presented earlier today by Ms. Stevenson.

Ms. Sajgo stated that would not be the case. The Special Project would be funding the western portion which is the industrial area.

Discussion took place on whether or not Ms. Stevenson would be hired to work on this project.

Ms. Sajgo stated that, although it would make sense to have Ms. Stevenson handle the project, it would ultimately be up to the owners as to who they wish to hire.

Mr. Williams opened this item (Review and Recommendations for the Historic Preservation Grant Assistance Program) for public comment.

Ms. Genelle Grant, representing the Girl Scout House at Happehatchee, stated they had taken care of the ADA requirements, parking, and widening of the driveway which involved cutting down several trees. In addition they passed inspection and the Fire Marshall signed off on their work yesterday. She thanked staff and the LCHPB for their help and guidance.

Ms. Wessel made a motion to accept the grant funding recommendations as presented by staff, seconded by Dr. Detscher. The motion was called and passed 5-0.

Agenda Item 6 – Items by the Public; Committee Members; Staff

Public – None

Committee Members

Mound Key

Mr. Ink stated he had gone to Mound Key last week and felt it was very educational. He had not been to this area until now.

Dr. Detscher announced that Lee Trust for Historic Preservation was working on putting together a Community Support Organization (CSO) for Mound Key because Mound Key State Archaeological Park has no citizen support, no state funding, and no state support.

Mr. Ink asked if there was any potential for acquiring the goat parcel (owned by the McGee Family).

Dr. Detscher stated the State recognized the impact the goats have and are concerned about it. The first step is to create the organization to funnel that interested support. After that, they will work on the organizational structure and then reach out.

Proclamation for Tuesday, 5/21/13

Dr. Detscher announced that the Library System initiated a process whereby they put a proclamation on the County Commission's agenda for next Tuesday morning recognizing the Viva Florida Celebration of 500 years (the initial settlement/discovery of Florida). She noted there were 30 organizations, boards, and entities throughout the county that will be part of this proclamation process including the Historic Preservation Board. Dr. Detscher agreed to attend on behalf of the LCHPB.

Proclamation – City of Fort Myers

Dr. Detscher stated that Monday evening, 5/20/13, the City of Fort Myers City Council will consider a proclamation regarding Historic Preservation Month. She noted that neither the Florida or National Trust for Historic Preservation Board had recognized Historic Preservation month this year.

Future Events

Dr. Detscher asked that if anyone became aware of an upcoming event to forward information about it to her and she would post it on the Lee Trust site.

Staff - None

Agenda Item 7 – Next Meeting Date: June 19, 2013

Ms. Sajgo stated the next Lee County Historic Preservation Board was scheduled for Wednesday, June 19, 2013.

Dr. Detscher made a motion to adjourn, seconded by Ms. Wessel. The meeting adjourned at 11:30 a.m.

MEMORANDUM

FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
DIVISION OF PLANNING

DATE: May 3, 2013

TO: Lee County HPB

FROM: Gloria M. Sajgo, AICP
Principal Planner

RE: 2012/2013 Historic Preservation Grant cycle

\$76,000 -- Total amount available for the 2012/2013 grant assistance program.

- \$50,000 – budgeted by the Board of County Commissioners
- \$26,000 -- amount of unspent grant funds carried over from last year. Two 2011/2012 grant recipients encountered serious personal problems that prevented them from starting their grant projects. Staff had several conversations with them and it became apparent that even if their grants were extended it was uncertain if and when they could start on their preservation projects. As a result the contracts for both of these grants lapsed; the dollar amount of the contracts became unencumbered and was carried over to this year for a total of \$26,000. (The two subject grants are: 11/12 -5 Eells -- awarded \$25,000 and 11/12 -3 Johnson (Centurion House) awarded \$1,000)

Funding Request for FY 2012-2013 Lee County Historic Preservation Grant Program

Project Number	Project Name / Address	Location	Grant Application			Staff Recommendation
			Total Cost	Matching Share	Grant Request	
12/13 - 1	Island House - 14990 Binder Dr. Captiva, FL 33924	Captiva	66,725	33,363	33,363	11,375
12/13 - 2	Girl Scout House at Happehatchee- 8791 Corkscrew Rd. Estero 33928	Estero	130,546	101,046	29,500	29,500
12/13 - 3	Lewis House - 15751 N. River Rd. Alva, FL 33920	Alva (Telegraph Creek)	45,000	25,000	20,500	10,250
12/13 - 4	Reed House - 17260 Julia St. Alva, FL 33920	Alva	28,300	14,150	14,150	7,075
12/13 - 5	Minor Cottage at Reed's- 17260 Julia St. Alva, FL 33920	Alva	16,200	8,100	8,100	4,050
12/13 - 6	Shird - 23110 Roundtree Alva, FL 33920	Alva	incomplete - no information	incomplete - no information	incomplete - no information	incomplete - no information supplied
12/13 - 7	Sierra - 14891 Old Olga, Ft Myers 33905	Olga	15,500	7,500	8,000	7,750
12/13 - 8	Spicer Cottage 8146 Main St. Bokeelia, FL 33922	Bokeelia (Pine Island)	30,950	15,950	15,000	0
	Total		333,221	205,109	128,613	70,000

Project	Special Project Name / Address	Location	Grant Application			Staff Recommendation
			Total Cost	Matching Share	Grant Request	
Special Project	Whidden's Marina 190 First St. E. Boca Grande, FL 33921	Boca Grande	12,000	6,000	6,000	6,000

Grand Total	\$ 345,221.00	\$ 211,108.50	\$ 134,612.50	\$ 76,000.00
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MEMORANDUM

FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
DIVISION OF PLANNING

DATE: June 6, 2013

TO: Lee County HPB

FROM: Gloria M. Sajgo AICP
Principal Planner

RE: HDC 2013-00001 Claunch 4819 Pine Island Rd NW Matlacha Fl 33993 – This designation petitions a change in status for a property in the Matlacha Historic District from non-contributing to contributing

The owners of the subject property STRAP 24 44 22 01 00003 0250 asked staff to review the status of the subject property in the Matlacha Historic District HD 90 10 01 and consider their request for a change from noncontributing to contributing.

Staff has reviewed the property and on the basis of the attached documentation, staff recommends the LCHPB vote to file the attached designation and direct to public hearing a change in status from non-contributing to contributing for the subject property.

Sections 22-205 and 206 of Chapter 22 Historic Preservation authorize the Lee County Historic Preservation Board to take action to change the status of a property.

- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
 - (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
 - (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
 - (5) A property primarily commemorative in nature if design, age, tradition or symbolic value have invested it with its own historical significance.
 - (6) A building, structure, site or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.
- (Ord. No. 88-62, § 7D, 12-21-88)

Sec. 22-205. Removal of designation or change in status.

The removal of a historic resources designation or the change in a designation from contributing to non-contributing property (or the reverse) in a designated district may be initiated in one of three ways: (a) by written petition of the property owner; (b) by majority vote of the historic preservation board; or, (c) at the request of the Board of County Commissioners.

- (1) *Removal of designation or change in status initiated by owner.* The owner must file a written petition for removal of designation or change in status. The petition must state with specificity the reason for the request and include sufficient information to support investigation of the property in response to the request. The complete petition or subsequently requested report will be presented to the historic preservation board for action. At that time the historic preservation board may:
 - (a) accept a removal of designation petition and direct it to public hearing;
 - (b) direct that a removal of designation report be prepared by either the staff or the applicant for consideration by the board;
 - (c) reject a report submitted and state the specific reasons for the rejection; or,
 - (d) deny the removal of designation petition and state the reasons for denial.

Notice must be provided in accord with section 22-207 prior to action under this section.

- (2) *Removal of designation or change in status initiated by historic preservation board or Board of County Commissioners.* The historic preservation board has the authority to direct staff to prepare a removal of designation or change in status report based upon a recommendation of County staff, a request from the historic preservation board or direction by the Board of County Commissioners. Once completed, the requested report will be considered by the historic preservation board at a duly noticed meeting.

(Ord. No. 09-23, § 6, 6-23-09)

Sec. 22-206. Removal of designation or change in status report.

Action by the historic preservation board to accept a removal of a historic resource designation or the change in status from contributing to non-contributing property (or the reverse) must be based upon a report prepared in accord with this section. The report must be in writing and provide specific and detailed information as to why the historic designation applicable to the property should be removed or changed from contributing to non-contributing (or the reverse).

Removal of a historic resource designation or the change in status from contributing to non-contributing property (or the reverse) is appropriate only if the subject property no longer meets the criteria set forth in section 22-204 for the applicable designation.
(Ord. No. 09-23, § 6, 6-23-09)

Sec. 22-207. Notice; action by board; recording.

- (a) *Notice to owner.* A notice to the property owner must be filed in accord with section 22-203(1).
- (b) *Notice of public hearing.* The county will provide written notice regarding the public hearing in accord with section 22-203(2).
- (c) *Decision deadlines.* After review of the report, the historic preservation board must take action in accord with section 22-203(3).
- (d) *Recording.* The board's written decision must be recorded as set forth in section 22-203(4).
(Ord. No. 09-23, § 6, 6-23-09)

Secs. 22-208—22-240. Reserved.

ARTICLE IV. MAINTENANCE AND REPAIR OF PREMISES

Sec. 22-241. Ordinary maintenance and repair.

Nothing in this chapter shall be construed to prevent or discourage the ordinary maintenance and repair of the exterior elements of any historic resource or any property within a designated historic district when such maintenance and repair do not involve a change of design, appearance (other than color) or material, and do not require a building permit.
(Ord. No. 88-62, § 9A, 12-21-88)

Sec. 22-242. Correction of deficiencies generally.

When the historic preservation board determines that the exterior of a designated historic resource, or a contributing property within a designated historic district, is endangered by lack of ordinary maintenance and repair, or that other improvements in visual proximity of a designated historic resource or historic district are endangered by lack of ordinary maintenance, or are in danger of deterioration to such an extent that it detracts from the desirable character of the designated historic resource or historic district, the historic preservation board may request appropriate officials or agencies of the county government to require correction of such deficiencies under the authority and procedures of applicable ordinances, laws and regulations.
(Ord. No. 88-62, § 9B, 12-21-88)

Sec. 22-243. Unsafe structures.

If the building official determines that any designated historic resource or contributing property is unsafe pursuant to the provisions of the applicable county ordinances, the building official will immediately notify the historic preservation board by submitting copies of such findings. Where appropriate and in accordance with applicable county ordinances, the historic preservation board shall encourage repair of the building or structure rather than demolition. The building official will, in these instances, take into consideration any comments and recommendations made by the historic preservation board. The historic preservation board may also endeavor to negotiate with the owner and interested parties, provided such actions do not interfere with procedures established in the applicable ordinances.
(Ord. No. 88-62, § 9C, 12-21-88)



HISTORIC PRESERVATION PROGRAM DESIGNATION REPORT FORM AND/OR APPLICATION

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

Date Filed:	June 19, 2013	FSF No.		Designation No.	HDC 2013-00001 Change in status from non-contributing to contributing in the Matlacha Historic District HD90-10-01
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This form is for use in nominating or requesting determinations of eligibility for individual properties or districts pursuant to Lee County Land Development Code, Chapter 22, Historic Preservation.

Name of Property

Historic Name: Claunch

Other Names/Site Number: Fitzwater

Location

Street & Number: 4819 Pine Island Rd

City, State, Zip: Matlacha Fl 33993

STRAP Number: 24 44 22 01 00003 0250

Classification

Ownership of Property	Category of Property	Number of Resources within Property		
		Contributing		Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	1	building(s)	
<input type="checkbox"/> public-local	<input type="checkbox"/> district		sites	
<input type="checkbox"/> public-state	<input type="checkbox"/> site		structure	
<input type="checkbox"/> public-federal	<input type="checkbox"/> structure		objects	
	<input type="checkbox"/> objects	1	TOTAL	

Official Actions

Date of Petition for Designation: June 19, 2013

Date Designation Report filed with Historic Preservation Board: June 19, 2013

Date of Historic Preservation Board's written Resolution: _____

Resolution Number: _____

Date Designation was recorded: _____

Initiated by: _____

Designation

☐ Individual Historic Resource

☐ Individual Archaeological Site

☒ Historic District Change in status from non-contributing to contributing

☐ Archaeological Zone

☐ Archaeological District

Staff Recommendation:

Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation and direct to public hearing a change in status in the Matlacha Historic District for the subject property from non-contributing to contributing.

Statement Attached		ATTACHMENTS
YES	NO	
		Designation Report for Individual Buildings or Sites per Lee County Land Development Code (LDC) Chapter 22 Historic Preservation
X		LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.
X		Photographs (3"x5" or larger)
X		LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but no limited to period of significance, significant dates, cultural application, architect/builder, significant person.
X		LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.
X		LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.
X		LDC - Sec. 22-202 (1) e - A location map, showing relevant zoning and land use information. Map attached
X		LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Applicable Criteria (check all that apply)

Section 22-204(a)	<input checked="" type="checkbox"/> 1	<input type="checkbox"/> 2	<input checked="" type="checkbox"/> 3	<input checked="" type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(b)	<input type="checkbox"/> 1	<input checked="" type="checkbox"/> 2	<input checked="" type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(c)	<input checked="" type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(d)	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(e)	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5

Lee County Land Development Code (LDC)**Chapter 22 - Sec. 22-204. Criteria for Designation.**

(a) Significance generally. The historic preservation board shall have the authority to designate historic resources based upon their significance in the county's history, architecture, archaeology or culture, or for their integrity of location, design, setting, materials, workmanship, or associations, and because they:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric, or architectural history that have contributed to the pattern of history in the community, the county, southwestern Florida, the state, or the nation;
- (2) Are associated with the lives of persons significant in our past;
- (3) Embody the distinctive characteristics of a type, period, style, or method of construction or are the work of a master; or possess high artistic value or represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded or are likely to yield information on history or prehistory; or
- (5) Are listed or have been determined eligible for listing in the National Register of Historic Places.

(b) Historical or cultural significance. A historic resource shall be deemed to have historical or cultural significance if it is:

- (1) Associated with the life or activities of a person of importance in local, state, or national history;
- (2) The site of a historic event with a significant effect upon the town, county, state, or nation;
- (3) Associated in a significant way with a major historic event;
- (4) Exemplary of the historical, political, cultural, economic, or social trends of the community in history; or
- (5) Associated in a significant way with a past or continuing institution which has contributed substantially to the life of the community.

(c) Architectural or aesthetic significance. A historic resource shall be deemed to have architectural or aesthetic significance if it fulfills one or more of the following criteria:

- (1) Portrays the environment in an era of history characterized by one or more distinctive architectural styles;
- (2) Embodies the characteristics of an architectural style, period, or method of construction;
- (3) Is a historic or outstanding work of a prominent architect, designer, or landscape; or
- (4) Contains elements of design, detail, material, or craftsmanship which are of outstanding quality or which represented, in its time, a significant innovation, adaptation or response to the south Florida environment.

(d) Archaeological significance. A historic resource shall be deemed to have archaeological significance if it meets one or more of the following criteria:

- (1) There is an important historical event or person associated with the site;
- (2) The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;
- (3) The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;
- (4) The site was the location of historic or prehistoric activities during a particular period of time; or
- (5) The site maintains a sufficient degree of environmental integrity to provide useful archaeological data. Such integrity shall be defined as follows:
 - a. The site is intact and has had little or no subsurface disturbance; or
 - b. The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information.

(e) Properties Not generally eligible. Properties not generally considered eligible for designation include cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, buildings or sites primarily commemorative in nature, reconstructed historic buildings, and properties that have achieved significance less than 50 years prior to the date the property is proposed for designation. However, such properties will qualify if they are integral parts of districts that do meet the criteria described in this section or if they fall within one or more of the following categories:

- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
- (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
- (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
- (5) A property primarily commemorative in nature if design, age, tradition, or symbolic value have invested it with its own historical significance.
- (6) A building, structure, site, or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.

LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.

The subject property is located in the Matlacha Historic District HD 90 10 01. It is located at 4819 Pine Island Rd NW in Matlacha. The house is built on the Pine Island Fill Subdivision on Block 3 lot 25 (w 40 ft). The lot is rectangular shaped -- roughly 100-ft by 40-ft -- and straddles both land and water (Matlacha Bay). The land portion of the lot is only roughly 60-ft by 40ft. The lot has roughly 40-ft frontage along Pine Island Rd.

The building is very small and typical of the diminutive cottages on Matlacha. The building's footprint is roughly 1286 sq ft.—including 246 sq ft for the garage. The building is rectangular in shape with roughly 29-ft along the front and rear and roughly 44 ½ ft along the sides. From grade to roof peak it is about 12-ft high.

This small frame vernacular building features horizontal vinyl siding and both metal and composition (flat) roofs. The exterior windows and doors and the location of these windows and doors do are not original to the house or historically or architecturally accurate. The house features two principal wings, both clearly visible from the front and the rear elevations; one is under a metal roof and the other under a flat roof. The metal roofed wing is roughly 17-ft wide and features a small side gable roof with a small shed roof in front and a larger, expansive shed roof at the rear. To the right (south) is the flat roofed wing that is roughly 12-ft wide and houses a garage at the front and additional living area at the rear.

The front elevation features:

- an enclosed shed roofed porch that with two narrow rectangular windows located high up and towards the left corner of the building and
- a single car garage with a flat roof.

The rear elevation features:

- centered under the metal roofed wing a pair of French doors flanked by oversized 1/1 windows and
- under the flat roof wing is a pair of narrow, rectangular windows, located high up the wall.

The rear elevation opens to a wide (roughly 15-ft wide) deck, a dock and to a majestic view of Matlacha Bay.

While visually the house is broken into these two main wings (metal roofed and flat roofed), the building is more complex than it appears. The form and design of the building are additive so the building appears to have had a series of additions and changes over the course of years. The building likely acquired its current form over a period of time. Originally the building was a cottage with a side gable roof and shed roofed porch at the front—though even the porch might have been added later.

Eventually the original small metal roofed cottage was expanded by

- extending rear side gable eave of the cottage in expansive shed roofs over additional living areas at the rear of the original cottage.
- adding a narrow flat roofed wing for a garage at the front and additional living space at the rear on the south side, (next to the original cottage)

Like many of the contributing structures located in the Matlacha Historic District this house is a wood frame house built in the vernacular architectural style. The vernacular refers to construction using local materials and labor, usually without the benefit of plans, and built at the most economical price at the time.

LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.

Historically Matlacha is a fishing village that was established in the 1930s when squatters built houses along the causeway that was created to build bridges linking the mainland to Pine Island. Eventually the houses gained homestead rights and title to the land. The story of how squatters moved onto the land created to build the bridges was the inspiration for Richard P. Powell's book (published in 1959) *Pioneer, Go Home!*, which was later adapted into the movie (1962) *Follow that Dream*, starring Elvis Presley.

The subject parcel is in the Pine Island Fill Subdivision which was platted in 1947 and recorded in 1949 (Plat Book 8 page 86 – attached). The parcel is on Block 3 and lot 25 (w 40 ft). The Lee County Property Appraiser shows that the first year on the tax roll was 1950. Due to the poor condition of the early deeds in the public records, it is hard to establish with certainty the first owners of the property. However this property is associated most closely with the Fitzwater family, whose members owned the house from 1958 to 1996. In August 27 1958 Stanley P Fitzwater and his wife Mary E Fitzwater purchased the property and owned it until April 20 1982 when they quit claimed it to Steve W. Fitzwater and Deborah S. Bell, as joint tenants with right of survivorship. In February 24, 1952 Steven Fitzwater a single person and Deborah S. Bell a married woman transferred the property to Steven W. Fitzwater a single person. In May 15 1996 Steven Fitzwater transferred the property to Mark T Teagan and Tracey W. Teagan. While no more information is available at this time on the Fitzwater family, it is possible that since this family owned the property in Matlacha for such a long time, information might become available in the future.

This small vernacular cottage is typical of the cottages in the Fishing Village of Matlacha. Due to the constraints of building upon a narrow strip of fill, this building like many other historic cottages in Matlacha is of a uniquely small scale. These informally built and densely configured cottages with spectacular waterfront views are now relatively rare examples of a vernacular fishing cottage in Florida due to the building boom that started in the 1960s soon altered the traditional architecture styles. Without doubt the subject cottage could not be built as a new structure under current building and land development regulations.

LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site including any potential threats or other circumstances that may affect the integrity of the building, structure, of site

The main threat to the building is its noncontributing status in the district. As a noncontributing structure, per FEMA regulations no more than 50% of the value of the building can be spent on its rehabilitation. Because the building value is low and the amount of work to be done is substantial, the building cannot be rehabilitated as a noncontributing building. Instead of being rehabilitated, the building would have to be torn down and a new building that complies with modern regulations built in its place. Only changing the building status to contributing would allow the rehabilitation and preservation of the existing building.

The building is stable but needs to be rehabilitated; the structural integrity of some of the additions is questionable and the interior finishes have been removed. The building does not comply with setbacks and in some instances is impractically close to the property line i.e. in one area the front of the building is setback roughly 3-inches from the front property line.

LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals

The owners are requesting that the status of the building be changed from non-contributing to contributing so they might rehab the building and continue to use it as residential cottage with relatively small changes. The owners have provided copies of the proposed changes.

- The horizontal vinyl siding would be replaced with horizontal wood siding, which is the building's original exterior finish.
- The metal and flat roofed wings would be combined under one larger metal roof. At the rear elevation the flat roof and metal shed roofs would be replaced by one large a rear facing gable roof that would intersect with the original cottage's side gable roof. The flat roof over the garage would be replaced by a low pitched partial hip roof that would tie in with the proposed new large roof at the rear. On the front elevation the original cottage's side gable roof and the shed roof over the former front porch still would be visible.
- The building height would increase slightly to accommodate a modern lifestyle; i.e. from grade to highest roof peak the increase is from roughly 12-ft 3 in to 12-ft 9-in.
- The size of the building would be increased slightly. The total square footage of the building would be increased by roughly 231 sq ft from roughly 1286 square ft to 1517 square ft by the addition of screened lanai at the rear.
- On the front elevation the proposal keeps the side gable roof of the original little cottage and the shed roof over the former front porch (which would continue to be enclosed as the traffic noise makes it impractical to have a front porch). The garage would be preserved where it is.
- The rear elevation would feature a new rear facing gable roof over the proposed lanai. Two pairs of French Doors would open from the main house onto to the lanai.
- The proposal would also relocate the building on the site so the building would no longer be at an angle and the front of the building would be roughly 1-ft from the front property line (now the building is roughly 3-in from the front property line).

LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Staff recommends that the LCHPB change the status of the subject house from noncontributing to contributing. When the district was put in place the in 1990 this building with its first tax year identified as 1950 would have been considered to be 40 years and hence labeled as noncontributing. The district has been in place for 23 years now and the building is now roughly 63 years old. So its current age in 2013 is well beyond the 50 year rule of thumb used for determining whether a building is historic.

The mass, scale, style and height of the subject building are in keeping with those of other buildings in the Matlacha Historic District. If the building status is not changed, the proposed rehabilitation will not be permitted and as a result the owners would have to demolish the current building and build a new taller building which will have to comply with modern codes.

Staff also notes that the proposed changes preserve the mass, scale and height of the original building. Additionally the some of the original materials are also preserved: such as the metal roof and the installation of horizontal wood siding to replace the existing vinyl siding.

HDC2013 00001 Claunch

4819 Pine Island Rd



Fri Jun 7 2013 04:41:43 PM.

SUBJECT PARCEL APPROX LOCATION

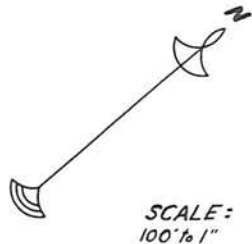
HDC2013 00001 Claunch

4819 Pine Island Rd



Fri Jun 7 2013 04:36:08 PM.

SUBJECT PARCEL

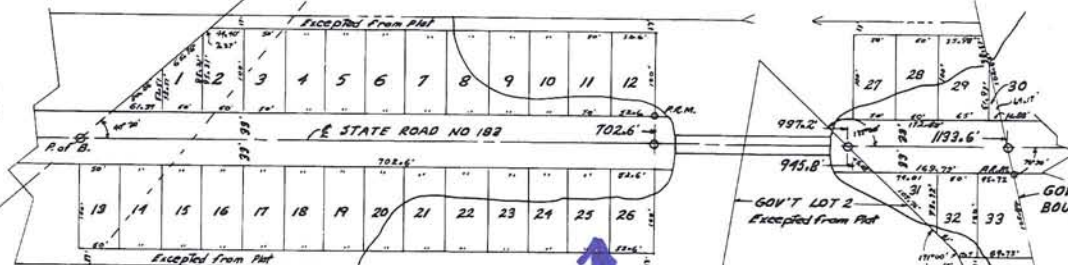


STATE OF FLORIDA, COUNTY OF LEE
FILED FOR RECORD
THIS 10th DAY OF JULY 1948
RECORDED IN BOOK 1000
PAGE 1000
BY J. J. JAMES, CLERK OF COUNTY

PLAT OF THE PINE ISLAND FILL SUBDIVISION

SEC. 24, TP. 44S, R22E

POINT OF BEGINNING: THE
POINT OF INTERSECTION OF
THE WEST BOUNDARY OF SEC.
24, TP. 44S, R22E; WITH THE
CENTER LINE OF STATE ROAD
NO. 183, BEING 1050.4' N
OF THE SW COR. OF SEC. 24



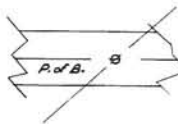
BLOCK NO. 3

ON LITTLE PINE ISLAND AND A PART OF WEST ISLAND

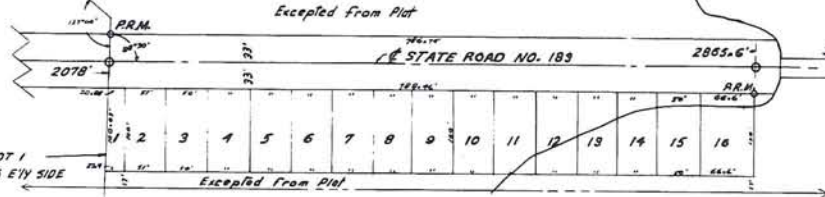


GOVT SURVEY
MEANDER B'D OF
LOT 9, SEC. 24

BOUNDARIES OF
RIGHT OF WAY



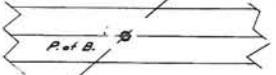
BY GOVT LOT 1
'ISLAND' ON ITS ELY SIDE



BLOCK NO. 2

ON WEST ISLAND

CENTER OF
DRAWBRIDGE OVER
MATLACHA PASS

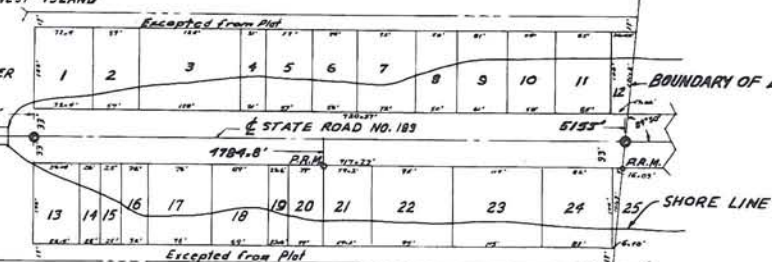


DESCRIPTION OF LAND

That land in Sec. 24, Tp. 44S, R22E that lies 1394' N or 1394' S
the following line, to wit, a line beg. at a pt. 1050.4' N of the SW cor. of Sec.
24, running easterly a dist. of 5153' ft., along the center of State Rd.
Except, 394' N & S of this line along its entire length; except Porpoise
Is., and except those Gov't Lots 1 & 2 on West Island, and except
and which beg. at a pt. 2078' Ely of the R.O.B., thence N'ly along the E line of
lot 1, thence along the Shore of West Island, thence W'ly along the Center of the Rd.
to B.

BLOCK NO. 1

ON MAINLAND



I, Nathan Mayo, Commissioner of
Agriculture of the State of Florida,
hereby certify that, as such officer,
I am the legal custodian of the re-
corded and unrecorded maps relating
to the Public Land of the State and
to all patents and approved lists
issued by the United States of America
to the State of Florida of all lands
granted to the State under the several
Acts of Congress; and

Pursuant to Section 92.13, I
Further certify that the title to
the lands shown on this plat and
according to the records of this
office is on this 10th day of July,
1948, in the hands of the
Internal Revenue Service of the
State of Florida; all of which is
shown by the records on file in this
office and in my custody as afore-
said.

IN TESTIMONY WHEREOF, I have
hereunto set my hand officially,
and have caused to be affixed hereto
the seal of the DEPARTMENT OF AGRICULTURE
OF THE STATE OF FLORIDA,
at the Capitol, in the City of Tallahassee,
on this 10th day of July,
A. D. 1948.

Nathan Mayo
Commissioner of Agriculture

CERTIFICATE OF JURY

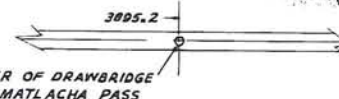
I, THE UNDERSIGNED, HEREBY CERTIFY
THAT THE PLAT AS SHOWN IS A CORRECT
REPRESENTATION OF THE LAND SURVEYED, AND
THAT PERMANENT REFERENCE MARKERS
HAVE BEEN PLACED AS SHOWN.

STATE REGISTRATION NOS. ENGR. #701
L. S. #336

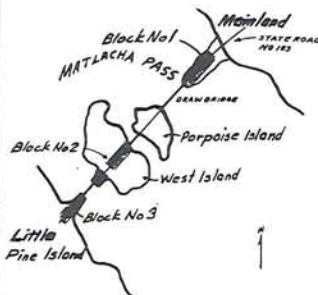
ACCEPTANCE OF PLAT

THIS PLAT ACCEPTED THIS 7 DAY
OF JULY, A.D., 1948, IN OPEN MEETING OF
THE BOARD OF COUNTY COMMISSIONERS,
LEE COUNTY, FLORIDA.

Chairman
Clerk



SKETCH SHOWING THE RELATIVE LOCATIONS OF THE BLOCKS IN THE SUBDIVISION



Not to Scale

HDC 2013 00001 Claunch



Subject Building: Front (west) elevation on Pine Island Rd.



Subject Building: Detail of the metal roofed and flat roofed wings making up the front elevation

HDC 2013 00001 Claunch



Subject building
Side (north) left



Subject Building: Rear
(east) elevation
by Matlacha Bay .

HDC 2013 00001 Claunch



Subject Building: Interior finishes have been removed exposing support systems



Subject Building -- enclosed porch area: exterior horizontal wood siding is visible



Subject property interior of the roof area at the rear – this rear roof area was probably a separate addition

HDC 2013 00001 Claunch



Adjoining property
to the south (right)
front elevation --



Adjoining property
to the south (right)
rear elevation

HDC 2013 00001 Claunch



Adjoining property to
the north (left) front
elevation --



Adjoining property to
the north (left) rear elevation --



Lee County Property Appraiser

Tax Year
[Next Lower Parcel Number](#)
[Next Higher Parcel Number](#)
[Tangible Accounts](#)
[Tax Estimator](#)
[Tax Bills](#)
[Print](#)

Property Data for Parcel 24-44-22-01-00003.0250

Owner Of Record

CLAUNCH ALAN + CHRISTINE
7232 HENDRY CREEK DR
FORT MYERS FL 33908

Site Address

4819 PINE ISLAND RD NW
MATLACHA FL 33993

Legal Description

PINE ISLAND FILL SUBD
BLK 3 PB 8 PG 86
W 40 FT LOT 25

Classification / DOR Code

SINGLE FAMILY RESIDENTIAL / 01

[Tax Map Viewer]



Image of Structure



◀ Photo Date December of 2012 ▶

[Pictometry Aerial Viewer]

Property Values (2012 Tax Roll)

Just	173,251
Assessed	173,251
Portability Applied	0
Cap Assessed	173,251
Taxable	173,251
Cap Difference	0

Exemptions

Homestead / Additional	0 / 0
Widow / Widower	0 / 0
Disability	0
Wholly	0
Senior	0
Agriculture	0

Attributes

Land Units Of Measure	UT
Units	1.00
Frontage	0
Depth	0
Total Number of Buildings	1
Total Bedrooms / Bathrooms	3 / 1.0
Total Living Area	1,065
1st Year Building on Tax Roll	1950
Historic District	Yes



Taxing Authorities



Sales / Transactions



Solid Waste (Garbage) Roll Data



Flood and Storm Information



Appraisal Details

Land					
Land Tracts					
Use Code	Use Code Description	Depth	Frontage	Number of Units	Unit of Measure
121	Single Family Residential, Bay, Sound, Harbor, Pass	0	0	1.00	Units
Land Features					
Description			Year Added	Units	
PIER - RESIDENTIAL			1998	188	
SEAWALL - CONCRETE			1959	40	

Buildings**Building 1 of 1****Building Characteristics**

Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
97 - Cottage/Bungalow	1 - single family residential	1.0	3	1.0	1950	1965

Building Subareas

Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	1,065
FGR - FINISHED GARAGE	N	240
STP - STOOP	N	732

Building Front Photo**Photo Date : December of 2012****Building Footprint**

TRIM (proposed tax) Notices are available for the following tax years
 [[2007](#) [2008](#) [2009](#) [2010](#) [2011](#) [2012](#)]

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [New Query](#) [Search Results](#) [Home](#)



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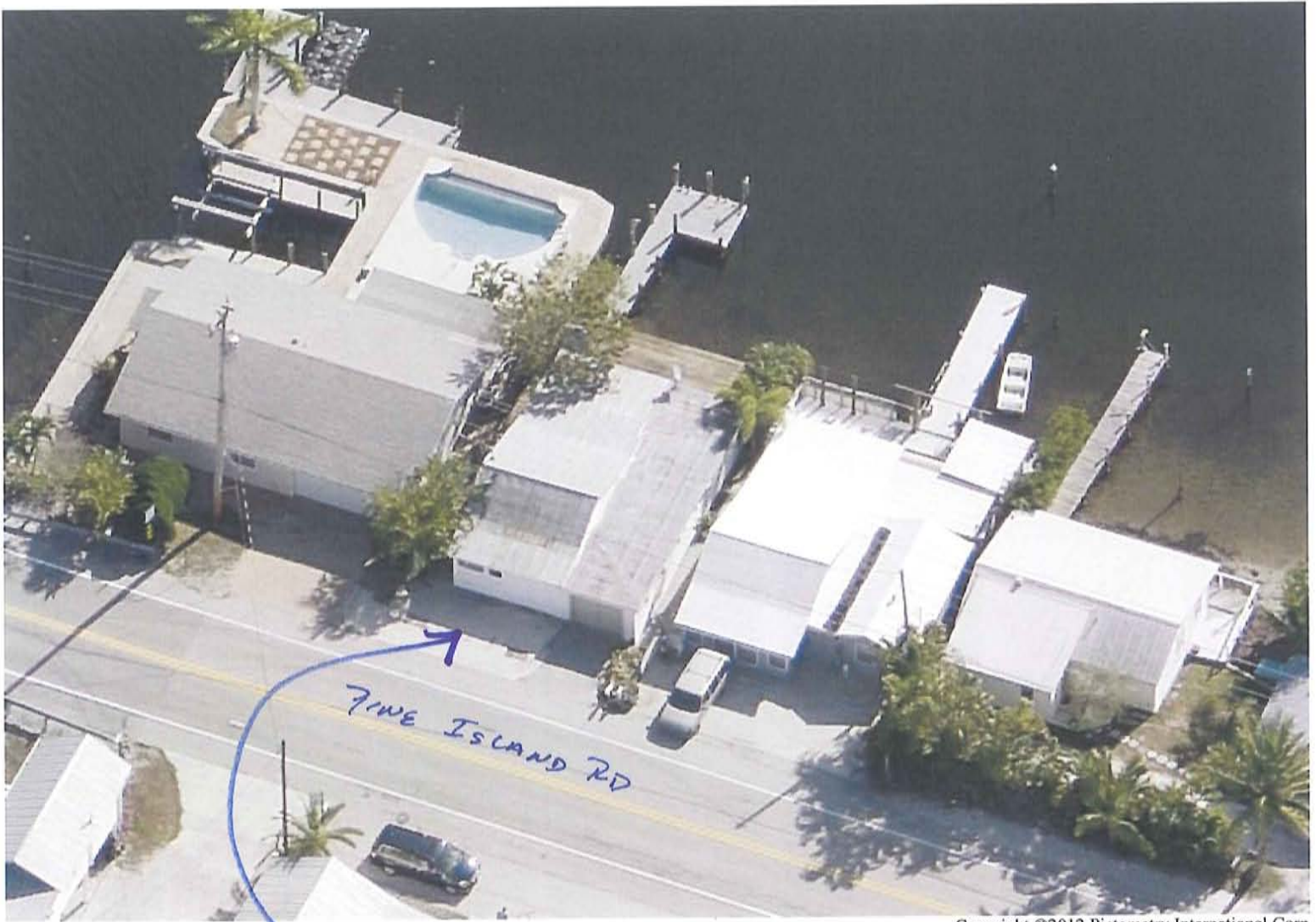
SUBJECT STRUCTURE



Copyright ©2012 Pictometry International Corp.

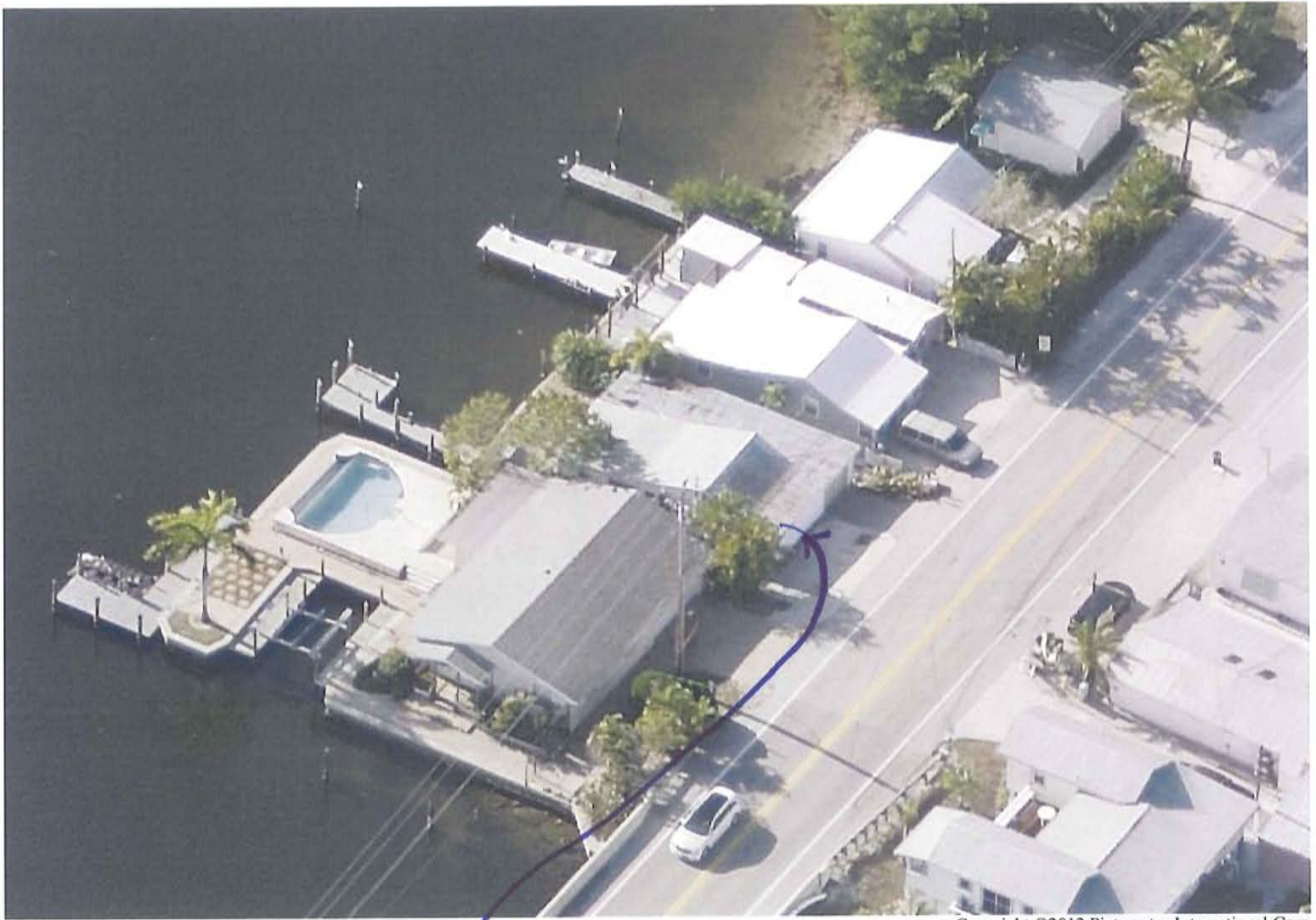
N
↓

SUBJECT STRUCTURE



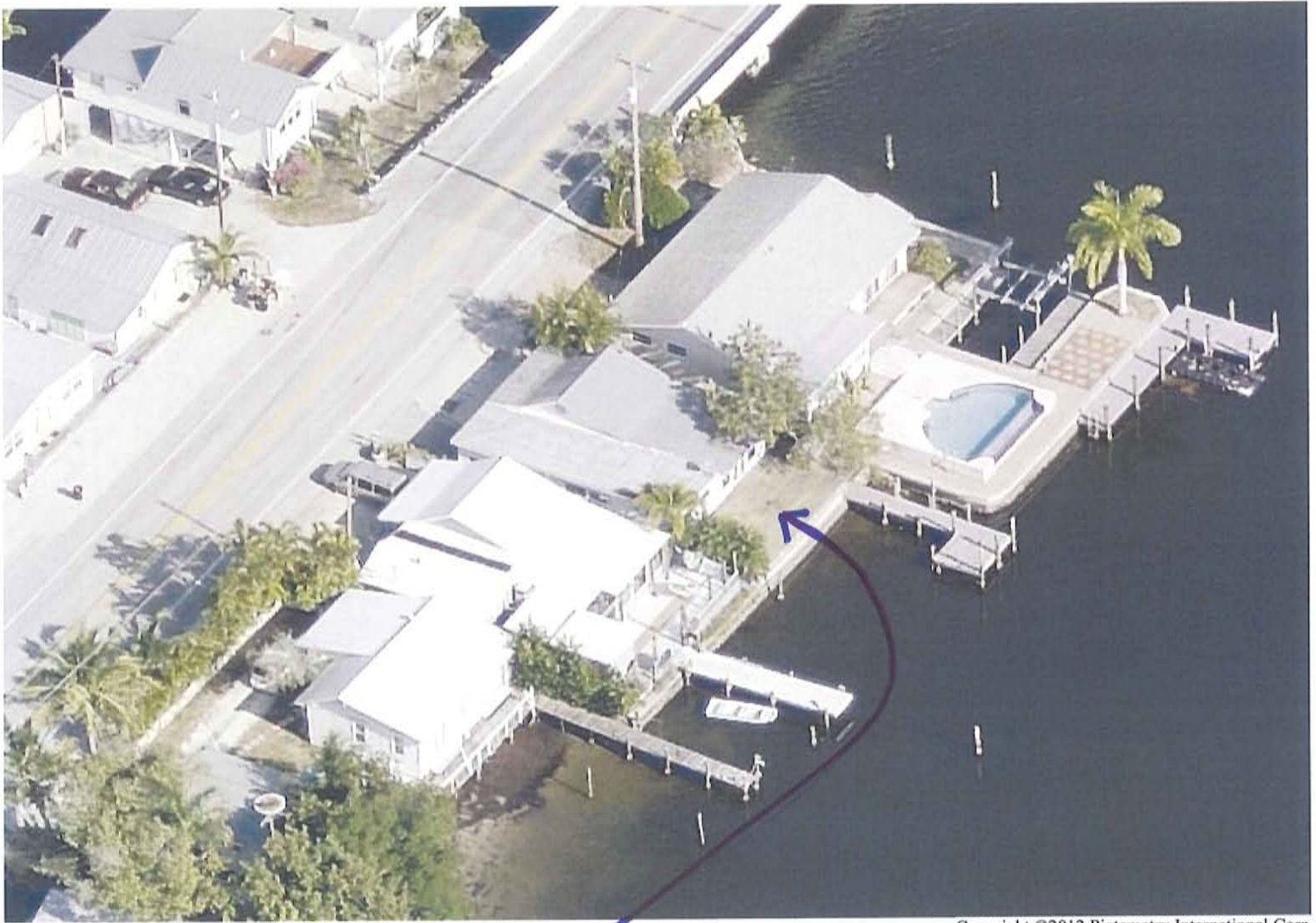
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WEST FRONT ELEVATION



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SUBJECT STRUCTURE



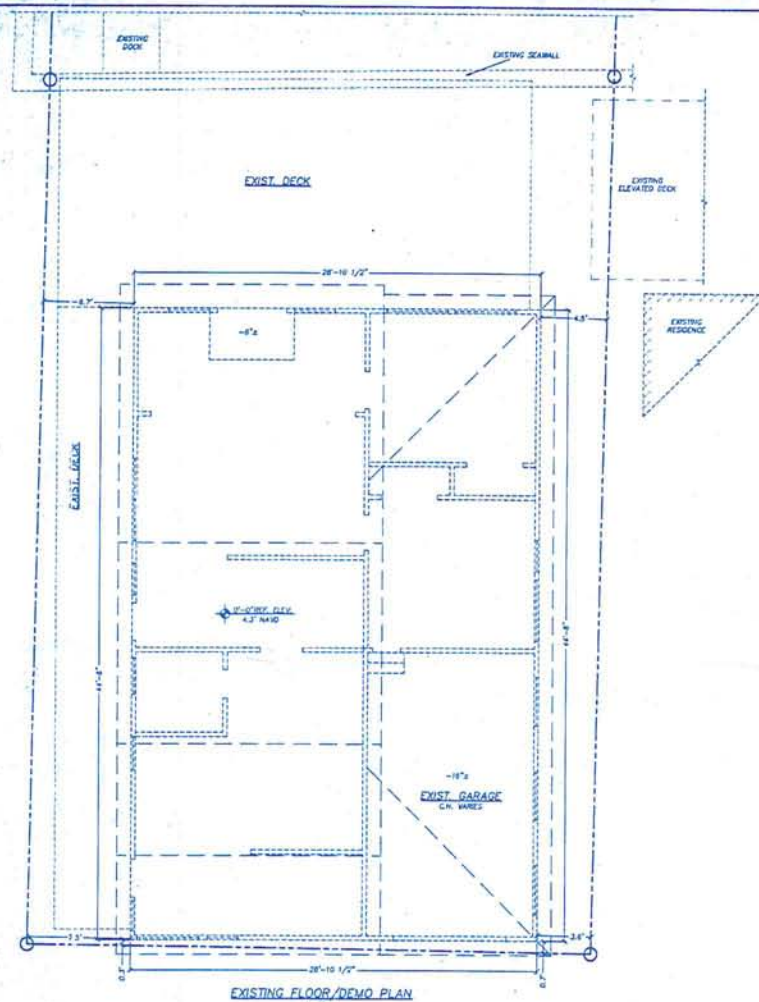
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SUBJECT STRUCTURE



Copyright ©2012 Pictometry International Corp.

SUBSELT STRUCTURE



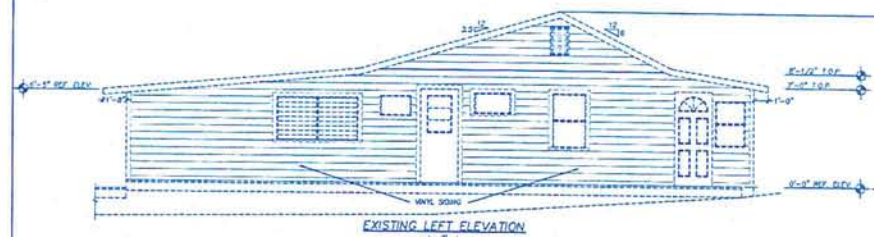
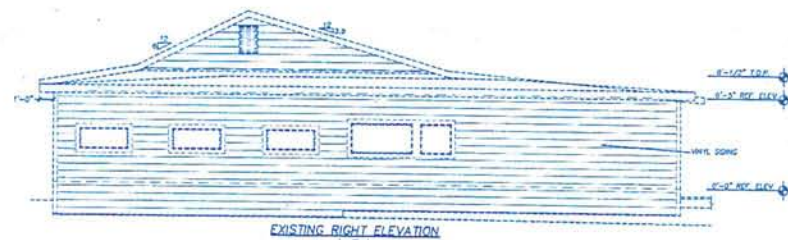
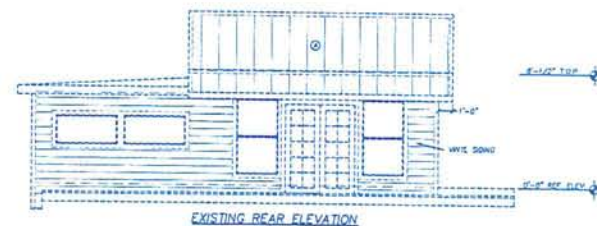
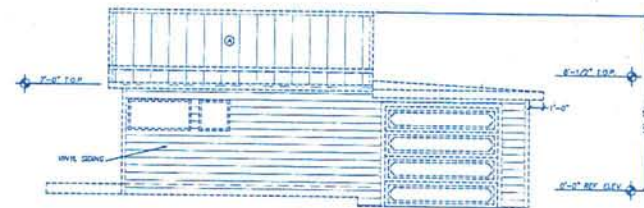
- NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE. FOLLOW EXISTING CONDITIONS.
 2. RELOCATE OR ABANDON EXISTING UTILITIES AS NEEDED.
 3. PROPOSED SUPPORT EXISTING CONSTRUCTION UNTIL PROPOSED CONSTRUCTION IS IN PLACE.
 4. REMOVE EXISTING CONSTRUCTION AS NEEDED FOR PROPOSED CONSTRUCTION.

PRELIMINARY
DRAWING FOR REVIEW.
NOT FOR CONSTRUCTION

EXISTING SQ.FT.	
LIVING	1040
GARAGE	248
TOTAL	1288

LEGEND

EXISTING
EXISTING ROOF LINE
OVERHEAD
PROPERTY LINE



LEGEND

PROPOSED
EXISTING
REF. ELEV. REFERENCE ELEVATION
T.O.B. TOP OF BEAM
EXISTING ACTUAL ROOF

FLORIDA GULF ENGINEERING, INC.
2775 GEARY ST.
MADISON, FL 33503
C.A. NO. 7720
P.O. (239) 283-8000 FAX (239) 283-5224

EXIST. ELEVATIONS & FLOOR PLAN
CLAUNCH RESIDENCE
4819 PINE ISLAND RD., NW, MADISON, FL

SHEET
2

PRELIMINARY
DRAWING FOR REVIEW.
NOT FOR CONSTRUCTION

- NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE. FOLLOW BY EXISTING CONDITIONS.
 2. ALLOCATE OR ABANDON EXISTING UTILITIES AS NEEDED.
 3. PROPERLY SUPPORT EXISTING CONSTRUCTION ON UNTIL PROPOSED CONSTRUCTION IS IN PLACE.
 4. REMOVE EXISTING CONSTRUCTION AS NEEDED FOR PROPOSED CONSTRUCTION.
 5. ALL DISTURBED AREAS ARE TO BE FINISH TO MATCH EXISTING.

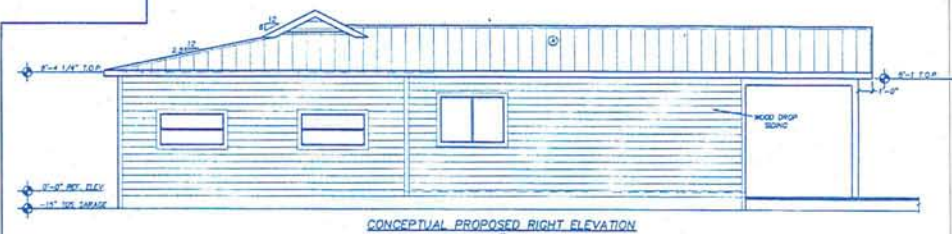
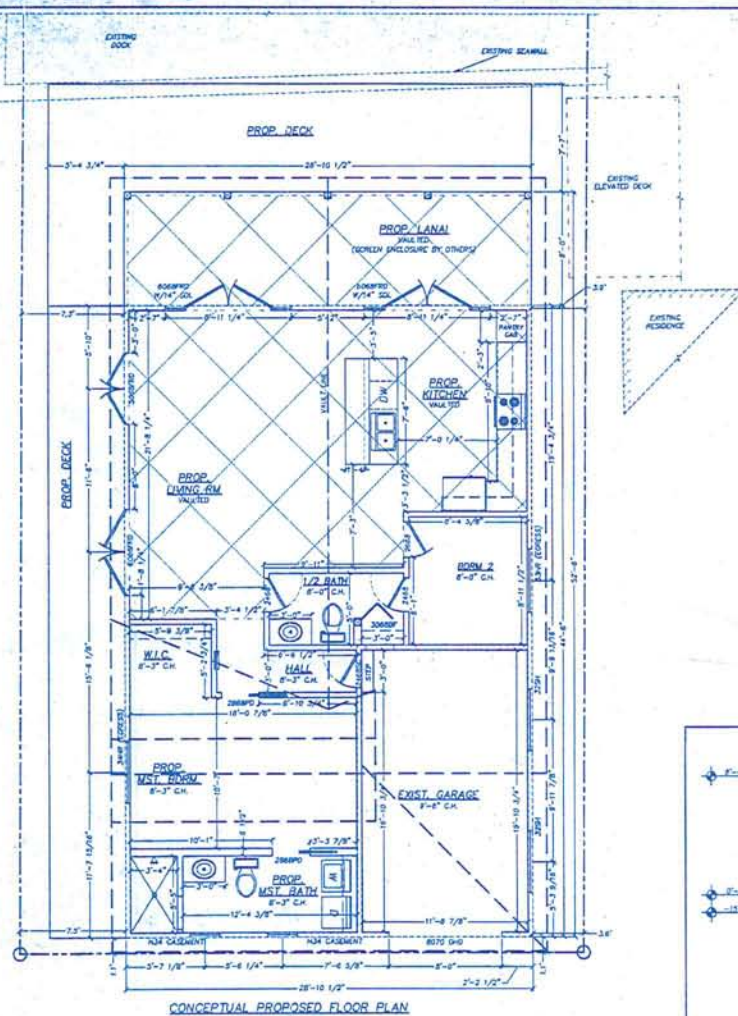
PROP. SQ. FT.	
LIVING	1090
KITCHEN	248
BATH	221
TOTAL	1559

LEGEND

- PROPOSED ROOF LINES
- BEAM
- OVERHEAD LINE
- EXISTING PROPERTY LINE
- 4" x 8" P.I. POST (TYP)



VAULTED C.L.S. AREA



LEGEND

- PROPOSED
- REF. ELEV. REFERENCE ELEVATION
- T.O.P. TOP OF PLATE
- ⊙ PROPOSED METAL ROOF
- ⊙ 1" x 4" WOOD DROP SIDING

NOTE: THIS ARCHITECTURAL DRAWING HAS BEEN PREPARED BY AN ARCHITECT AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S SIGNATURE AND SEAL. THE ARCHITECT'S SIGNATURE AND SEAL ARE REQUIRED FOR ALL CONSTRUCTION PERMITS AND FOR ALL CONSTRUCTION CONTRACTS.

FLORIDA GULF ENGINEERING, INC.
2775 GARY ST.
MARIETTA, GA 30067
TEL: (770) 421-1111
FAX: (770) 421-1112
WWW.FGEINC.COM

PROJECT NO. 1001
DATE: 10-10-13
SCALE: 1/8" = 1'-0"

DESIGNED BY: J. L. LEE
CHECKED BY: J. L. LEE
DATE: 10-10-13
SCALE: 1/8" = 1'-0"

NO. 1014501 P.E.

CONCEPTUAL PROP. ELEVATIONS & FLOOR PLAN
CLAUDE RESIDENCE
4819 PINE ISLAND RD., NW, ATLANTA, GA

SHEET
3



HISTORIC PRESERVATION PROGRAM DESIGNATION REPORT FORM AND/OR APPLICATION

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

Date Filed:	May 15, 2013	FSF No.	8LL1725	Designation No.	HD2012 - 00004 Over the waterfront/Safety Harbor Club (Ferry boat captain's bunkhouse)
-------------	--------------	---------	---------	-----------------	--

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts pursuant to Lee County Land Development Code, Chapter 22, Historic Preservation.

Name of Property

Historic Name: Ferry boat captain's bunk house

Other Names/Site Number: Over the Waterfront/Safety Harbor Club; Judge Lamar Rose Guest House

Location

Street & Number: 4470 Escondido Lane

City, State, Zip: Captiva FL 33924

STRAP Number: 05-45-21-03-0000B.00CE

Classification

Ownership of Property	Category of Property	Number of Resources within Property		
		Contributing		Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/>	building(s)	
<input type="checkbox"/> public-local	<input type="checkbox"/> district		sites	
<input type="checkbox"/> public-state	<input type="checkbox"/> site	<input checked="" type="checkbox"/>	structure	
<input type="checkbox"/> public-federal	<input type="checkbox"/> structure		objects	
	<input type="checkbox"/> objects		TOTAL	

Official Actions

Date of Petition for Designation: May 15, 2013

Date Designation Report filed with Historic Preservation Board: May 15, 2013

Date of Historic Preservation Board's written Resolution: _____

Resolution Number: _____

Date Designation was recorded: _____

Initiated by: Safety Harbor Club Inc. (property owner)

Designation

☒ Individual Historic Resource

☐ Individual Archaeological Site

☐ Historic District

☐ Archaeological Zone

☐ Archaeological District

Staff Recommendation:

Staff has reviewed the property and on the basis of the attached documentation recommends the LCHPB vote to file the subject designation (HD2012 - 00004 Over the waterfront/Safety Harbor Club (Ferry boat captain's bunkhouse) , direct it to public hearing and then vote to designate it under Chapter 22 of the Lee County Land Development code

Statement Attached		ATTACHMENTS
YES	NO	
		Designation Report for Individual Buildings or Sites per Lee County Land Development Code (LDC) Chapter 22 Historic Preservation
X		LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.
X		Photographs (3"x5" or larger)
X		LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.
X		LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.
X		LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.
X		LDC - Sec. 22-202 (1) e - A location map, showing relevant zoning and land use information. Map attached
X		LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Applicable Criteria (check all that apply)

Section 22-204(a)	<input checked="" type="checkbox"/> 1	<input checked="" type="checkbox"/> 2	<input checked="" type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(b)	<input checked="" type="checkbox"/> 1	<input type="checkbox"/> 2	<input checked="" type="checkbox"/> 3	<input checked="" type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(c)	<input checked="" type="checkbox"/> 1	<input checked="" type="checkbox"/> 2	<input type="checkbox"/> 3	<input checked="" type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(d)	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5
Section 22-204(e)	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4	<input type="checkbox"/> 5

Lee County Land Development Code (LDC)
Chapter 22 - Sec. 22-204. Criteria for Designation.

(a) Significance generally. The historic preservation board shall have the authority to designate historic resources based upon their significance in the county's history, architecture, archaeology or culture, or for their integrity of location, design, setting, materials, workmanship, or associations, and because they:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric, or architectural history that have contributed to the pattern of history in the community, the county, southwestern Florida, the state, or the nation;
- (2) Are associated with the lives of persons significant in our past;
- (3) Embody the distinctive characteristics of a type, period, style, or method of construction or are the work of a master; or possess high artistic value or represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded or are likely to yield information on history or prehistory; or
- (5) Are listed or have been determined eligible for listing in the National Register of Historic Places.

(b) Historical or cultural significance. A historic resource shall be deemed to have historical or cultural significance if it is:

- (1) Associated with the life or activities of a person of importance in local, state, or national history;
- (2) The site of a historic event with a significant effect upon the town, county, state, or nation;
- (3) Associated in a significant way with a major historic event;
- (4) Exemplary of the historical, political, cultural, economic, or social trends of the community in history; or
- (5) Associated in a significant way with a past or continuing institution which has contributed substantially to the life of the community.

(c) Architectural or aesthetic significance. A historic resource shall be deemed to have architectural or aesthetic significance if it fulfills one or more of the following criteria:

- (1) Portrays the environment in an era of history characterized by one or more distinctive architectural styles;
- (2) Embodies the characteristics of an architectural style, period, or method of construction;
- (3) Is a historic or outstanding work of a prominent architect, designer, or landscape; or
- (4) Contains elements of design, detail, material, or craftsmanship which are of outstanding quality or which represented, in its time, a significant innovation, adaptation or response to the south Florida environment.

(d) Archaeological significance. A historic resource shall be deemed to have archaeological significance if it meets one or more of the following criteria:

- (1) There is an important historical event or person associated with the site;
- (2) The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;
- (3) The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;
- (4) The site was the location of historic or prehistoric activities during a particular period of time; or
- (5) The site maintains a sufficient degree of environmental integrity to provide useful archaeological data. Such integrity shall be defined as follows:
 - a. The site is intact and has had little or no subsurface disturbance; or
 - b. The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information.

(e) Properties Not generally eligible. Properties not generally considered eligible for designation include cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, buildings or sites primarily commemorative in nature, reconstructed historic buildings, and properties that have achieved significance less than 50 years prior to the date the property is proposed for designation. However, such properties will qualify if they are integral parts of districts that do meet the criteria described in this section or if they fall within one or more of the following categories:

- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
- (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
- (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
- (5) A property primarily commemorative in nature if design, age, tradition, or symbolic value have invested it with its own historical significance.
- (6) A building, structure, site, or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.

LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs

The subject building sits out over the water in Safety Harbor in Upper (North) Captiva Island. Upper (North) Captiva Island is a barrier island located just north of Captiva Island and south of Cayo Costa Island. Upper Captiva is approximately four miles long and one-half mile wide at its widest point.

Although the precise construction date is unknown, the subject building is an early twentieth century structure that was originally used as a bunkhouse for the ferryboat captains, who traveled to and from Sanibel prior to the construction of the Sanibel causeway providing ferry boat service to the island. The building was originally located at Punta Rassa. (The precise location of the building is unknown.) Sometime after the construction of the Sanibel causeway in 1963 the building was relocated to its current location at Safety Harbor. The date of the actual relocation is uncertain. However, a review of aerial photographs indicates it happened after 1966.

The building sits over the water on pilings. It features board and batten vertical wood siding and a side gable metal roof with shed roof additions side (south) and the rear (east). A porch on the front or land side (west) was added and subsequently enclosed in 1984. This is one of the few extant buildings located over the water on pilings. While this type of building was once relatively common in Lee County, today buildings like the subject structure are rare as a land based transportation system eliminated the water based transportation system and the need for this type of construction. In addition modern regulations made this type of construction obsolete by prohibiting the new construction of these buildings.

The Fish Cabins of Charlotte Harbor is a group of buildings on Pine Island Sound and Charlotte Harbor that was built on pilings over the water and is listed on the National Register of Historic Places. These buildings are associated with commercial fishing and include two property types defined by function: the Ice House and/or Fisherman's residence. These buildings are considered to be architecturally significant because their property type embodies the distinctive characteristics of a particular type of architecture. Alterations to these buildings are acceptable due to the extreme weather conditions that these buildings have endured often requiring the replacement of rotted pilings, roofs, siding and decks and docks.

Similarly the subject building has remained over the water and on pilings, but over the years major rehabilitations have been preformed due to the adverse impact that extreme weather conditions have had on the building. These changes have been necessary for the maintenance of the building and are in keeping with the character of the buildings.

The STRAP number is 05 45 21 03 0000B 00CE. The address is 4470 Escondido Lane Captiva Fl 33924.

LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.

Historical Significance of the Over the Waterfront building

Originally this building was used as a bunkhouse for the ferryboat captains, who traveled to and from Sanibel providing ferry boat service to the island. The bunkhouse consisted of a kitchen, dining area, bedroom and bathroom. Prior to the construction of the causeway only ferryboats brought visitors and automobiles to and from the mainland to Sanibel Island.

Once the causeway from Punta Rassa to Sanibel Island was built, the need for ferryboats was eliminated and the subject building's use as a bunkhouse was discontinued. The causeway produced a revolutionary change in the lifestyle at Sanibel. As the island became easily accessible, the population and concomitantly commercial and residential development increased dramatically. Soon Sanibel became a significant resort community attracting visitors and residents from all over the world. As a result the building's association with the time period before the causeway was built makes it historically significant, the building has a direct association with Lee County's history at the time when the county had a water based transportation system instead of the current land based transportation system.

The building is associated with distinctive elements of the cultural, social, and economic history that have contributed to the pattern of history in the county, southwest Florida and Florida. The building is associated in a significant way with the past ferryboat transportation system, which not only contributed to the life of the island community but actually set the pace of life at the island communities. The number of persons, goods and materials arriving or leaving the island were entirely dependent on the availability and schedules of the ferryboats.

Judge Lamar Rose acquired the subject building after it was no longer used as a bunkhouse, had it barged from Punta Rassa to its current location at Safety Harbor and used it as a guesthouse. The date of the actual relocation is uncertain. However, a review of aerial photographs indicates it happened after 1966. At this time, staff has found no evidence that would corroborate the belief that the ferry boat captains' bunkhouse originally was located over the water on pilings.

However, since the building has been relocated to Safety Harbor, it has been located on pilings over the water. The building features board and batten vertical wood siding and a side gable metal roof with shed roof additions on the front (west) and side (south) and the rear (east). This is one of the few extant buildings located on pilings over the water. As Lee County transitioned from a water based transportation system to a land base transportation system and tougher environmental regulations were enacted, these types of buildings became extremely rare. (Among the most well known buildings, which sit on pilings over the water, are the fish houses of Charlotte Harbor, which are listed on the National Register of Historic Places.) The building can be documented as sitting on pilings over the water from a period of time after 1966. Staff believes that the building has architectural significance because it was designed to be on pilings over the water. A building of this type can no longer be built and a building of this type is one of the signature features of the water based transportation system that once was so prevalent in Lee County.

Judge Rose added the L-shaped shed roof addition to the side (south) and rear (east) elevations. At that time he also added a simple porch facing west or toward what today are the townhouses. This porch was enclosed in 1984 and made into an office.

Judge Lamar Rose

Judge Lamar Rose was a vocal supporter of the death penalty and known as the "hanging judge". In Florida he was known for politicizing the death penalty. When the U. S. Supreme Court temporarily overturned the death penalty in 1972, Judge Rose publicly protested the decision by slinging a noose over a tree limb on the courthouse lawn. When the death penalty came back to Florida he was handed the discretion to use the death penalty despite a jury's vote for life. He quickly moved to overturn a jury's life recommendation for Doug McCray, a former honor student and star athlete who suffered from alcohol induced blackouts. Judge Rose sentenced McCray to death, a decision later reversed by the Florida Supreme Court. Staff believes the subject structure is historically significant because it is associated with the life and activities of persons of local importance: namely, the ferryboat captains and Judge Lamar Rose.

Brief summary of the recent history of the building

In 1981, Safety Harbor Corporation, the developer of Safety Harbor Club, purchased the property and leased it to Shelby Creah and his wife, Glessie. Shelby and Glessie changed Judge Rose's guesthouse into a restaurant and added the deck facing east or toward the bay water. The restaurant was called *Island Store and Service Center* for about a year. The next year the restaurant's name was changed to *Over the Waterfront*.

In 1984 or 1985, Jane Creah and her husband, Scott Gilbert took over the management of *Over the Waterfront*. Reportedly, Scott had a knack for catching fish. If they needed fresh grouper for dinner, Scott would go fishing. It seemed as if he had his own private ice box full of fish. Boats full of stone crabs would pull up at the dock and Jane and Scott would pick the evening's dinner. Jane baked the pies and cakes and was well known for her key lime pie.

After litigation in 1986 the Creah family acquired the restaurant (which was also known as the Community Service Center for the Safety Harbor Club) from Safety Harbor Corporation. Ten years later, in 1996 the Safety Harbor Club acquired the structure from the Creah family. The purchase included the dock slips and a small piece of land, which provided riparian rights to the mainland.

Architectural Significance

The subject building sits out over the water in Safety Harbor Upper Captiva Island. It is an early to mid twentieth century structure that was originally used as a bunkhouse for the ferryboat captains, who traveled to and from Sanibel prior to the construction of the Sanibel causeway in 1963. The building was originally located at Punta Rassa. Sometime after the construction of the Sanibel causeway in 1963 the building was relocated to its current location at Safety Harbor. The date of the actual relocation is uncertain. However, a review of aerial photographs indicates it happened after 1966.

The building sits on pilings over the water. It features board and batten vertical wood siding and a side gable metal roof with shed roof additions on the front (west) and side (south) and the rear (east). This one of the few extant buildings located over pilings in the water. While these types of buildings were once relatively common in Lee County, today they are relatively rare as modern regulations prohibit this type of construction and many of the old, historic buildings that sat over the water have been demolished. As a result this building is a rare extant example of vernacular buildings that were constructed over the water. (Among the most well known buildings, which sit on pilings over the water, are the fish houses of Charlotte Harbor, which are listed on the National Register of Historic Places.) This vernacular building that sits on pilings over the water embodies the distinctive characteristics of the style and construction associated with a water based transportation system. This building portrays the built environment in an era of history that was characterized by utilitarian vernacular buildings, which sat on pilings over the water. This type of construction, in its time, was a successful adaptation to the South Florida environment.

SOURCES

Dieter, Richard Esq. Executive Director, Death Penalty Information Center, "Killing for Votes: The Danger of Politicizing the Death Penalty Process."
(<http://www.deathpenaltyinfo.org/dpicrkfv.html>)

Florida Mater Site File number 8LL1725

Fish Cabins of Charlotte Harbor National Register Multiple Property Listing.

Seyler, Dorothy V. "Read, Reason, Write: Issue: Is Capital Punishment Bad Policy?" Yes: David Von Drehle No: Ernest van Den Haag.
(<http://www.dushkin.com/seyder/se04/capital.mhtml>)

Unpublished reports supplied by Glen Hedman to the Lee County Planning Division in 2001.

LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.

The existing condition of the building is good.

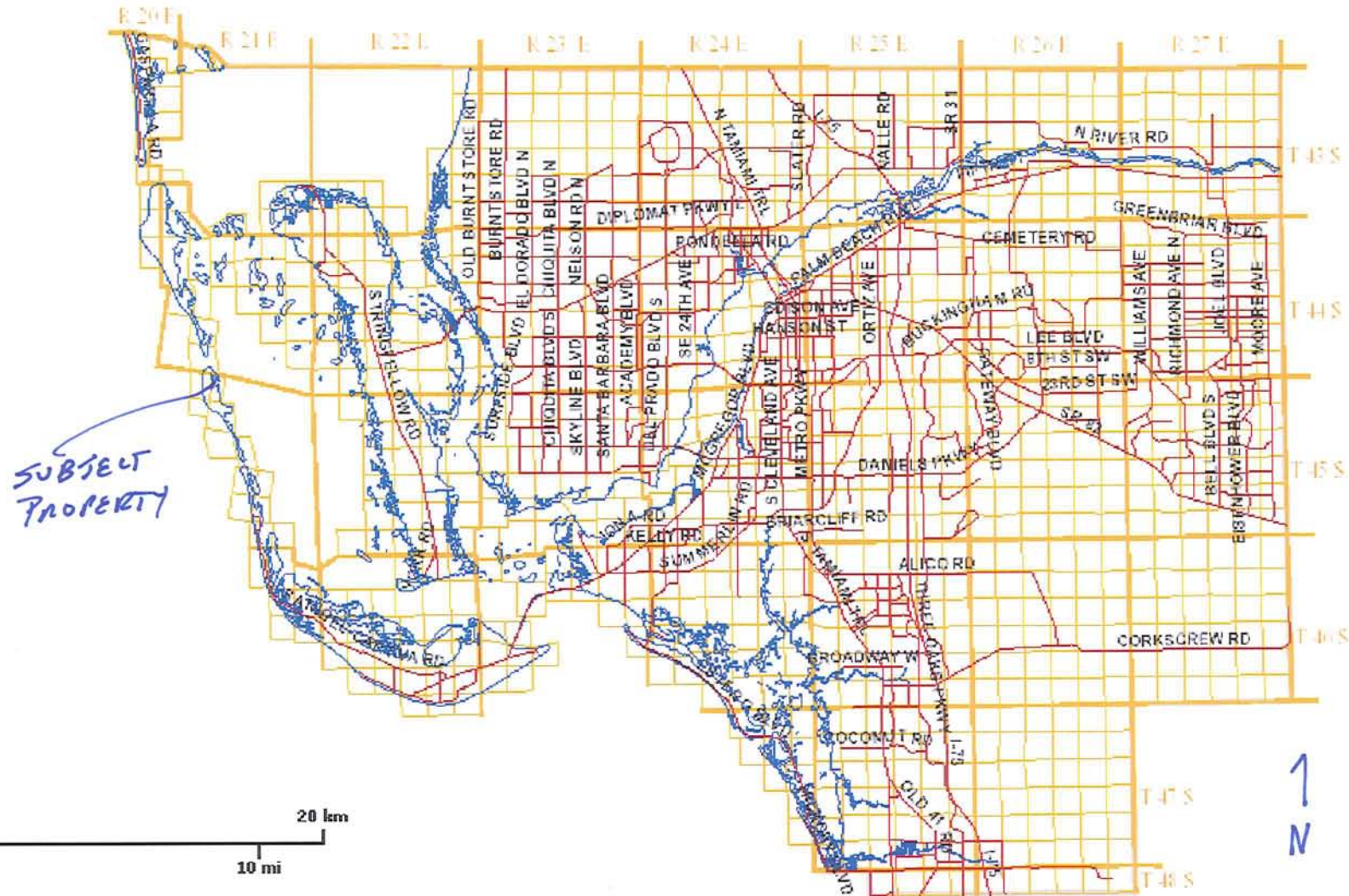
LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.

The building will continue to be used as a restaurant.

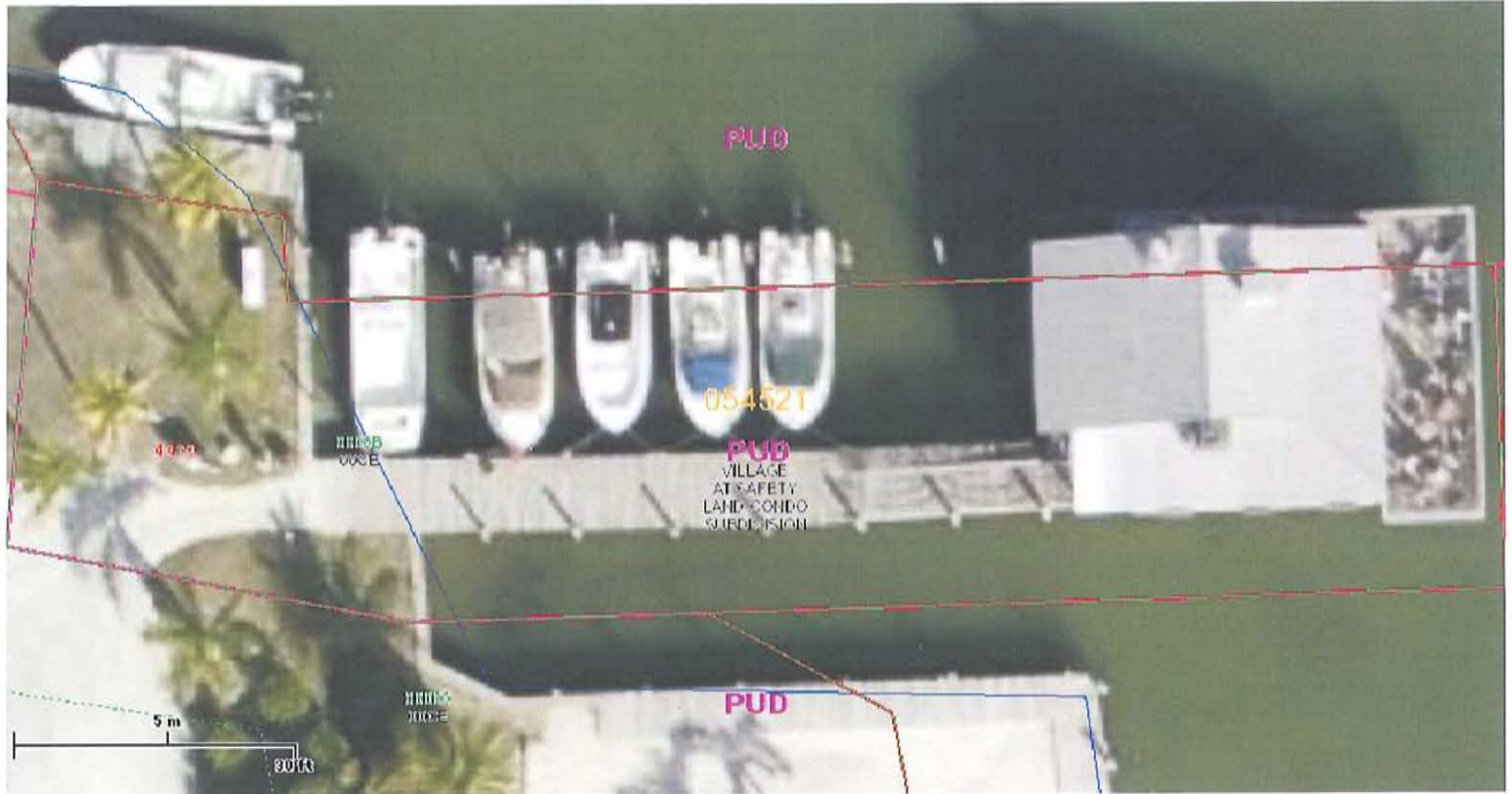
LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Staff has reviewed the property and on the basis of the attached documentation recommends the LCHPB vote to file the subject designation (HD2012- 00004 Over the waterfront/Safety Harbor Club (Ferry boat captain's bunkhouse) , direct it to public hearing and then vote to designate it under Chapter 22 of the Lee County Land Development code

Lee County





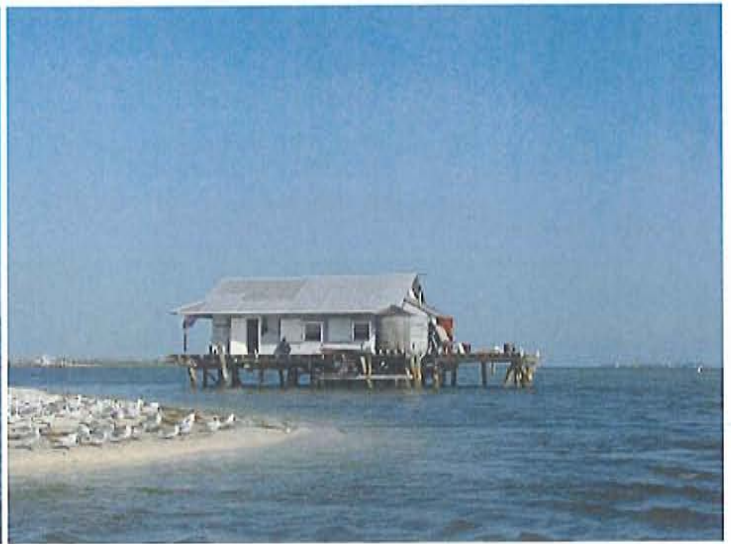


Fri May 31 2013 02:43:59 PM.

AERIAL VIEW OF THE SUBJECT BUILDING

HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

Buildings over the water in Pine Island Sound

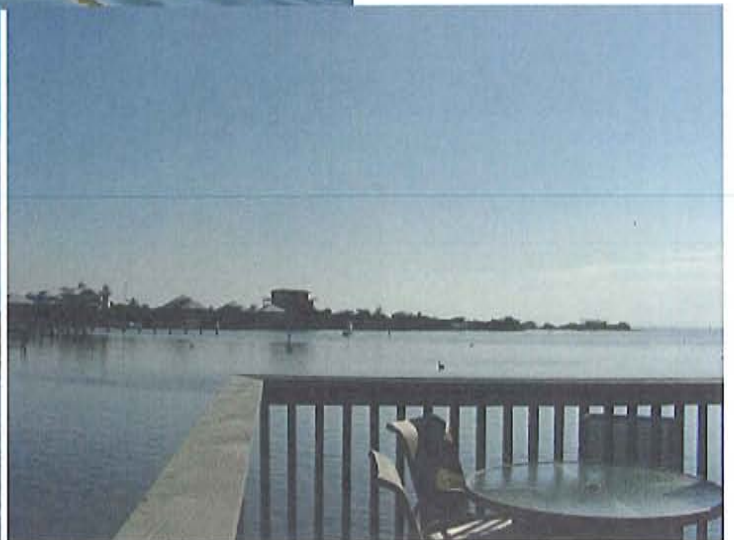


HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

East and South elevation of the subject building



Photos of Safety Harbor



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

East elevation



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

North elevation



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

South elevation



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

West elevation



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

West elevation



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

Interior



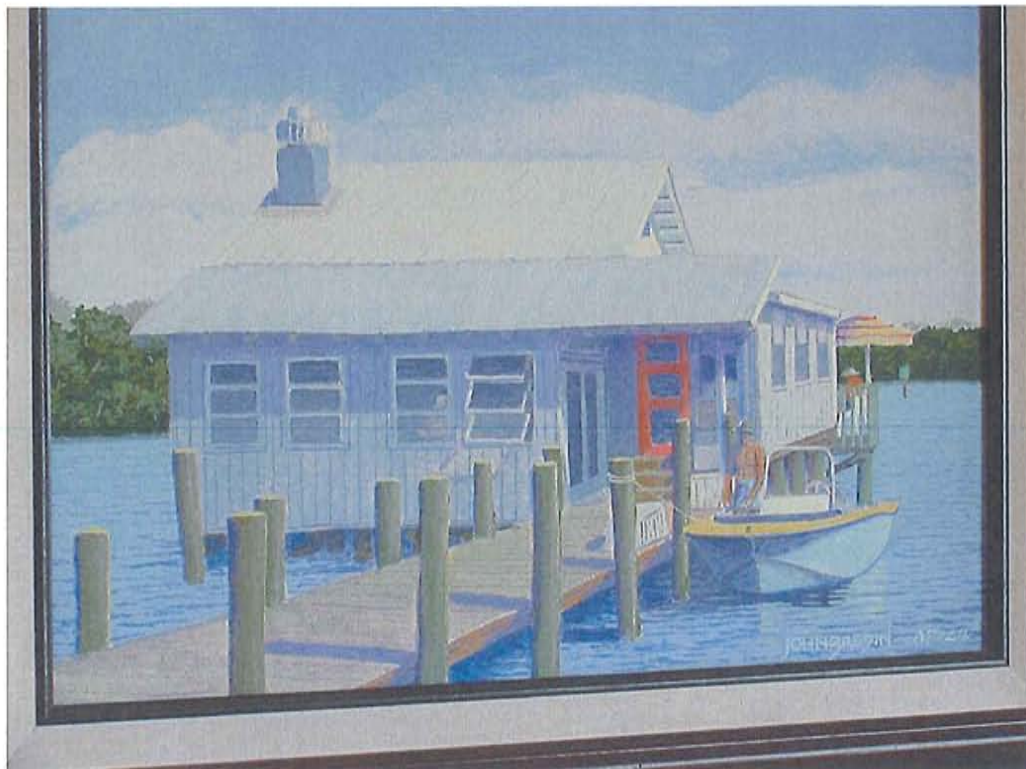
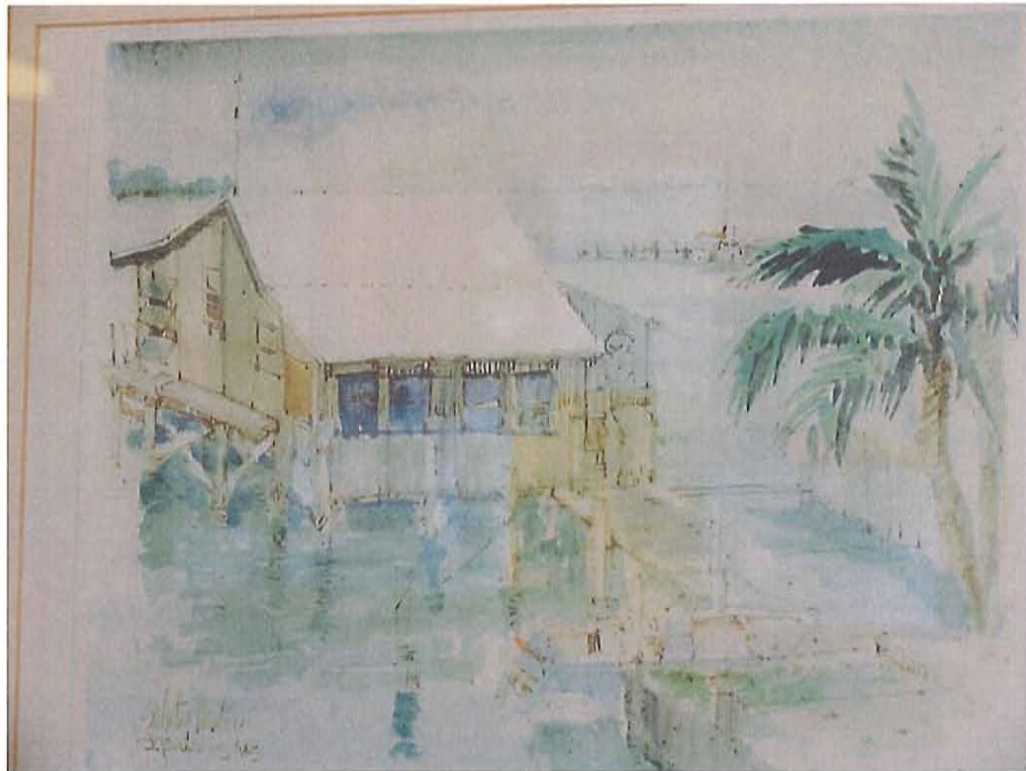
HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

Floor Plan



HDC2012-00004 Over the Waterfront Safety Harbor Club Inc.
4470 Escondido Lane, Captiva, FL 33924

ART SKETCHES





RECEIVED
FEB 01 2013

COMMUNITY DEVELOPMENT

SAFETY HARBOR CLUB

January 30, 2013

Ms. Gloria M. Sajgo, AICP, Principal Planner
Lee County Planning Division
P. O. Box 398
Ft. Myers, FL 33902

Re: Over the Waterfront Restaurant on North Captiva Island

Dear Gloria:

Please be advised that the Safety Harbor Club Board of Directors voted to move forward with the historical designation of the OTW during their Board of Directors meeting on January 19, 2013.

We appreciate your assistance with this matter. Please let us know if there is anything additional that we need to do to accomplish this objective.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Fox", with a stylized flourish at the end.

Rick Fox, General Manager, Safety Harbor Club



Lee County Property Appraiser

Tax Year
[Next Lower Parcel Number](#)
[Next Higher Parcel Number](#)
[Tax Estimator](#)
[Tax Bills](#)
[Print](#)

Property Data for Parcel 05-45-21-03-0000B.00CE

Owner Of Record

SAFETY HARBOR CLUB INC
PO BOX 2276
PINELAND FL 33945

Site Address

4470 ESCONDIDO LN
CAPTIVA FL 33924

Legal Description

VILLAGE AT SAFETY HARBOR
PB 36 PG 44 PT TR B
DESC OR 1922 PG 2368

Classification / DOR Code

RESTAURANTS, CAFETERIAS / 21

[Tax Map Viewer]



Image of Structure



[Pictometry Aerial Viewer]

[Photo Date May of 2012](#)


Property Values (2012 Tax Roll)

Just

Assessed

Portability Applied

Cap Assessed

Taxable

Cap Difference

Homestead / Additional

Widow / Widower

Disability

Wholly

Senior

Agriculture

Exemptions

0 / 0

0 / 0

0

0

0

0

Attributes

Land Units Of Measure

Units

Frontage

Depth

Total Number of Buildings

Total Bedrooms / Bathrooms

Total Living Area

1st Year Building on Tax Roll

Historic District

SF

5589.00

6560

0

1

0 / 4.0

881

1982

No



Taxing Authorities



Sales / Transactions



Building/Construction Permit Data



Parcel Numbering History



Solid Waste (Garbage) Roll Data



Flood and Storm Information



Appraisal Details

Land

Land Tracts

Use Code

Use Code Description

Depth

Frontage

Number of Units

Unit of Measure

2100

Restaurant

0

6560

5589.00

Square Feet

Land Features

Description	Year Added	Units
PIER - RESIDENTIAL	1982	720
SEAWALL - CONCRETE	2001	255

Buildings**Building 1 of 1****Building Characteristics**

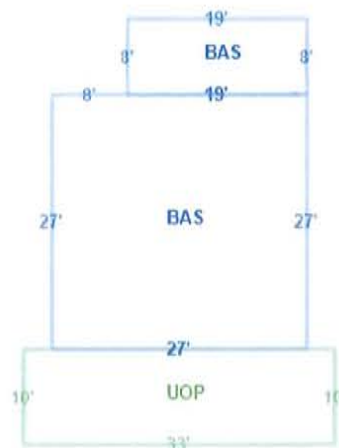
Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
56 - restaurant	4 - commercial	1.0	0	4.0	1982	1982

Building Subareas

Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	152
BAS - BASE	Y	729
UOP - UNFINISHED OPEN PORCH	N	330

Building Front Photo

Photo Date : May of 2012

Building Footprint

TRIM (proposed tax) Notices are available for the following tax years
[\[2007 2008 2009 2010 2011 2012 \]](#)

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [New Query](#) [Search Results](#) [Home](#)



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>2013-00042</u>	Designation No. <u>HD 90 1001</u>	Date Filed: <u>June 2013</u>
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<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: Deck /simple storage shed

Location: Matlacha

STRAP No.: 24-44-22-01-00003.0010

Name of Applicant or Agent*: Michael c VanWart

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 4898 Pine island Rd NW

City, State, Zip: Matlacha Fla 33993

Phone Number: 239-558-5954 Fax Number: _____

Email Address: mokevan63@aol.com

Name of Historic District (if applicable): Matlacha

Check all that apply: ☒ Building ☐ Archaeological Site ☐ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☐ Alteration ☐ Demolition ☒ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: Plan to build simple deck adjacent to home
install 10 x 20 simple storage shed on property

Change in Use: ☒ No ☐ Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☐ No ☒ Yes

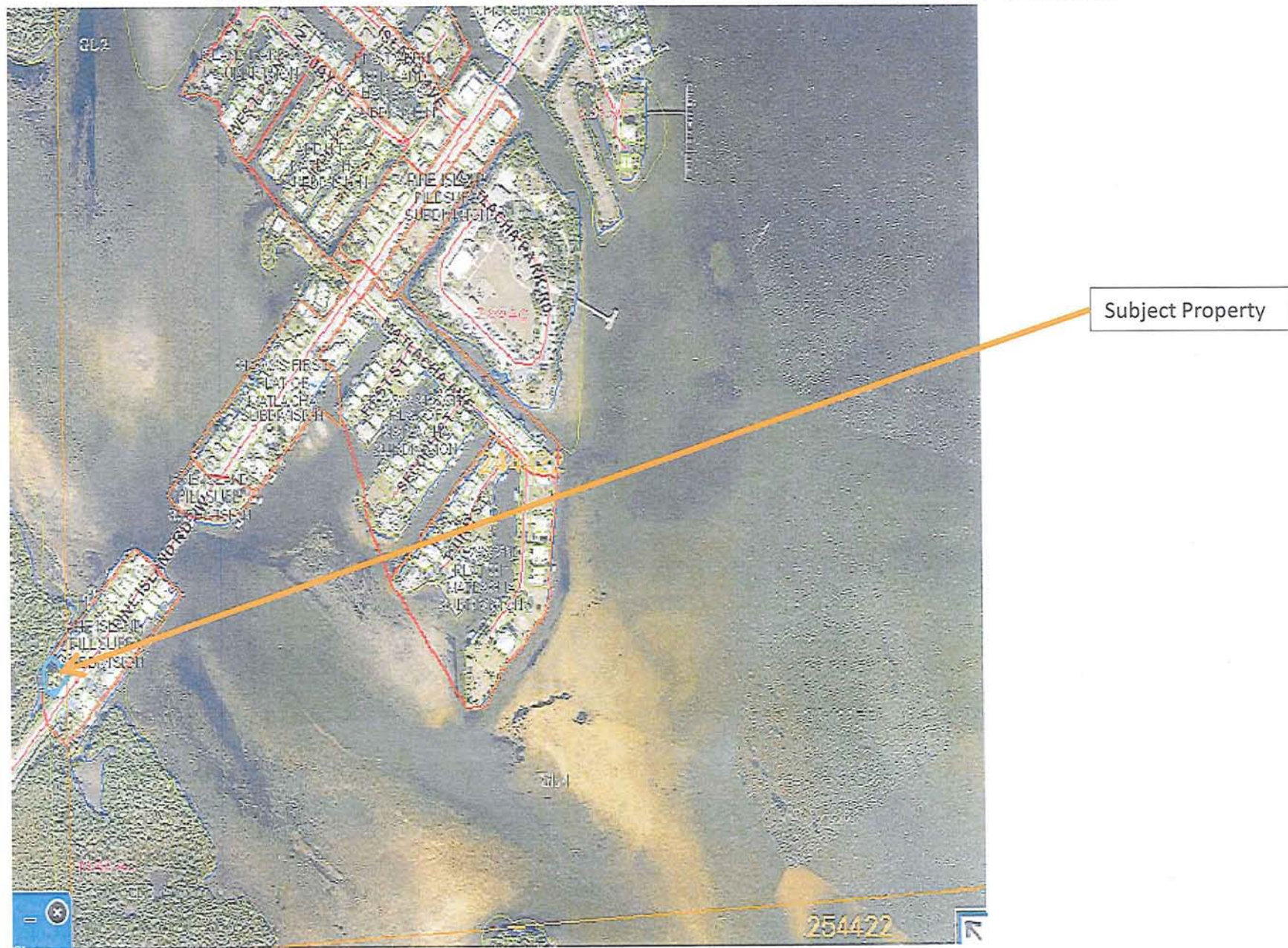
If yes, explain. variance from 25 ' setback and Historical approval

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

If yes, explain. Administrative action has been applied for with Supplement F

***** FOR STAFF USE ONLY *****	
Date Issued: _____	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED*
Certified by: _____	
*Explanation attached	

COA 2013-00042 – Vanwart – 4898 Pine Island Rd. NW Matlacha



LEE COUNTY HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness
CASE NUMBER: COA 2010-00042 Vanwart 4898 Pine Island Rd., Matlacha Fl 33993
HEARING DATE: June 19, 2013

SUMMARY:

The proposed project entails the installation of a deck, a pair of French Doors and a shed on an existing contributing structure in the Matlacha Historic District HD (District) 90-10-01. Staff analyzed the proposed project for compliance with the Secretary of the Interior's Standards for Rehabilitation. The STRAP number is 24 44 22 01 00003.0010; the address is 4898 Pine Island Rd. Matlacha, Florida 33993. Physically, the house fronts on Pine Island Rd and abuts a waterway on the rear.

STAFF ANALYSIS:

Existing conditions: The subject structure is a small frame vernacular house located on a parcel with 100-ft frontage along Pine Island Rd. The subject house is roughly 26-ft by 27-ft with an 8-ft by 13-ft storage addition at the rear. The house features a small front facing metal gable roof flanked by a flat roofed wing—which is probably a later addition. The house features horizontal vinyl siding and awning windows. The house retains much of its original size, mass, scale and height.

The current owner purchased the property in January 2013 and is requesting after the fact permits to abate the following violations:

VIO2013-06083 installation of a wooden deck without the required permit
 VIO2013-06781 installation of a double door without the required permit
 VIO2013-06081 installation of a 12-ft by 20-ft shed without the required permit

New door and entry deck

Originally on the flat roofed wing the house had a single door on the front elevation and a window on the side elevation. As noted earlier this flat roofed wing is likely to have been a later addition to the house. The location of the door close to the corner of the building suggests that this was not the location of the original front door – as an original front door is likely to have been centered under the gable roof or at least under the flat roof. The awning window is also not original to house.

The applicant removed the single door from the front elevation and the window from the side elevation and roughly where the window had been located, the applicant installed a pair of French Doors with single lights. These doors are installed close to the corner of the house. This activity was cited as: VIO2013-06781 Installation of a double door without the required permit

The applicant proposes to install a low deck along the side of the house – the deck would be 27-ft long (the length of the house) and 8-ft wide. The deck would provide access to the new French Doors. Because the side of the deck would be flush with the front of the house and the house does not meet the front setbacks the applicant has asked for zoning relief to bring both the house and the proposed deck into compliance. The required front setback is 25-ft the applicant is requesting 14-ft – the setback of the existing house and the proposed deck.

While waiting on the approval of the large side deck, the applicant installed a smaller deck to gain access to the house through the new French Doors. The applicant was cited for not pulling a permit for this small deck (VIO2013-06083 installation of a wooden deck without the required permit). The applicant will remove this small deck when he installs the proposed larger deck.

A New Shed

The applicant installed a roughly 10-ft by 20-ft shed on the property without a permit (VIO2013-06081 installation of a 12-ft by 20-ft shed without the required permit). The shed is setback roughly 27-ft from Pine Island Rd and features horizontal yellow vinyl siding and a small front facing gable roof. This shed is within the setbacks and does not require zoning relief. Generally the style of the shed complements the style of the house.

Because the longest portion of this lot fronts Pine Island Rd the shed is visible from Pine Island Rd. However, the mass and scale of the shed are small so its impact on the streetscape is minimal. Additionally the style of the shed – the yellow horizontal vinyl siding and front facing metal gable roof – is in keeping with the style of the house.

Overall staff believes this is a well thought out project and in keeping with the original house design.

The Secretary of the Interior's Standards for Rehabilitation

In reviewing compliance with the Secretary of the Interior's Standards please refer to the

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
The relocation of door from the front to the side is a minimal change. It is unlikely that the door on the front elevation was original so the character defining features of the building and its site and environment will not be affected. The house will continue to be used as a residence. .
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The proposal retains and preserves the historic character of the property. The proposal avoids the removal or alteration of features and spaces that characterize the property.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. Not Applicable
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. Not Applicable
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
The original features, finishes and construction techniques that characterize the property are being preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
Not Applicable
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Not Applicable
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. Not Applicable
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
The shed is a small addition that is detached from the main house but in keeping with its architecture. The small size of the shed makes it compatible with the size and scale of the main house. The architectural features of the shed are in keeping with the architecture of the house.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
If the shed is removed in the future the form and integrity of the historic property and its environment will not be affected.

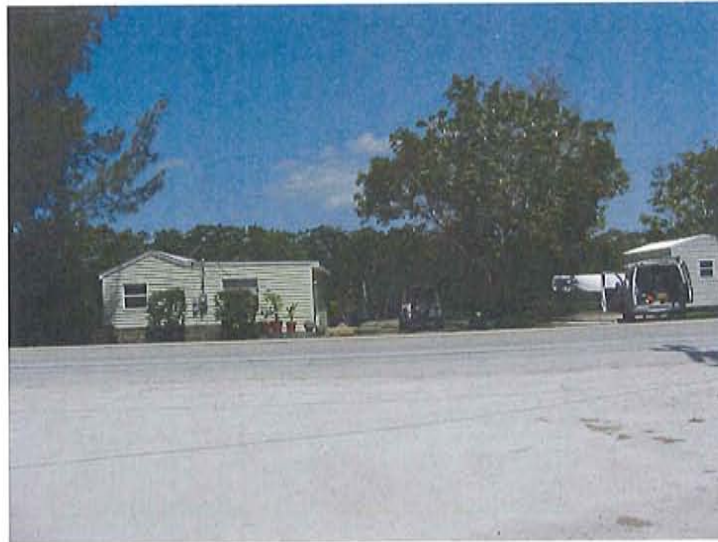
STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

- Approve the proposal as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior's Standards for Rehabilitation and Chapter 22 of the LDC.

COA2013-00042 – Vanwart 4898 Pine Island Rd. NW Matlacha

Subject house and shed as seen from Pine Island Rd



COA2013-00042 – Vanwart 4898 Pine Island Rd. NW Matlacha

Relocation of Door and Installation of Deck



Original location of single door on the front and an awning window on the side



Removal of front door and side window, installation of new double French doors on side

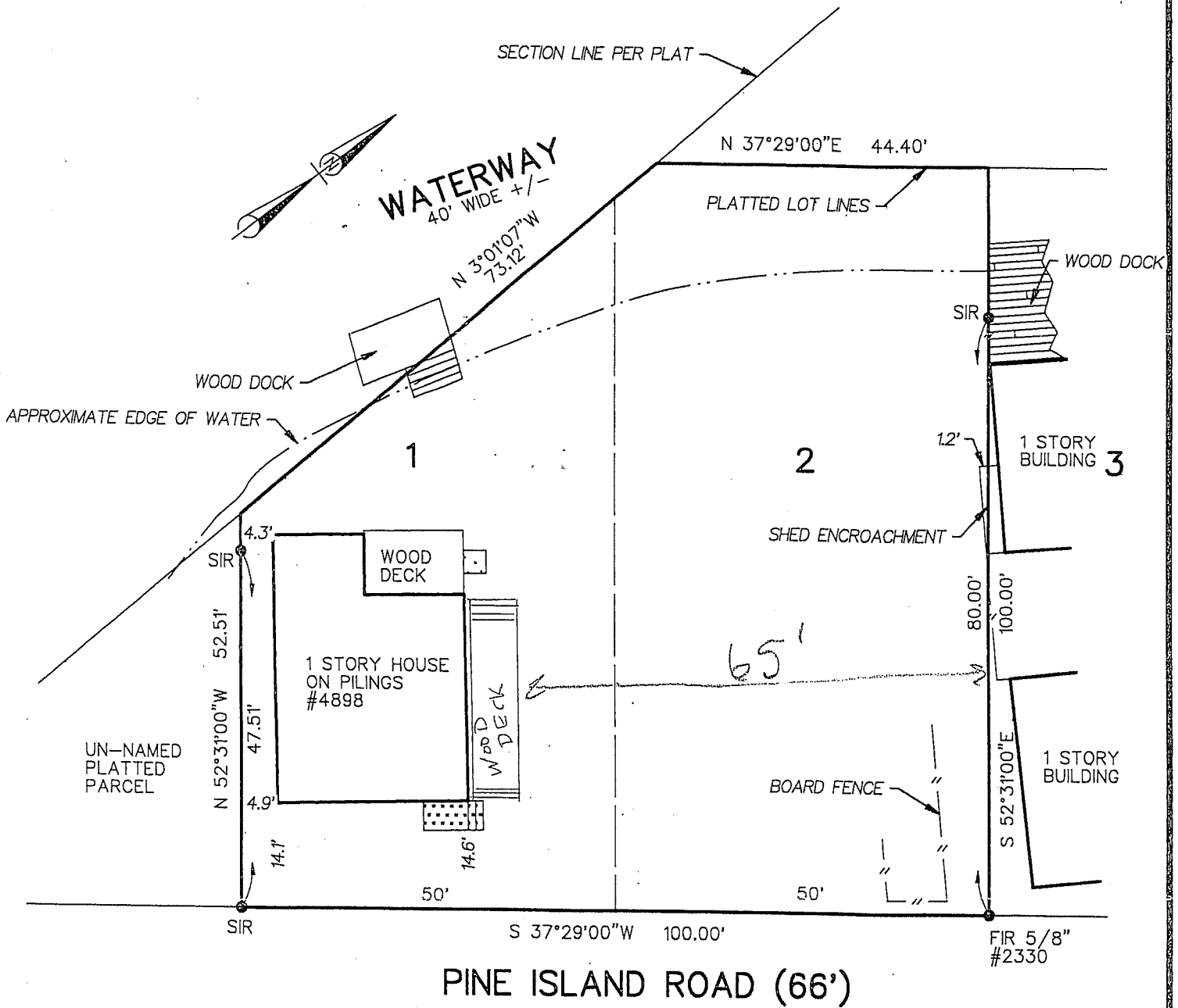
COA2013-00042 – Vanwart 4898 Pine Island Rd. NW Matlacha

New Shed on site



COA 2013 – 00042 Vanwart

BACK UP
FOR DECK



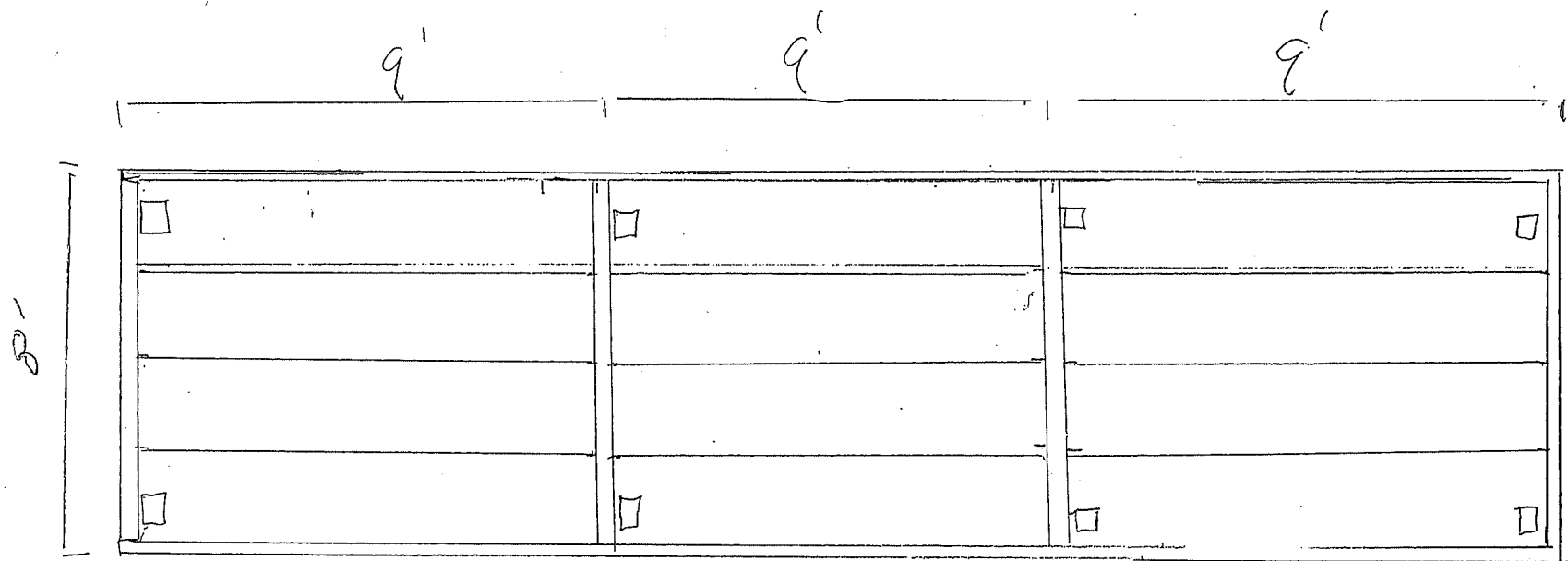
BOUNDARY SURVEY

LOTS 1 AND 2, BLOCK 3
PINE ISLAND FILL SUBDIVISION
PLAT BOOK 8, PAGE 86
LEE COUNTY, FLORIDA

CERTIFIED TO:
MICHAEL VAN WART

REVISED 1/08/13 - SHOW SHED ENCROACHMENT
REVISED 1/07/13 - CHANGED CORNER DESCRIPTIONS

BASIS FOR BEARINGS: PINE ISLAND ROAD - ASSUMED BEARING		SCALE: 0 20	SURVEY DATE: 1/02/13
COMMUNITY NUMBER 125124	MAP & PANEL NUMBER 12071C0380	SUFFIX F	DATE OF FIRM INDEX 8/28/08
LEGEND		FIRM ZONE AE	BASE FLOOD ELEVATION 8
<p>FIR = FOUND IRON ROD FIP = FOUND IRON PIPE FDH = FOUND DRILL HOLE FCM = FOUND CONCRETE MONUMENT SR = SET IRON ROD 1/2" LB#7075 PUE = PUBLIC UTILITY EASEMENT PU & DE = PUBLIC UTILITY & DRAINAGE EASEMENT SN&D = SET NAIL & DISK LB #7075 PRM = PERMANENT REFERENCE MONUMENT FN&D = FOUND NAIL & DISK POB=POINT OF BEGINNING FE, COR.=FENCE CORNER CONC.=CONCRETE * =NOT FIELD MEASURED LME=LAKE MAINTENANCE EASEMENT DE=DRAINAGE EASEMENT</p> <p>+0.0 = EXISTING ELEVATION [Symbol] = UTILITY RISER [Symbol] = UTILITY POLE [Symbol] = FIRE HYDRANT [Symbol] = CATCH BASIN (P)=PLAT (F)=FIELD (D)=DEED (C)=COMPUTED ---X--- = WIRE FENCE ---/--- = WOOD FENCE NAVD=NORTH AMERICAN VERTICAL DATUM OF 1988</p>		<p>THIS SURVEY IS HEREBY CERTIFIED CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM FROM ENCUMBRANCES.</p> <p>NO UNDERGROUND STRUCTURES HAVE BEEN LOCATED BY THIS SURVEY. ANY REFERENCE TO UNDERGROUND STRUCTURES IF ANY IS APPROXIMATE.</p> <p>UNLESS OTHERWISE SHOWN ALL FIELD MEASURED DIRECTIONS AND DISTANCES ARE IN SUBSTANTIAL AGREEMENT WITH THE DIRECTIONS & DISTANCES OF RECORD FOR THE PARCEL SURVEYED.</p> <p>THIS SURVEY MAY NOT BE USED BY OTHER THAN THE CERTIFIED TO PARTIES. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.</p> <p><i>Eric C. Davis</i> 1/08/13 C.E. DAVIS, CERTIFICATE NO. 4839 -OR- ERIC C. DAVIS, PSM # 5544 LB #7075</p>	
DAVIS SURVEYING INC. WWW.DAVISLANDSURVEYS.COM		4536 SE 16th PLACE SUITE 3 CAPE CORAL, FLORIDA 33904 TEL(239)549-6454 FAX(239)549-2548 CONTACT@DAVISLANDSURVEYS.COM	
JOB NUMBER:		12-1121	



□ - 4x4 post

2x6 FRAMING

CORNER BRACKETS

2x6 JOIST HANGERS

COA 2013 – 00042 Vanwart

SPECS FOR
DOORS

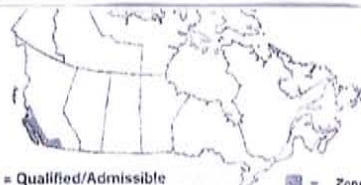
Qualified for area indicated.
Admissible pour les régions indiquées.

Canada

Admissible pour le territoire du Canada

U.S./EU

Energy Star



■ = Qualified/Admissible

■ = Zone A



ENERGY STAR® Qualified
In All 50 States



JELD-WEN
WINDOWS & DOORS
Steel Door - Wood Edge
Double-glazing with Low E
JEL-M-2-01434-00001

929

ENERGY PERFORMANCE RATINGS
EVALUACION DE RENDIMIENTO ENERGETICO

U-FACTOR FACTEUR U	SOLAR HEAT GAIN COEFFICIENT COEFFICIENT DE TRANSMISSION DE CHALEUR SOLAIRE
0.29 (U.S./I-P) 1.65 (Metric/SI)	0.17
ADDITIONAL PERFORMANCE RATINGS EVALUACION SUPLEMENTARIA DE RENDIMIENTO	
VISIBLE TRANSMITTANCE TRANSMISSION DE LUMIERE VISIBLE	
0.29	

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed unit of environmental conditions and a specific product size. NFRC does not recommend any product and does not warrant the suitability of any product for any specific use. Consult manufacturer's literature for other product performance information.
Este fabricante estipula que estos valores cumplen con los procedimientos aplicables de NFRC para determinar el rendimiento total del producto. Los valores de NFRC son determinados por un conjunto fijo de condiciones ambientales y un tamaño de producto específico. NFRC no recomienda ningún producto y no garantiza que el producto sea adecuado para un uso específico. Consulte con el fabricante del producto para el uso apropiado de este producto. www.nfrc.org

This fenestration product has been certified by the manufacturer to meet the air infiltration requirements of Section 116(a) 1, 2008 California Building Energy Standards.

JELD-WEN Windows & Doors

WARNING: Drilling, sawing, sanding or machining wood dust, a substance known to the State of California, may be produced. Use appropriate safety equipment, a respirator or other safeguards to avoid injury.

"Retain this label and accompanying information for tax credit, if applicable. See www.jeld-wen.com"

0

0

NOTICE OF PRODUCT CERTIFICATION



CERTIFICATION NO: NI006255-R4
DATE: 10/14/2005
CERTIFICATION PROGRAM: Structural
COMPANY: JELD-WEN
CODE: J-104-3
REVISION DATE: 06/08/2011

The "Notice of Product Certification" is valid only when Administrator's Seal is applied to the upper left hand portion of this form and a certification label is applied to the product. This certification seal represents product conformity to the applicable specification and that all certification criteria has been satisfied.

The product described below is approved for listing in the Directory of Certified Products at www.NAMICertification.com. Please review, and advise NAMI immediately if data, as shown, requires corrections.

COMPANY NAME AND ADDRESS	PRODUCT DESCRIPTION
JELD-WEN Exterior Doors 3737 Lakeport Boulevard Klamath Falls, OR 97601	JELD-WEN's "Steel Wood-Edge" Double In-Swing/Out-Swing Entry Doors w/ODL Impact Glass or ODL Allen Frame and Endura Ultimate Hurricane Astragal Configuration:XX Glazing: IG-0.125" Temptered Glass/ Laminate- 0.125" Annealed Glass/ 0.090" PVB by Solutia/ 0.125" Annealed Glass Frame: W- 6'2" Panel: W- 3'1" DLO: W- 1'10" H- 6'11" H- 6'7" H- 5'4"

SPECIFICATION	PRODUCT RATING
TAS 201/202/203-94	Design Pressure: +60/-60 psf Large Missile Impact Rated

Product Tested By: National Certified Testing Laboratories
Report No: NCTL-210-3195-1 (Structural/ Impact)/ NCTL-SJW2011-070
Expiration Date: September 30, 2013

Administrator's Signature: _____

NATIONAL ACCREDITATION AND
MANAGEMENT INSTITUTE, INC.
4794 George Washington Memorial Highway
Hayes, VA 23072
TEL: (804) 684-5124/ FAX: (804) 684-5122



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Certificate of Authorization: 29578

127 W. Fairbanks Ave.
Suite 438
Winter Park, FL 32789
407.644.6957 PH
407-644-2366 FX
contact@buildingdrops.com

December 12, 2011

TO: Whom It May Concern

FROM: Alexis Spyrou, P.E.
Registered Florida Professional Engineer #68101

MANUFACTURER: JELD-WEN
3737 Lakeport Blvd
Klamath Falls, OR 97601

FLORIDA PRODUCT APPROVAL #: FL14569-R1

PRODUCT CATEGORY: Exterior Doors

PRODUCT CATEGORY: Swinging Exterior Door Assemblies

SUBJECT: Product Conformance to the 2010 Florida Building Code

Dear Sir (Madam),

I have reviewed the referenced Florida Product Approval and associated documents and found all drawings, reports, referenced test standards, and associated ancillary tests as noted in the currently approved documents listed below to be in compliance with the 2010 Edition of the Florida Building Code.

It has been concluded that no revisions or changes to the referenced standards and standard years has occurred between Chapter 35 of the 2007 and Chapter 35 of the 2010 Editions of the Florida Building Code. Therefore, all test standards listed below are valid for the 2010 Edition of the Florida Building Code.

SECTION	DRAWING	REPORT	CERTIFICATE	CERT. EXP.	TEST STDS.
14569.1	JW0509-03	1398	NI006255-R4	09/30/2013	TAS 201-94 TAS 202-94 TAS 203-94

To the best of my knowledge, all referenced & included test standards, methods of installation, details, and performance ratings have been found to comply with the 2010 edition of the Florida Building Code.

This product is manufactured under a quality assurance program currently approved by the Florida Building Commission.



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Certificate of Authorization: 29578

127 W. Fairbanks Ave.

Suite 438

Winter Park, FL 32789

407.644.6957 PH

407-644-2366 FX

contact@buildingdrops.com

Please note that I do not have, nor will I acquire, a financial interest in any company manufacturing or distributing the product(s) for which the reports are being issued.

I also do not have, nor will I acquire, any financial interest with the Laboratory that performed the test(s), or with the Engineer witnessing the test(s) and sealing the test report(s).

Respectfully submitted,

Alexis Spyrou, P.E.

Florida Registered Professional Engineer #68101

ALEX SPYROU

2011.12.16 16:29:10

-05'00'

JELD-WEN® Steel

WOOD EDGE IMPACT GLAZED STEEL DOOR
6-8 OUTSWING SINGLE OR DOUBLE DOOR UNIT
UTILIZING COMPONENTS FROM ODL® INC. AND
ENDURA PRODUCTS INC.

GENERAL NOTES

- THIS PRODUCT IS DESIGNED TO COMPLY WITH THE CURRENT FLORIDA BUILDING CODE (FBC) BASE ON THE SIGNED AND SEALED DATE; INCLUDING HVHZ AND HAS BEEN EVALUATED IN ACCORDANCE WITH THE FOLLOWING:
TAS 201-94 ASTM E330-02 ASTM E1886-05
TAS 202-94 ASTM E331-00 ASTM E1996-05
TAS 203-94 ASTM E283-91
- WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
- PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
- DESIGNED PRESSURE RATING SEE TABLE I, PAGE 1.
- THIS PRODUCT MEETS THE WATER REQUIREMENTS FOR HIGH VELOCITY HURRICANE ZONE (HVHZ)
- PRODUCT DOES NOT REQUIRE SHUTTERS

RESIDENTIAL INSULATED STEEL DOOR (Common to all frame conditions)

DOOR LEAF CONSTRUCTION:

Face sheets: 24 GA (0.021" min) thickness. Galvanized steel A-525 commercial quality AKDQ per ASTM 620 with average minimum yield strength $F_y(\text{ave})=30627$ psi.

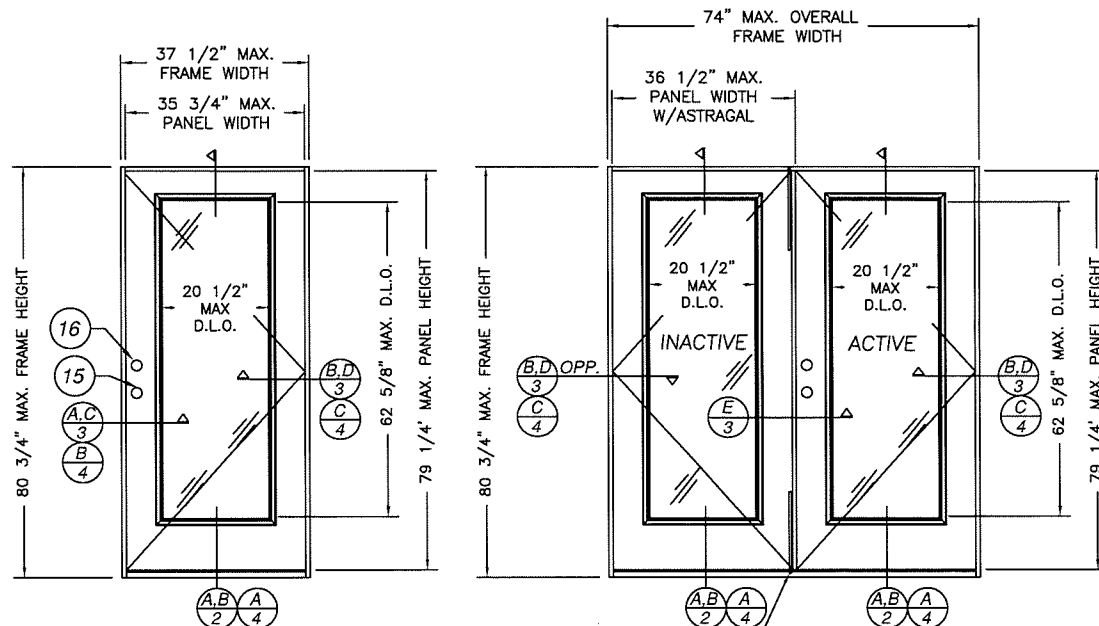
Core Design: Expanded polystyrene with 1.0 to 1.25 lbs density, by Jeld-Wen Inc.

Panel Construction: The active and inactive panels are constructed from 24 GA (0.021" min) galvanized steel. The face sheets at top and bottom are bent 90° over the top and bottom rails. The top rail measures 1.0" high x 1.688" wide. The steel bottom rail measures 1.21" high x 1.688" wide. The sides of the face sheets are roll formed into the latch and hinge stiles which measure 1.00" high x 1.688" wide. The interior cavity is filled with expanded polystyrene. The face sheets are glued to the expanded polystyrene. The panels are cut out for the two-piece ODL Aluminum ALLEN frame. Units are glazed with tempered and laminated impact 1" IG. On double door applications the inactive door is fitted with an extruded aluminum astragal of 6063-T5 alloy, manufactured by Endura.

Frame Construction: The frames are constructed of fingerjointed pine jambs measuring 4-9/16" x 1-1/4". The head jambs are mortised and butt joined to the side jambs, and attached with three (3) 16GA 7/16" crown x 2" long staples on each side. The threshold is attached to the side jambs with three (3) 16GA 7/16" crown x 2" long staples on each side.

Glazing: ODL insulated lite is 1" overall thickness, consisting of one (1) pane of 0.125" tempered glass; 0.5" air space; two (2) panes of 0.125" annealed with .090" PVB interlayer by Solutia. All lites are sandwiched glazed into the panels.

Digitally signed by Alex Spyrou
Reason: I am approving this document
Date: 2011.06.06 19:57:32 -04'00'



REF ASTRAGAL BOLT ITEM # 12

SINGLE OUTSWING UNIT (X)
SCALE: 1/2" = 1'-0"

DOUBLE OUTSWING UNIT (XX)
SCALE: 1/2" = 1'-0"

ALL DOOR MODELS ARE VIEWED
FROM THE EXTERIOR SIDE

TABLE I DESIGN PRESSURE RATING		
		APPROVED FOR USE WHERE PROTECTION FOR WATER INFILTRATION IS REQUIRED
POSITIVE		+60.0 PSF
NEGATIVE		-60.0 PSF

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	TYPICAL ELEVATIONS
2	VERTICAL CROSS SECTION & BILL OF MATERIAL
3	HORIZONTAL CROSS SECTIONS
4	OPTIONAL 1X BUCK IN MASONRY/CONCRETE CROSS SECTIONS
5	ANCHORING LOCATIONS
6	COMPONENT DETAILS
7	UNIT COMPONENTS

NOTES:

- ALL VIEWS FROM EXTERIOR.
- FOR HORIZONTAL ANCHOR IN 1X BUCK OPTION IN MASONRY/CONCRETE. SEE SHEET 4 FOR DETAILS.
- FOR VERTICAL ANCHOR IN 1X BUCK OPTION IN MASONRY/CONCRETE. SEE SHEET 4 FOR DETAILS.

ALEXIS SPYROU
FLORIDA P.E. NO. 68101
CERTWORKS, LLC.
127 W. FAIRBANKS AVE. STE. 438
WINTER PARK, FL 32789
FBPE CERT. OF AUTH. NO. 28520

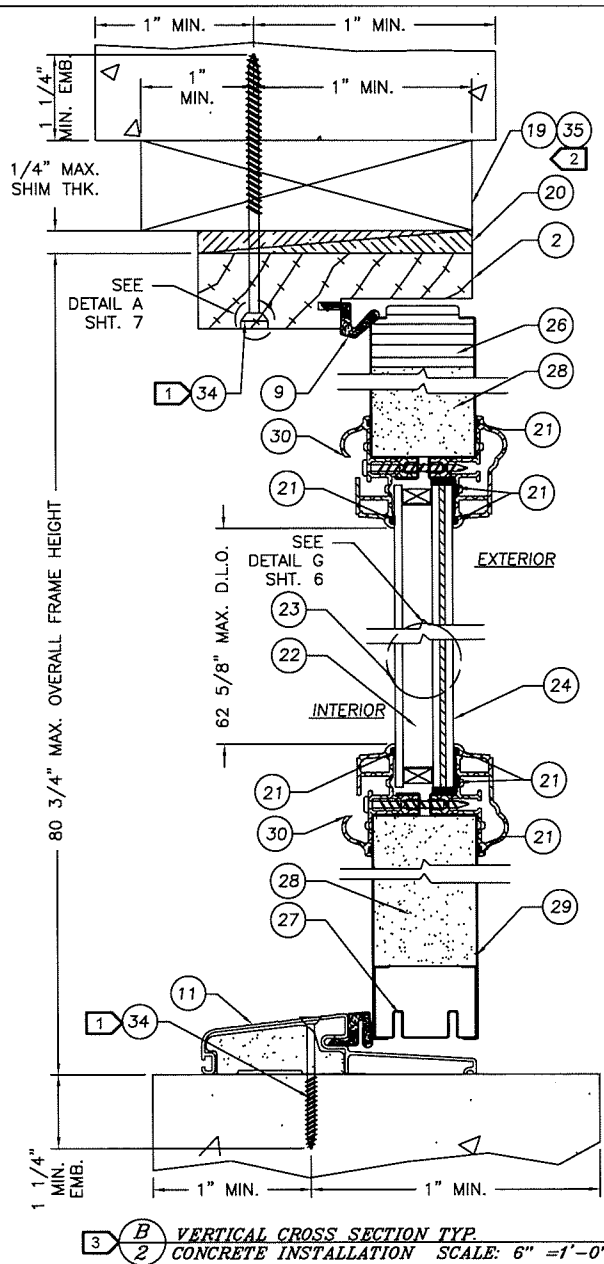
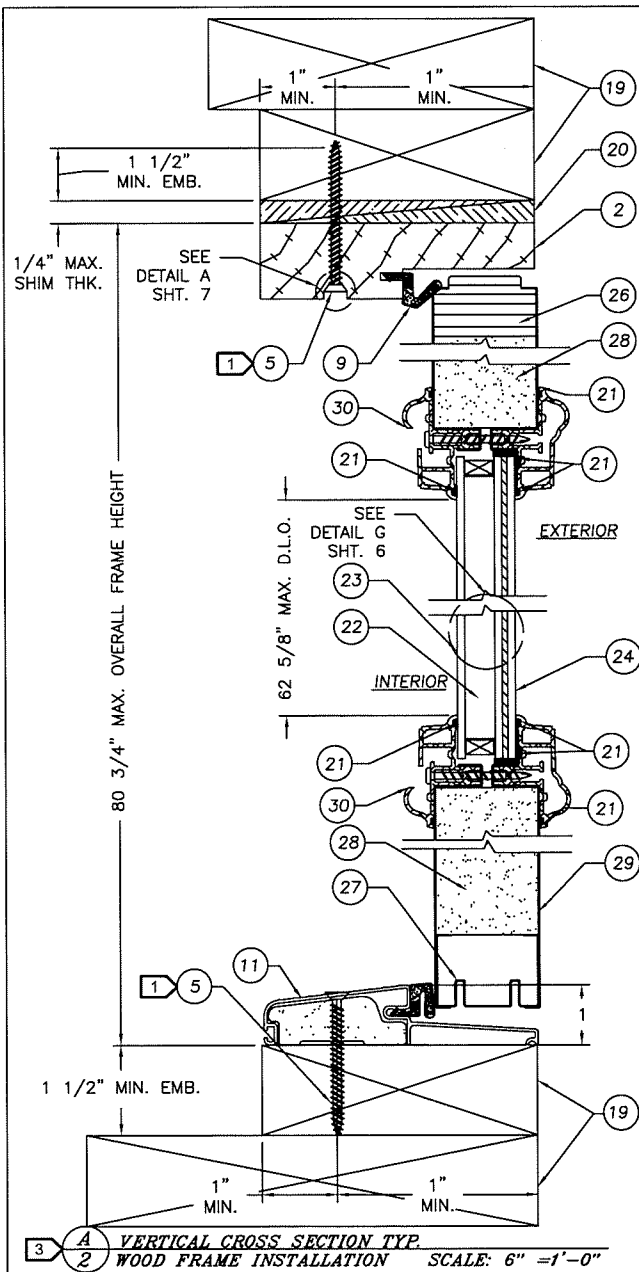
JELD-WEN®
WINDOWS & DOORS

3737 Lakeport Blvd.
Klamath Falls, Oregon 97601
Ph. (541) 882-3451
Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE

PART OR ASSEMBLY:
TYPICAL ELEVATIONS &
GENERAL NOTES

NO.	DATE	REVISIONS
D	11/17/10	GENERAL REVISION
C	2/5/08	ADD CONC. DWG. EAG
B	4/8/06	GENERAL REVISION
A	12/17/04	GENERAL REVISION
DATE	2/5/08	
SCALE	AS NOTED	
DWG. BY	EAG	
CHK. BY	S. SAFFELL	
DRAWING NO.	JW0509-03	
SHEET	1 OF 7	



Item	DESCRIPTION	Material
1	SIDE JAMB (1 1/4" x 4 9/16" FINGERJOINTED PINE)	PINE
2	HEAD JAMB (1 1/4" x 4 9/16" FINGERJOINTED PINE)	PINE
3	4" x 4" BUTT HINGE 12GA. (.089" MIN)	STEEL
4	#9 x 1" PHILLIPS FLATHEAD WOOD SCREW	STEEL
5	#10 PHILLIPS HD SCREW WITH 1 1/2" MIN. EMBED.	STEEL
6	#10 x 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
7	#8 x 3" PHILLIPS FLATHEAD WOOD SCREW	STEEL
8	#8x1" PHILLIPS FLAT HEAD WOOD SCREW	STEEL
9	COMPRESSION WEATHERSTRIP (Q-LON QDS-650)	VINYL
11	OUTSWING THRESHOLD (ENDURA)	ALUMINUM
12	ASTRAGAL THROW BOLT, STEEL ROD, 5/16" x 18"	STEEL
13	ASTRAGAL BOLT STRIKE PLATE LOCATED ON HEAD JAMB	STEEL
14	16 Ga. 7/16" CROWN x 2" LONG STAPLES	STEEL
15	KWIKSET LOCK SERIES 400	STEEL
16	KWIKSET DEADBOLT SERIES 780	STEEL
17	ENDURA ULTIMATE HURRICANE ASTRAGAL	ALUMINUM
18	ASTRAGAL BOLT STRIKE PLATE ON BOTTOM SILL	
19	2x WOOD BUCK	WOOD
20	NON COMPRESSION SHIM	WOOD
21	DOW 995 SILICONE SEALANT	SILICONE
22	1" IMPACT IG ASSEMBLY BY ODL	GLASS
23	1/8" TEMPERED GLASS	GLASS
24	3/8" LAMINATED ANNEALED GLASS	GLASS
25	LOCK BLOCK (SOLID WOOD x 12" L6)	WOOD
26	TOP RAIL (LVL)	LVL
27	BOTTOM RAIL (25GA MIN GALVANIZED STEEL)	STEEL
28	EXPANDED POLYSTYRENE (1.0 TO 1.25lbs DENSITY BY JELD-WEN)	FOAM
29	STEEL DOOR PANEL SKIN MATERIAL (24GA GALVANIZED)	STEEL
30	A-525 COMMERCIAL QUALITY 0.021" MIN. THICK.)	GALVANIZED
31	ODL LITE ALLEN FRAME (ALUM 8063 T5)	ALUMINUM
32	HINGE SIDE STILE (FINGER JOINTED LVL)	LVL
33	LATCH SIDE STILE (FINGER JOINTED LVL)	LVL
34	#8 x 2" PHILLIPS FLATHEAD WOOD SCREW	STEEL
35	3/16" ITW BUILDEX TAPCON WITH 1.25" MIN. EMBEDMENT	STEEL
	OPTIONAL 1x WOOD BUCK	WOOD

NOTES:

- 1 FOR TAPCON MASONRY AND WOOD SCREW ANCHOR SPACING (ITEMS #5 & #34), SEE SHEET 5.
- 2 FOR VERTICAL ANCHOR IN 1X BUCK OPTION IN MASONRY/CONCRETE. SEE SHEET 4 FOR DETAILS.
- 3 OPTIONALLY, ANCHOR CAN BE PLACED IN NARROW SECTION OF HEAD OR JAMB AS LONG AS MINIMUM EMBEDMENT IS ACHIEVED.

ALEXIS SPYROU
 FLORIDA P.E. NO. 68101
 CERTWORKS, LLC.
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 WINTER PARK, FL 32789
 FBPE CERT. OF AUTH. NO. 28520

JELD-WEN
 WINDOWS & DOORS

3737 Lakeport Blvd.
 Klamath Falls, Oregon 97601
 Ph. (541) 882-3451
 Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
 STEEL DOOR 6-8 OUTSWING
 SINGLE OR DOUBLE

PART OR ASSEMBLY:
 VERTICAL CROSS SECTIONS
 BILL OF MATERIAL

NO.	DATE	REVISIONS	BY
D 11/17/10		GENERAL REVISION	GL
C 2/5/08		ADD CONC. DWG. EAG	
B 4/8/06		GENERAL REVISION	DREW
A 12/17/04		GENERAL REVISION	

DATE: 2/5/08

SCALE: AS NOTED

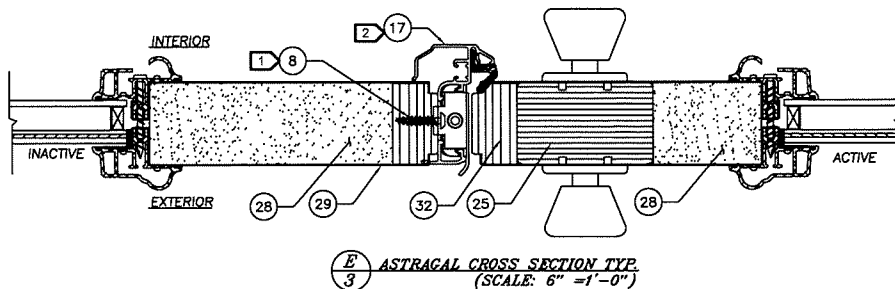
DWG. BY: EAG

CHK. BY: S. SAFFELL

DRAWING NO.:

JW0509-03

SHEET 2 OF 7



NOTES:

- 1 ASTAGAL FASTENER SPACING DETAIL F, SHEET 6. (TOTAL OF 14 SCREWS).
- 2 LATCH AND DEADBOLT STRIKE PLATES MOUNT TO ASTRAGAL WITH ADJUSTABLE NUT PLATES. BOTH PLATES REQUIRE #8 X 3" PHILLIPS FLAT HEAD WOOD SCREWS.
- 3 2x BUCK TO SUBSTRATE FASTENING MAY UTILIZE OPTIONAL 3/16" ITW BUILDDEX TAPCON.
- 4 FOR TAPCON MASONRY AND WOOD SCREW ANCHOR SPACING (ITEMS #5 & #34), SEE SHEET 5.
- 5 FOR HORIZONTAL ANCHOR IN 1X BUCK OPTION IN MASONRY/CONCRETE. SEE SHEET 4 FOR DETAILS.
- 6 OPTIONALLY, ANCHOR CAN BE PLACED IN NARROW SECTION OF HEAD OR JAMB AS LONG AS MINIMUM EMBEDMENT IS ACHIEVED.

JELD-WEN.
WINDOWS & DOORS

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Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE

FOR OR ASSEMBLY:
HORIZONTAL CROSS SECTIONS

A 12/17/04	GENERAL F
NO.	DATE
REVISIONS	

DATE: 2/5/08

SCALE: AS NOTED

DWG. BY: EAG

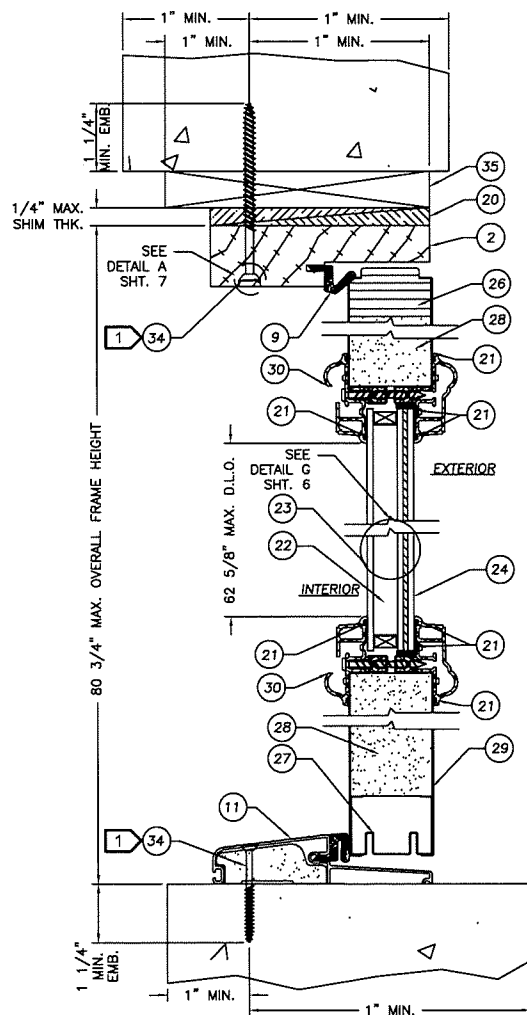
CHK. BY: S. SAFFELL

DRAWING NO.:

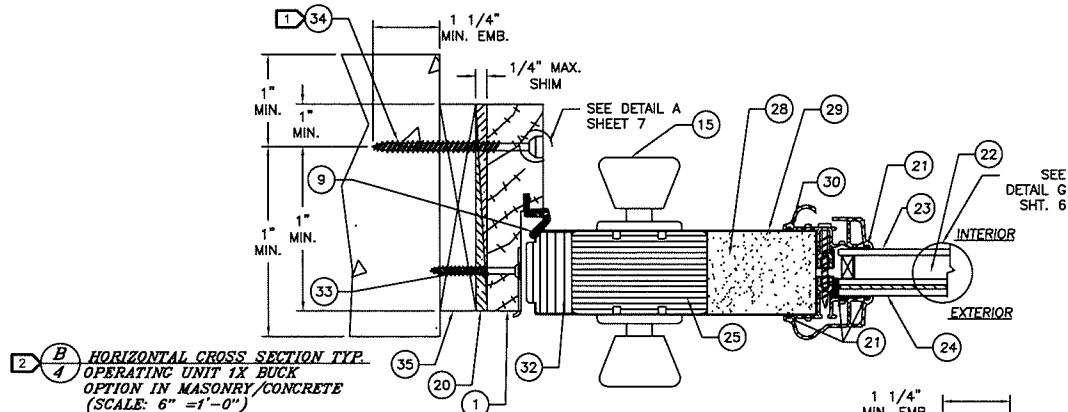
JW0509-03

SHEET 3 OF 7

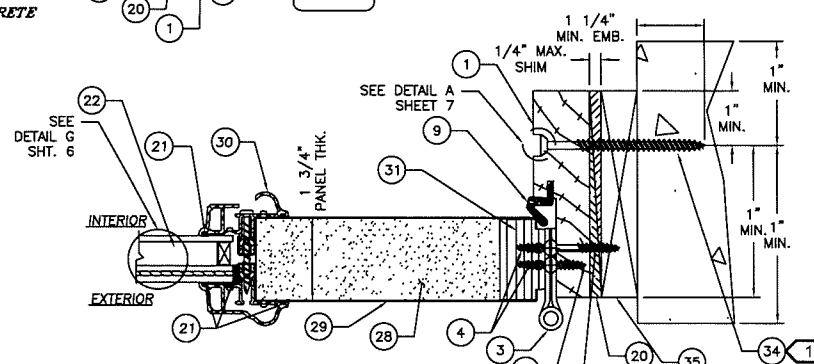
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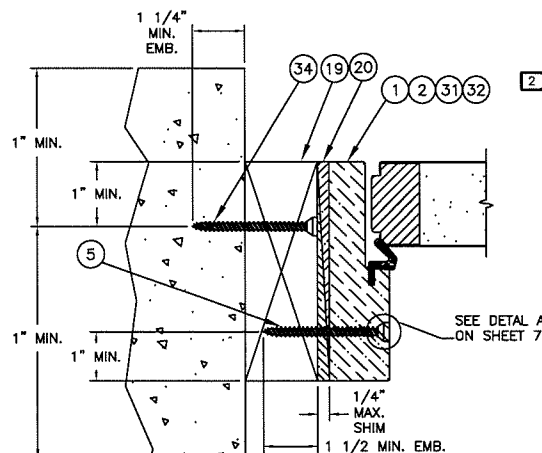
2 A VERTICAL CROSS SECTION TYP.
OPERATING UNIT 1X BUCK
OPTION IN MASONRY/CONCRETE
(SCALE: 6" = 1'-0")



2 B HORIZONTAL CROSS SECTION TYP.
OPERATING UNIT 1X BUCK
OPTION IN MASONRY/CONCRETE
(SCALE: 6" = 1'-0")



2 C HORIZONTAL CROSS SECTION TYP.
OPERATING UNIT 1X BUCK
OPTION IN MASONRY/CONCRETE
RIGHT HINGE SHOWN, LEFT HINGE OPPOSITE SHOWN
(SCALE: 6" = 1'-0")



CONCRETE/
MASONRY
BY
OTHERS

OPTIONAL MASONRY/CONCRETE INSTALL
CROSS SECTION OF HEAD OR JAMB

NOTES:

- 1 FOR TAPCON MASONRY AND WOOD SCREW ANCHOR SPACING (ITEMS #5 & #34), SEE SHEET 5.
- 2 OPTIONALLY, ANCHOR CAN BE PLACED IN NARROW SECTION OF HEAD OR JAMB AS LONG AS MINIMUM EMBEDMENT IS ACHIEVED.

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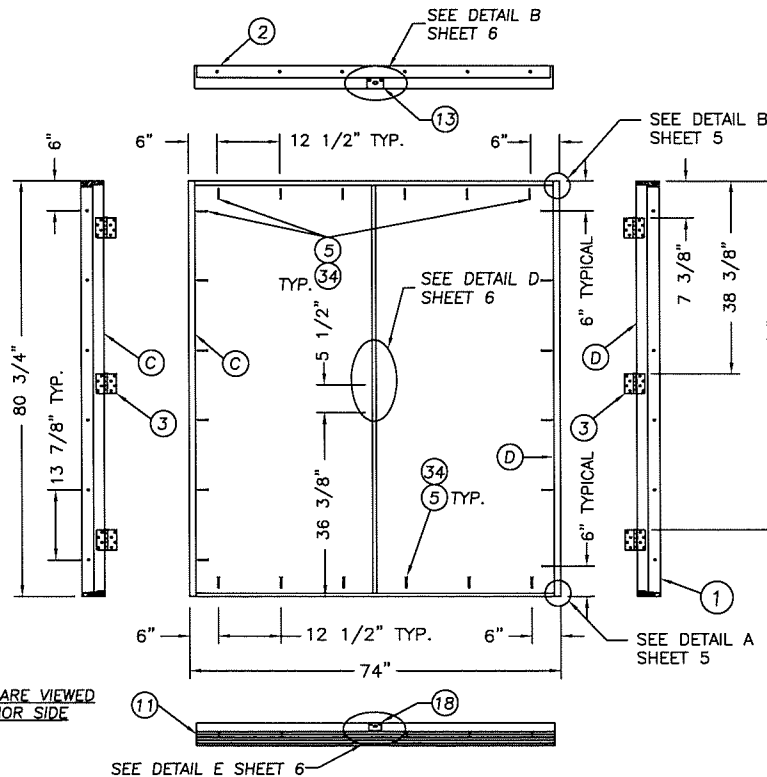
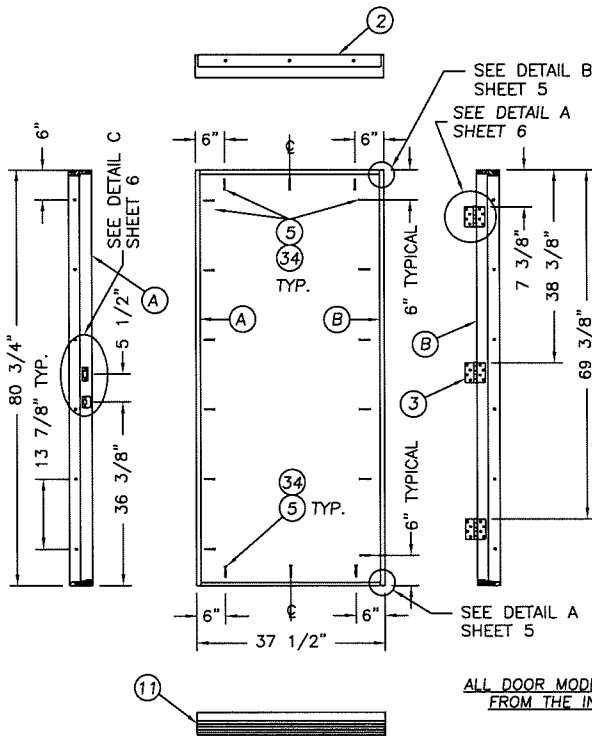
JELBOWEN
WINDOWS & DOORS

3737 Lakewood Blvd.
Klamath Falls, Oregon 97601
Ph. (541) 882-3451
Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE
PART OR ASSEMBLY:
1X BUCK & OPTIONAL INSTALL IN
CONCRETE/MASONRY CROSS SECTIONS

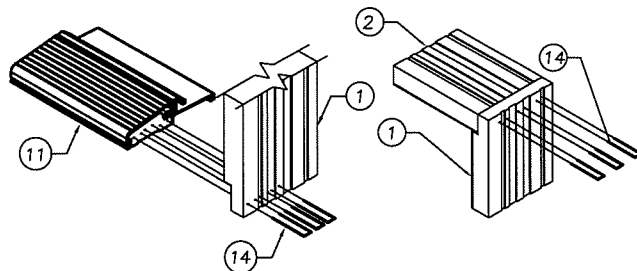
NO.	DATE	REVISIONS
D	11/17/10	GENERAL REVISION GL
C	2/5/08	ADD CONC. DWG. LEAG
B	4/8/06	GENERAL REVISION DREW
A	12/17/04	GENERAL REVISION

DATE: 2/5/08
SCALE: AS NOTED
DWG. BY: EAG
CHK. BY: S. SAFFELL
DRAWING NO.: JW0509-03
SHEET 4 OF 7



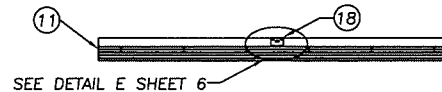
ALL DOOR MODELS ARE VIEWED
FROM THE INTERIOR SIDE

ANCHORING LOCATIONS
OUTSWING SINGLE UNIT (X)
SCALE: 1/2" = 1'-0"



DETAIL A
SCALE: 3" = 1'-0"

ANCHORING LOCATIONS DOUBLE
OUTSWING UNIT (XX)
SCALE: 1/2" = 1'-0"



DETAIL B
SCALE: 3" = 1'-0"

JELD-BEN
WINDOWS & DOORS

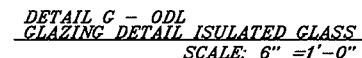
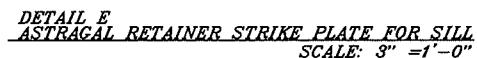
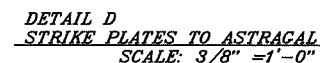
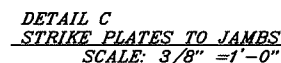
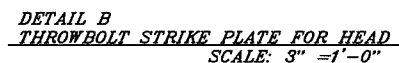
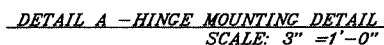
3737 Lakeport Blvd.
Klamath Falls, Oregon 97601
Ph. (541) 882-3451
Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE
PART OR ASSEMBLY:
ANCHORING LOCATIONS
& DETAILS

NO.	DATE	BY	REVISIONS
D	11/17/10	GL	GENERAL REVISION
C	2/5/08	EAG	ADD CONC. DWG.
B	4/8/06	DREW	GENERAL REVISION
A	12/17/04		GENERAL REVISION

DATE: 2/5/08
SCALE: AS NOTED
DWG. BY: EAG
CHK. BY: S. SAFFELL
DRAWING NO.: JW0509-03
SHEET 5 OF 7

ALEXIS SPYROU
FLORIDA P.E. NO. 68101
CERTWORKS, LLC.
127 W. FAIRBANKS AVE. STE. 438
WINTER PARK, FL 32789
FBPE CERT. OF AUTH. NO. 28520



JELD-WEN.
WINDOWS & DOORS

3737 Lakeport Blvd.
Klamath Falls, Oregon 97601
Ph. (541) 882-3451
Fax (541) 850-2609

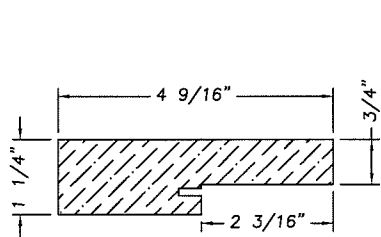
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STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE

ASSEMBLY:
COMPONENT DETAILS

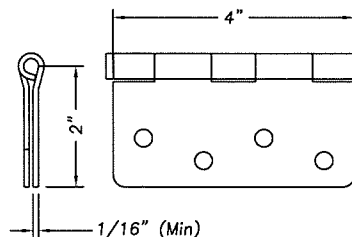
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C	2/5/08	ADD CONC. DWG.	EAG				
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A	12/17/04	GENERAL REVISION					
NOI	DATE		BY				

SHEET 6 OF 7

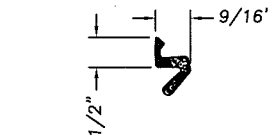
ALEXIS SPYROU
FLORIDA P.E. NO. 68101
CERTWORKS, LLC.
127 W. FAIRBANKS AVE. STE. 438
WINTER PARK, FL 32789
FBPE CERT. OF AUTH. NO. 28520



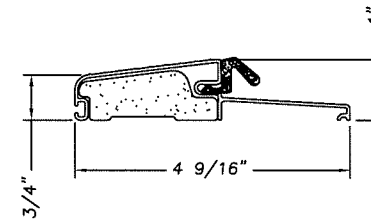
1 **WOOD JAMB FINGERJOINTED PINE**
SCALE: 6" = 1'-0"



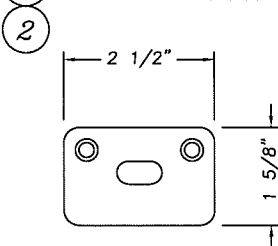
3 **BUTT HINGE 4x4x12 GA.**
SCALE: 6" = 1'-0"



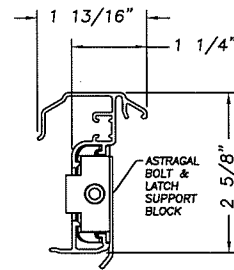
9 **COMPRESSION WEATHERSTRIP**
QDS-650 SCALE: 6" = 1'-0"



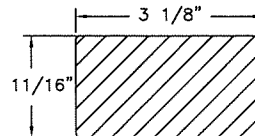
11 **OUTSWING THRESHOLD (ENDURA)**
SCALE: 6" = 1'-0"



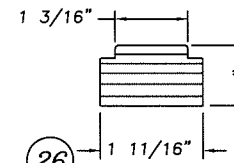
13 **ASTRAGAL STRIKE PLATE**
SCALE: 6" = 1'-0"



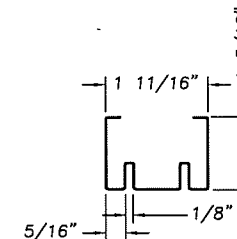
17 **ENDURA ALUMINUM ASTRAGAL**
SCALE: 6" = 1'-0"



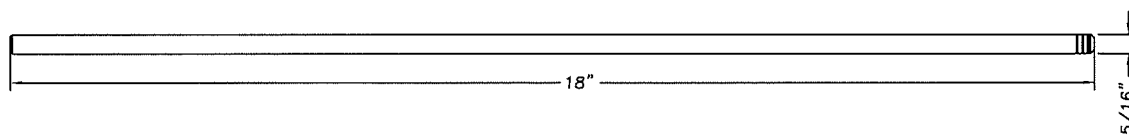
25 **LOCK BLOCK - WOOD**
SCALE: 6" = 1'-0"



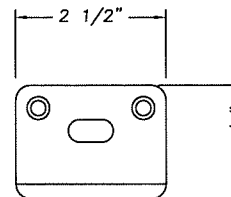
26 **TOP RAIL (LVL)**
27 **HINGE STILE (LVL)**
28 **LATCH STILE (LVL)**
SCALE: 6" = 1'-0"



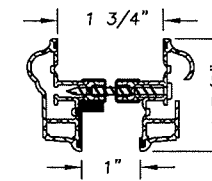
29 **BOTTOM RAIL (LVL)**
30 **HINGE STILE (LVL)**
31 **LATCH STILE (LVL)**
SCALE: 6" = 1'-0"



12 **ASTRAGAL BOLT**
MAT - C/R STEEL ROD
ZINC & YELLOW CHROMATE
SCALE: 6" = 1'-0"



18 **ASTRAGAL SILL STRIKE PLATE**
SCALE: 6" = 1'-0"



30 **ODL ALLEN FRAME ALUMINUM 6063 T5**
SCALE: 6" = 1'-0"

NOTE
1-USE #10 WOOD INSTALLATION SCREW W/ 1 1/2" MIN. EMBEDMENT WHEN INSTALLING INTO WOOD SUBSTRATE AT HEAD & JAMBS.
2-USE #8 x 2 1/2" PFH WOOD SCREW WHEN INSTALLING INTO MULLIONS.
3-USE 3/16" ITW TAPCON ANCHOR W/ 1 1/4" MIN. EMBED. WHEN INSTALLING INTO CONCRETE/MASONRY SUBSTRATE AT SIDELITE SILLS.

DETAIL A - COUNTERSINK DETAIL
SCALE: 1/4" = 1'-0"

JELD-WEN
WINDOWS & DOORS

3737 Lakeport Blvd.
Klamath Falls, Oregon 97601
Ph. (541) 882-3451
Fax (541) 850-2609

PRODUCT: WOOD EDGE IMPACT GLAZED
STEEL DOOR 6-8 OUTSWING
SINGLE OR DOUBLE

PART OR ASSEMBLY:
UNIT COMPONENTS

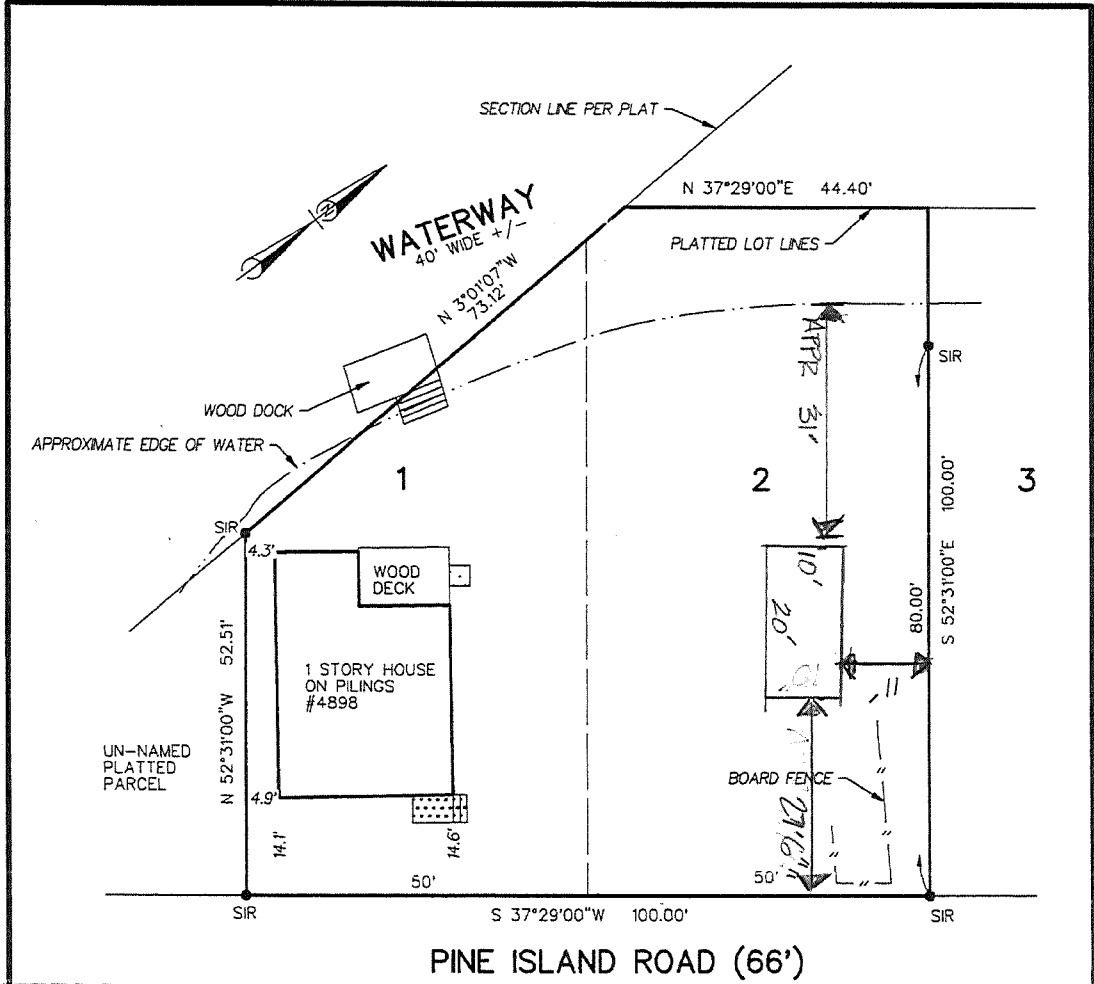
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D 11/17/10	GENERAL REVISION	GL	
C 2/5/08	ADD CONC. DWG. EAG		
B 4/8/06	GENERAL REVISION	DREW	
A 12/17/04	GENERAL REVISION		

DATE: 2/5/08
SCALE: AS NOTED
DWG. BY: EAG
CHK. BY: S. SAFFELL
DRAWING NO.: JW0509-03
SHEET 7 OF 7

ALEXIS SPYROU
FLORIDA P.E. NO. 55101
CERTWORKS, LLC.
127 W. FAIRBANKS AVE. STE. 438
WINTER PARK, FL 32789
FBPE CERT. OF AUTH. NO. 28520

COA 2013 – 00042 Vanwart

PLANS AND SPECS
FOR SHED



BOUNDARY SURVEY

LOTS 1 AND 2, BLOCK 3
PINE ISLAND FILL SUBDIVISION
PLAT BOOK 8, PAGE 86
LEE COUNTY, FLORIDA

CERTIFIED TO:
MICHAEL VAN WART

BASIS FOR BEARINGS: PINE ISLAND ROAD - ASSUMED BEARING		SCALE: 0 20	SURVEY DATE: 1/02/13
COMMUNITY NUMBER: 125124	MAP & PANEL NUMBER: 12071C0380	SUFFIX: F	DATE OF PRM INDEX: 8/28/08
PRM ZONE: AE		BASE FLOOD ELEVATION: 8	
<p>FR = FOUND IRON ROD FP = FOUND IRON PIPE FDH = FOUND DRILL HOLE FCM = FOUND CONCRETE MONUMENT SR = SET IRON ROD 1/2" LB #7075 PUE = PUBLIC UTILITY EASEMENT PU & DE = PUBLIC UTILITY & DRAINAGE EASEMENT SN&D = SET NAIL & DISK LB #7075 PRM = PERMANENT REFERENCE MONUMENT FN&D = FOUND NAIL & DISK POB = POINT OF BEGINNING FE COR = FENCE CORNER CONC = CONCRETE * = NOT FIELD MEASURED LME = LAKE MAINTENANCE EASEMENT DE = DRAINAGE EASEMENT</p> <p>LEGEND</p> <p>+0.0 = EXISTING ELEVATION ■ = UTILITY RISER ● = UTILITY POLE ⊙ = FIRE HYDRANT ☐ = CATCH BASIN (P) = PLAT (F) = FIELD (O) = ODD (C) = COMPUTED ---X--- = WIRE FENCE ---/--- = WOOD FENCE NAVD = NORTH AMERICAN VERTICAL DATUM OF 1988</p> <p>THIS SURVEY IS HEREBY CERTIFIED CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM FROM ENCUMBRANCES.</p> <p>NO UNDERGROUND STRUCTURES HAVE BEEN LOCATED BY THIS SURVEY. ANY REFERENCE TO UNDERGROUND STRUCTURES IF ANY IS APPROXIMATE.</p> <p>UNLESS OTHERWISE SHOWN ALL FIELD MEASURED DIRECTIONS AND DISTANCES ARE IN SUBSTANTIAL AGREEMENT WITH THE DIRECTIONS & DISTANCES OF RECORD FOR THE PARCEL SURVEYED.</p> <p>THIS SURVEY MAY NOT BE USED BY OTHER THAN THE CERTIFIED TO PARTIES, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.</p> <p>1/03/13</p> <p>C.E. DAVIS, CERTIFICATE NO. 4839 -OR- ERIC C. DAVIS, PSM # 5544 LB #7075</p> <p>JOB NUMBER: 12-1121</p>			
<p>DAVIS SURVEYING INC. WWW.DAVISLANDSURVEYS.COM</p>		<p>4536 SE 16th PLACE SUITE 3 CAPE CORAL, FLORIDA 33904 TEL(239)549-6454 FAX(239)549-2548 CONTACT@DAVISLANDSURVEYS.COM</p>	

160 mph - Standard Wood Shed Master Plan

GENERAL NOTES:

1. THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2009 IBC BUILDING CODE & 2010 FLORIDA BUILDING CODE. WIND LOADING DESIGNED IN ACCORDANCE WITH THE ASCE - 7-10.
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSION.
4. OUTSIDE OVERALL DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
5. LUMBER USED FOR CONSTRUCTION SHALL BE AS FOLLOWS:

FLOOR JOISTS- 2x4 S.Y.P.#2-(12-15% MOISTURE CONTENT)

2x6 S.Y.P.#2-(12-15% MOISTURE CONTENT)

2x8 S.Y.P.#2-(12-15% MOISTURE CONTENT)

WALL STUDS- 2x4 S.Y.P.#1-(12-15% MOISTURE CONTENT)

ROOF RAFTERS- 2x4 S.Y.P.#1-(12-15% MOISTURE CONTENT)

2x6 S.Y.P.#1-(12-15% MOISTURE CONTENT)

COLLAR TIES- 2x4 S.Y.P.#1-(12-15% MOISTURE CONTENT)

WINDOW SILLS- 2x4 S.Y.P.#1-(12-15% MOISTURE CONTENT)

6. ALL OF THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED: SKIDS, FLOOR JOISTS AND 3/4" T&G FLOOR SHEATHING
7. TRUSS DESIGNED TO SUPPORT D.L.+L.L.=30 P.S.F.
8. HANDICAP ACCESS TO BUILDING IS FIELD INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
9. ALL ALUMINUM TO BE 3005-3105 ALLOY WITH 32,000 PSI MINIMUM YIELD STRENGTH.
10. ROOF SLOPE SHALL BE 3:12 WHEN SHINGLES ARE APPLIED, SEE FBC 1507.2 FOR SHINGLE REQUIREMENTS. ROOF SLOPE FOR METAL ROOFS SHALL MEET MANUFACTURER'S RECOMMENDATIONS.
11. ROOF RAFTERS SHALL HAVE THE SAME SPACING AS THE WALL STUDS AND SHALL BE LOCATED DIRECTLY OVER THE WALL STUD.
12. ROOF SLOPES BETWEEN 2:12 AND 4:12 SHALL HAVE A DOUBLE UNDERLAYMENT APPLICATION IN ACCORDANCE WITH SECTION 1507.2.8 OF THE F.B.C. 2010
13. WHEN ROOFING PANELS ARE PLACED VERTICALLY DADO IN 1x4's AT 24" O.C., MAX. FASTEN TO EACH RAFTER w/ (3) - 0.131" x 2 1/4" LONG GUN NAILS.
14. ANCHORS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE LOCAL CODES AND THIS IS NOT A FOUNDATION DESIGN.
15. BUILDING IS CLASSIFIED AS TYPE "S" (STORAGE)
16. ALUMINUM WINDOWS - TYPE, SIZE, QUANTITY, AND LOCATION MAY VARY.
17. ALL FASTENERS INTO P.T. WOOD SHALL BE HOT DIPPED GALVANIZED FASTENERS.
18. MANUFACTURER INSTALLATION STANDARDS SHALL BE FOLLOWED IN ORDER FOR THESE DESIGN DRAWINGS TO ACCURATELY REFLECT FIELD PERFORMANCE CONDITIONS.
19. THESE STRUCTURES SHALL NOT BE USED FOR COMBUSTIBLE OR HAZARDOUS MATERIAL.

Handi-House

P.O. Box 830
Swainsboro, GA 30401

Sheet Index

S1.0	Cover - General & Design Notes
S1.1	Electrical & General Floor Plan
S1.2	Skids & Floor Framing Plan
S1.3	Skid and Floor Framing Details
S1.4	Openings Schedule & Framing
S1.5	Roof Framing & Schedule
S1.6	Typical Frame Section Details
S1.7	End Wall Frame Options

GENERAL NOTES CONTINUED:

20. OPTIONAL EXTERIOR WALL COVERINGS INCLUDE CORRUGATED ALUMINUM, MASA ALUMINUM, 4" LAP ALUMINUM, 5/8" P.T. T1-11 SIDING, VINYL SIDING WITH ENERGY BRACE BACKER, HARDI BOARD, STEEL SIDING AND "PLEKO" STUCCO ON 5/8" DENSE GLASS GOLD.
21. ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY.
22. DOOR SHALL BE 2 1/4" x 11/16" ALUMINUM EXTRUDED FRAME WITH AN ALUMINUM PANEL INSERT. ALUMINUM TRIM AND ALUMINUM PIANO HINGE ATTACHED WITH ALUMINUM RIVETS. DOOR ATTACHED TO VERTICAL 2x4.
23. OPTIONAL DOORS INCLUDE DOUBLE ALUMINUM DOORS, GARAGE DOORS, 60" x 72" ALUMINUM DOOR, 32" AND 48" SINGLE DOORS, AND PRE HUNG STEEL DOORS. TYPE, SIZE, QUANTITY, AND LOCATION MAY VARY.
24. PREMANUFACTURED DOORS THAT MEET APPLICABLE CODES MAY BE USED INSTEAD OF DOORS LISTED ABOVE
25. MAXIMUM WALL HEIGHT TO BE 8'-0", STUD AND RAFTER SPACING SHALL BE 16" O.C., Max. FOR ANY WALL HEIGHT ABOVE 7'-0", WALLS UNDER 7'-0" IN HEIGHT MAY HAVE FRAMING SPACED AT 24" O.C., Max.
26. ALL BRAND MATERIALS SPECIFIED MAY BE SUBSTITUTED FOR EQUIVALENT OR GREATER PRODUCT.
27. ALL BUILDINGS (EXCEPT THOSE IN USE AS AN ACCESSORY BUILDING FOR A ONE OR TWO FAMILY DWELLING UNDER 400sq.ft.) MUST HAVE ATLEAST (1) 32"x80" (MIN.) DOOR.

DESIGN PARAMETERS: (HIP-GABLE ROOF)

[WIND DESIGN PER ASCE 7-10, SEISMIC DESIGN PER AISC 341-05]

1. WIND VELOCITY: 160mph Gate 3/19/12 Plan No. 12EN224 SW5
 2. WIND IMPORTANCE FACTOR: 1.0 Approved By: R. Haney
 3. WIND EXPOSURE: C Richard J. Bullock
 4. INT. PRESSURE COEFFICIENT: 0.18 ± Modular Building Plans Examined for Florida Certificate 224-001
 5. ENCLOSURE CLASSIFICATION: ENCLOSED
 6. COMPONENTS AND CLADDING:
 - ROOF LOAD (ZONE #1): +21.0/-42.8 PSF
 - ROOF LOAD (ZONE #2): +21.0/-60.3 PSF
 - ROOF LOAD (ZONE #3): +21.0/-95.2 PSF
 - WALL LOAD (ZONE #4): +45.50/-49.80 PSF
 - WALL LOAD (ZONE #5): +46.30/-58.50 PSF
 - WALL LOAD (ZONE #4#5): +45.90/-54.20 PSF
 7. FLOOR DESIGN LIVE LOAD: 125 PSF
 8. FLOOR DESIGN DEAD LOAD: 12 PSF
 9. ROOF DESIGN LIVE LOAD: 20 PSF
 10. ROOF DESIGN DEAD LOAD: SELF WEIGHT
 11. WALL DESIGN LOAD: 8 PSF
 12. COMBINATION LOADS: AS PER ASCE 7-10
 13. SEISMIC USE GROUP: B
 14. BUILDING CATEGORY: I
 15. BUILDING OCCUPANCY: STORAGE - NON HABITABLE
 16. CONSTRUCTION TYPE: V B
 17. ALLOWABLE FLOORS: 1
 18. EXTERIOR WALL FIRE RATING: 0
 19. DESIGN OVERHANG: 8 INCH
 20. DESIGN MEETS INTERNATIONAL BUILDING CODE 2009 & FLORIDA BUILDING CODE 2010
 21. THE CONTRACTOR/MANUFACTURER MUST COMPLY WITH THE FOLLOWING CODES:
 - 2010 FLORIDA BUILDING CODE
 - 2010 FLORIDA MECHANICAL CODE
 - 2010 FLORIDA PLUMBING CODE
 - 2012 FLORIDA ACCESSIBILITY CODE
 - 2009 INTERNATIONAL BUILDING CODE
- THESE BUILDINGS ARE EXEMPT FROM THE THE 2010 FBC ENERGY CODE IN ACCORDANCE WITH 101.5.2

SITE INSTALLED ITEMS:

1. THE COMPLETE FOUNDATION SUPPORT AND TIE-DOWN SYSTEM.
 2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
 3. ELECTRICAL SERVICE HOOKUP (INCLUDING FEEDERS) TO THE BUILDING.
 4. ROOF DRAINAGE SHALL COMPLY WITH F.B.C. 2010 1503 AND R318.6
- NOTE: THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

Approval Stamps:

Working as agent for DCA
These Prints comply with the
Florida Manufactured Bldg
Act and adopted Codes and
Adhere to the following Criteria:
Construction Type S
Occupancy S
Allowable # floors 1
Wind Velocity 160
Fire Rating of Ext. Walls 0
Plan # 12EN224 SW5
Allow. Floor Load 125
Approval Date 3/19/12
Print: Handi-House
Approve of this Document does not
Authorize or Approve any Deviation
from the requirements of applicable
State Laws

NDI
"APPROVED"
DOCUMENT

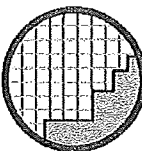
03/19/12

Richard J. Bullock

Sheet Number:

S1.0

1 of 8



Haney Associates, Inc.
Engineering & Construction Planning
P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

These Plans Were Designed in
Accordance with the 2010 Florida
Building Code for a Wind Speed of
160 m.p.h.

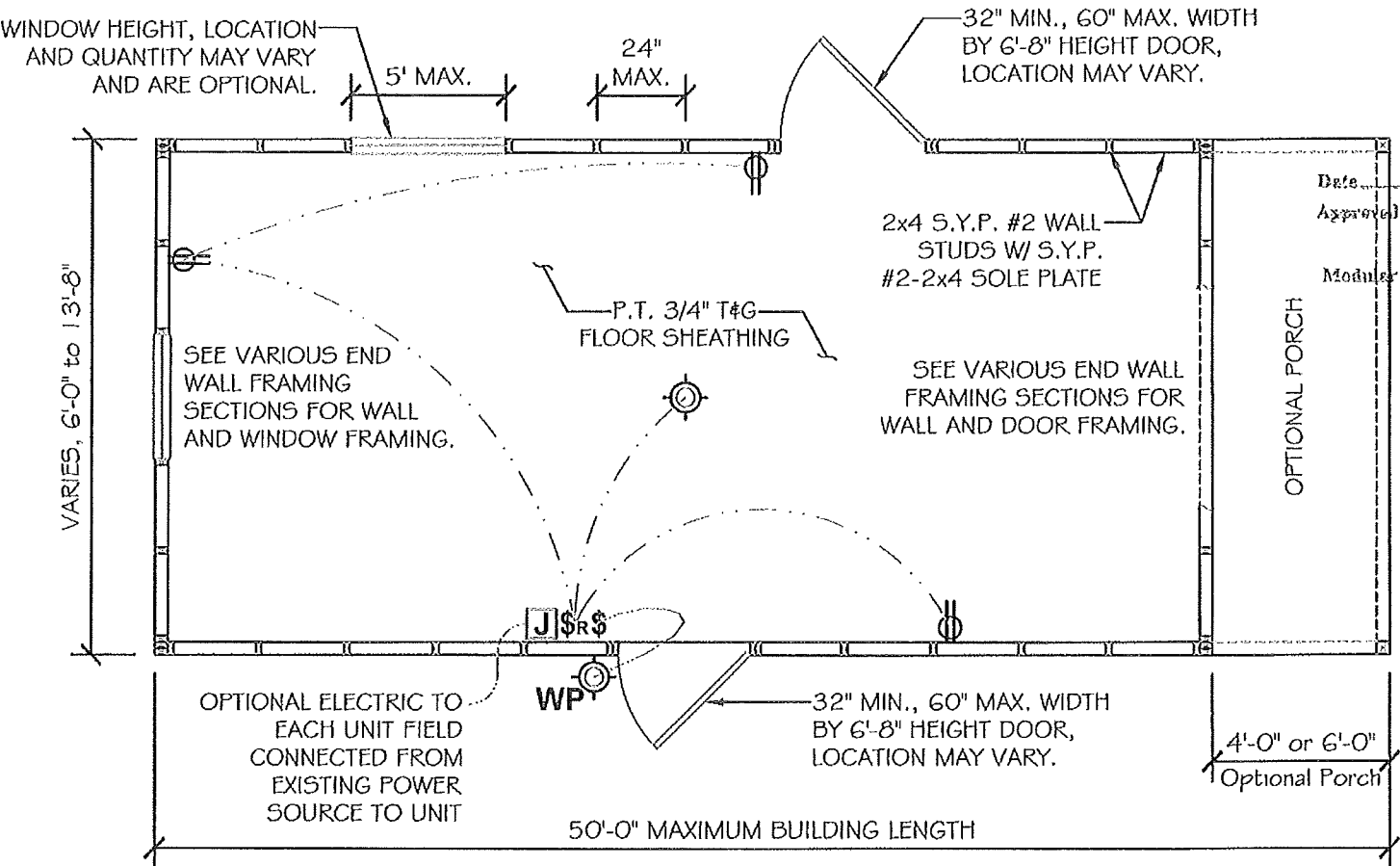
Standard Wood Shed Master
Handi-House
P.O. Box 830
Swainsboro, GA 30401

Designed By: Project No.
O.R.H. 12EN224
Checked By: Date:
C.L.A. 03/19/12

ELECTRICAL NOTES:

- 1. WHEN AIR CONDITIONING IS INSTALLED IN THIS BUILDING, IT SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR AND ELECTRICAL CONTRACTOR TO VERIFY WIRE AND BREAKER SIZES FOR ACTUAL HVAC UNIT(S) INSTALLED ALL WIRING TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE LATEST EDITION.
- 2. FLEXIBLE CONDUIT FOR LIGHT FIXTURES.
- 3. EACH CIRCUIT IS TO HAVE CONTINUOUS SOLID COPPER INSULATED GROUND WIRE CONNECTED TO EQUIPMENT GROUND BAR IN THE MAIN DISTRIBUTION PANEL.
- 4. EQUIPMENT GROUND BAR IN MAIN DISTRIBUTION PANEL IS TO BE GROUNDED TO MINIMUM 10'-0" COPPER CLAD EARTH DRIVEN ROD WITH GROUNDING CLAMP APPROVED FOR DIRECT BURIAL.
- 5. ALL CONDUIT TERMINATIONS OF 1" OR LARGER ARE TO HAVE PLASTIC INSULATED BUSHINGS.
- 6. ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LIFE SAFETY CODE (NFPA 101), LATEST EDITIONS.
- 7. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS PART OF THE HVAC EQUIPMENT SHALL BE PERMITTED AS THE DISCONNECTING MEANS ONLY WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
- 8. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SEC. 110-9 OF THE NEC BY A LOCAL ELECTRICAL CONSULTANT.
- 9. THE MAIN ELECTRICAL PANEL, FEEDERS, POWER HOOKUP TO BUILDING (INCLUDING ALL DISCONNECTS, OVER CURRENT DEVICES, PANELS, GROUNDING, ETC.) IS DESIGNED BY OTHERS, SITE INSTALLED, SUBJECT TO LOCAL JURISDICTION APPROVAL.
- 10. ALL WIRES TO SWITCHES AND OUTLETS TO BE #12 AWG THHN AND WILL MEET THE COLOR CODE REQUIREMENTS SET FORTH IN THE NFPA 70, NATIONAL ELECTRICAL CODE.
- 11. ALL ELECTRICAL OUTLETS SHALL BE GFCI IN ACCORDANCE WITH ARTICLE 1210.8(A)(2) NEC-08.

Electrical Symbol Key	
	GFCI Duplex Receptacle 120V 1Ø
	Incandescent Light w/ (1)-60w Bulb
	Junction Box
	Switch
	Weatherproof
	Switch w/ Receptacle Outlet 120v 1Ø



- NOTES:
- ALL ELECTRICAL EQUIPMENT SHOWN IS OPTIONAL AND LOCATIONS MAY VARY.
 - BUILDINGS WITH WALL HEIGHTS GREATER THAN 7'-0" SHALL HAVE WALL FRAMING SPACED AT 16" O.C., MAX.

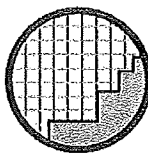
Typical Floor Plan
SCALE: 1/4"= 1'-0"

Approval Stamps:

Date: 3/19/12 Plan No. 12EN224 SW5
Approved By: [Signature]
Richard L. Bullock
Modular Building Plans Examiner Florida Certificate #224, 001

NDI
"APPROVED"
DOCUMENT

03/19/12
[Signature]



Haney Associates, Inc.
Engineering & Construction Planning
P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

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Accordance with the 2010 Florida
Building Code for a Wind Speed of
160 m.p.h.

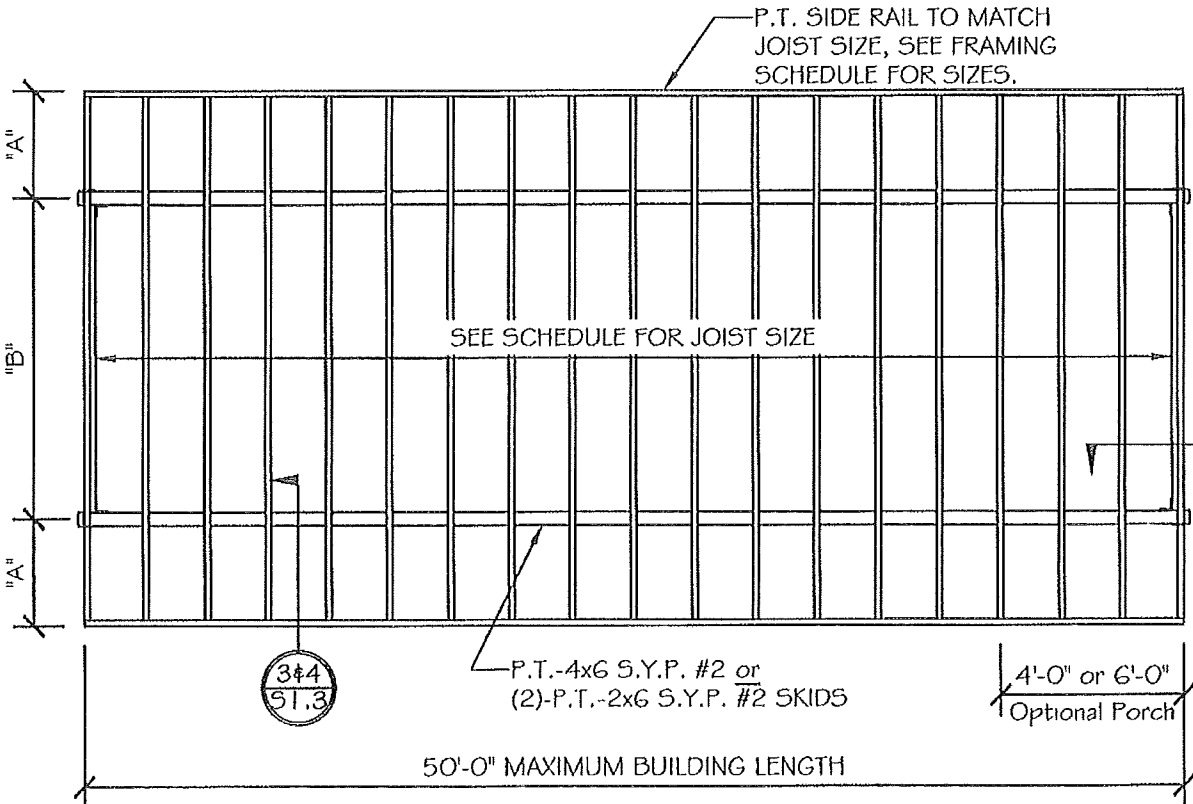
**Standard Wood Shed Master
Handi-House**
P.O. Box 830
Swainsboro, GA 30401

Designed By: Project No.
O.R.H. 12EN224
Checked By: Date:
C.L.A. 03/19/12

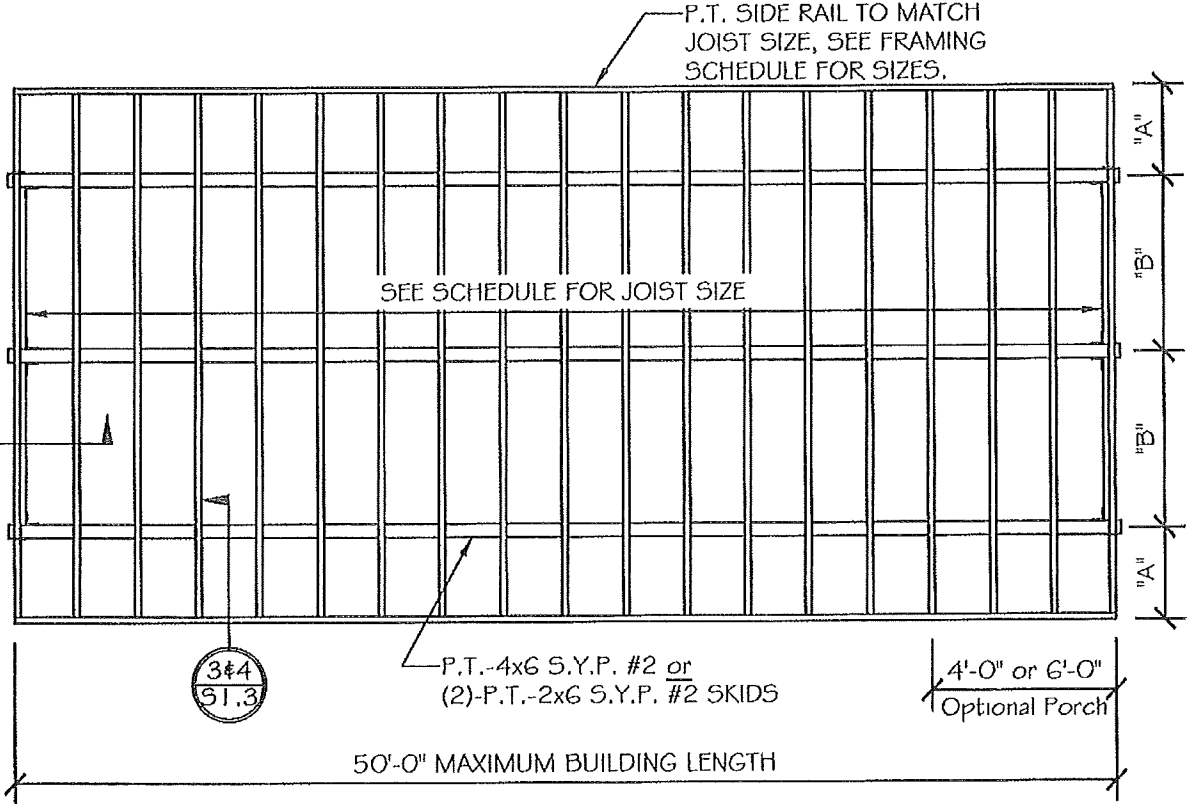
Sheet Number:
S1.1
2 of 8

SKID LAYOUT AND FLOOR FRAMING SCHEDULE							
125 psf Live Load (2 Skid)				125 psf Live Load (3 Skid)			
Width	Joist Size&Spacing	A	B	Width	Joist Size&Spacing	A	B
6'-0"	2x4's @ 16" O.C., Max.	15"	42"	6'-0"	2x4's @ 16" O.C., Max.	12"	24"
8'-0"	2x6's @ 16" O.C., Max.	18"	60"	8'-0"	2x6's @ 16" O.C., Max.	16"	32"
10'-0"	2x6's @ 16" O.C., Max.	24"	72"	10'-0"	2x6's @ 16" O.C., Max.	20"	40"
11'-0"	2x6's @ 16" O.C., Max.	24"	84"	11'-0"	2x6's @ 16" O.C., Max.	22"	44"
11'-8"	2x6's @ 16" O.C., Max.	28"	84"	11'-8"	2x6's @ 16" O.C., Max.	24"	46"
13'-0"	2x8's @ 16" O.C., Max.	36"	84"	13'-0"	2x8's @ 16" O.C., Max.	26"	52"
13'-8"	2x8's @ 16" O.C., Max.	40"	84"	13'-8"	2x8's @ 16" O.C., Max.	28"	56"

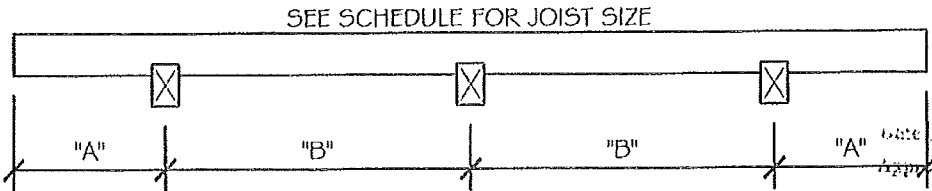
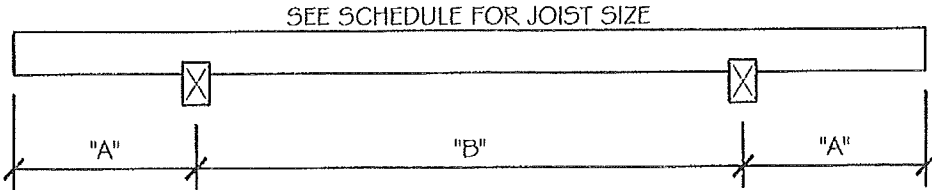
- NOTES:
- FASTENERS WILL MEET THE MINIMUM REQUIREMENTS FOR ALL STRUCTURAL COMPONENTS AS SET FORTH UNDER FBC 2304.9.1 AND TABLE 2304.9.1 UNLESS OTHERWISE SPECIFIED.
 - ALL SKIDS ARE P.T.-4x6 S.Y.P. #2 OR (2)-P.T.-2x6 S.Y.P. #2
 - 6'-0" WIDE UNITS MAY USE 2x4 S.Y.P. #3 JOISTS
 - ALL JOISTS ARE TO BE P.T.-S.Y.P. #2



Typical 2 Skid Floor Framing Plan
SCALE: 1/4"=1'-0"



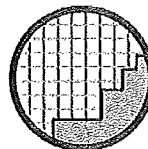
Typical 3 Skid Floor Framing Plan
SCALE: 1/4"=1'-0"



3/19/12
 Approved By: *[Signature]*
 Plan No. 12EN224 SW5
 Meland L. Bullock
 Modular Building Plans Engineer Florida Certificate 22400

NDI
 "APPROVED"
 DOCUMENT

03/19/12
[Signature]



Haney Associates, Inc.
 Engineering & Construction Planning
 P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

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**Standard Wood Shed Master
 Handi-House**
 P.O. Box 830
 Swainsboro, GA 30401

Designed By: Project No.
 O.R.H. 12EN224
 Checked By: Date:
 C.L.A. 03/19/12

Sheet Number:
S1.2
 3 of 8

Approval Stamps:

SEE FRAMING SCHEDULE FOR JOIST SIZE

SKIDS MAY BE P.T.-4x6 S.Y.P. #2 OR (2)-P.T.-2x6 S.Y.P. #2

SENCO K28 (OR EQUAL) NAILS AT 12" O.C., ROWS SHALL BE 1.5" FROM EDGE, STAGGER ROWS 6" FOR (2)-P.T.-S.Y.P.-2x6's SKIDS, START PATTERN WITHIN 6" OF EACH END OF SKID

NOTCH SKIDS 1 1/2"x1 1/2" FOR EACH FLOOR JOIST

1 SKID & FLOOR FRAMING DETAIL
S1.3 SCALE: 3/4"=1'-0"

2x4 S.Y.P. #2 WALL STUDS SEE PLAN VIEW FOR SPACING

2x4 S.Y.P. #2 SOLE PLATE, SEE WALL STUD TIE DOWN OPTIONS "A" & "B"

SEE WALL STUD TIE DOWN OPTIONS "A" & "B"

P.T. 3/4" T&G FLOOR SHEATHING

2x BLOCKING BETWEEN SKIDS, FASTEN TO END JOIST W/ (3)-0.120"x3" NAILS AT 12" O.C. EACH SIDE, STAGGERED.

2x4 BLOCKING BETWEEN SKIDS, FASTEN W/ (2)-0.120"x3" NAILS AT 12" O.C., STAGGERED.

2 END JOIST FRAMING DETAIL
S1.3 SCALE: 1.5"=1'-0"

2x4 S.Y.P. #2 WALL STUDS SEE PLAN VIEW FOR SPACING

SEE FRAMING SCHEDULE FOR JOIST AND BAND SIZE

P.T. 3/4" T&G FLOOR SHEATHING

2x4 S.Y.P. #2 SOLE PLATE

20ga. UPLIFT STRAP w/ (4)-0.131x2.25" Nails EACH END, MINIMUM

OPTION "A"

3a WALL STUD TIEDOWN DETAIL
S1.3 SCALE: 3/4"=1'-0"

2x4 S.Y.P. #2 WALL STUDS SEE PLAN VIEW FOR SPACING

SEE FRAMING SCHEDULE FOR JOIST AND BAND SIZE

P.T. 3/4" T&G FLOOR SHEATHING

2x4 S.Y.P. #2 SOLE PLATE

ATTACH SOLE PLATE TO SKID FRAME WITH 5/16"x4" LAG SCREW AT 18" O.C., MAX.

(2) SIMPSON H-3 (OR EQUAL) CLIPS AT EACH STUD, ONE EACH SIDE OF SOLE PLATE

OPTION "B"

3b WALL STUD TIEDOWN DETAIL
S1.3 SCALE: 3/4"=1'-0"

SKIDS MAY BE P.T.-4x6 S.Y.P. #2 OR (2)-P.T.-2x6 S.Y.P. #2

ATTACH JOIST TO SKID WITH 5/16"x4" LAG SCREW OR (2) SIMPSON H-3 (OR EQUAL) AT EACH END OF JOIST, SEE FRAMING SCHEDULE FOR SIZE.

NOTE: ATTACH END JOISTS TO SKID WITH (2)-5/16"x4" LAG SCREWS [OR (4)-0.131x4" GUN NAILS] AND A SIMPSON H-3 [OR EQUAL] AT EACH END OF JOIST.

4 TYPICAL SKID TO JOIST CONNECTION DETAIL
S1.3 SCALE: 3/4"=1'-0"

12" LAP SPlice FASTENED W/ (6)-5/16"x4" LAGS (OUTER FACE), (3)-5/16"x4" LAGS (INNER FACE), (9) LAG SCREWS TOTAL.

3"x6" SPlice PLATE ON 3 of 4 SIDES OF JOINT, FASTEN EACH PLATE W/ (5)-SENCO K28 (OR EQUAL) NAILS EACH SIDE.

P.T.-4x6 S.Y.P. #2 SKIDS

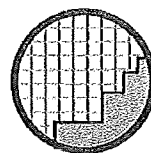
(2)-P.T.-2x6 S.Y.P. #2 SKIDS

5 TYPICAL SKID SPlicing DETAIL
S1.3 SCALE: 3/4"=1'-0"

NDI
"APPROVED"
DOCUMENT

03/19/12

Charles R. Haney



Haney Associates, Inc.
Engineering & Construction Planning
P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

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**Standard Wood Shed Master
Handi-House**
P.O. Box 830
Swainsboro, GA 30401

Designed By: Project No.
O.R.H. 12EN224

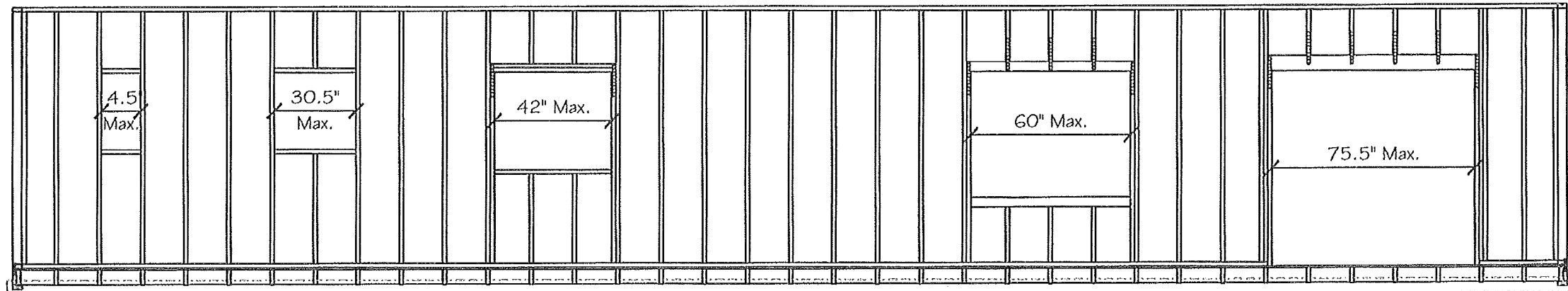
Checked By: Date:
C.L.A. 03/19/12

Sheet Number:

S1.3

4 of 8

Approval Stamps:



SEE SCHEDULE BELOW FOR ALL
OPENING REQUIREMENTS.

50'-0" MAXIMUM BUILDING LENGTH

Typical Side Wall Openings Framing
SCALE: 1/4"=1'-0"

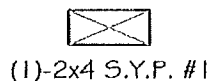
Date: 3/19/12 Plan No. 12EN224JWS
Approved By: R. Bullock
Richard L. Bullock
Modular Building Plans Examiner Florida Certificate 22476

WALL OPENINGS FRAMING SCHEDULE

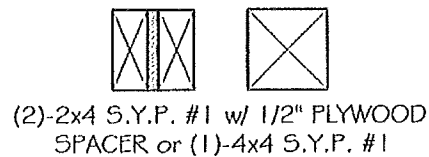
Max. Opening	Header/Sill Type	Header Fasteners (Each End)	Sill Fasteners (Each End)	King/Jack Studs	Option A: Stud to Band Joist Strapping & Nails (each end)	Option B: Stud to Band Joist Clips	Option A: Anchor Lags	Option B: Anchor Lags
14.5"	1 / 1	(4)-16d Nails	(2)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
22.5"	1 / 1	(5)-16d Nails	(2)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
30.5"	2 / 1	(7)-16d Nails	(4)-16d Nails	1 / 0	None Required	None Required	(N / A)	(N / A)
42"	2 / 1	(8)-16d Nails	(5)-16d Nails	1 / 1	(2)-20ga. w/ (5)-0.131x2.25" Nails	(2) Simpson H-3	5	5
60"	2 / 2	(10)-16d Nails	(7)-16d Nails	1 / 1	(2)-20ga. w/ (5)-0.131x2.25" Nails	(2) Simpson H-3	7	5
63"	3 / 2	(10)-16d Nails	(9)-16d Nails	2 / 1	(3)-20ga. w/ (7)-0.131x2.25" Nails	(3) Simpson H-3	8	6
75.5"	3	(13)-16d Nails	(N / A)	2 / 1	(3)-20ga. w/ (7)-0.131x2.25" Nails	(3) Simpson H-3	10	7
96"	3	(13)-16d Nails	(N / A)	2 / 1	(3)-20ga. w/ (9)-0.131x2.25" Nails	(3) Simpson H-3	11	12

NOTES:

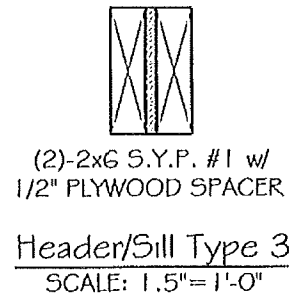
- ALL HEADERS AND SILLS SHALL BE CONSTRUCTED FROM S.Y.P. #1
- STRAPS, CLIPS AND ANCHORING LAGS STATED ARE FOR EACH SIDE OF OPENINGS
- STRAPPING MAY WRAP BAND JOIST IF NEEDED TO INSTALL REQUIRED # OF FASTENERS
- ANCHORING LAGS SHALL BE 1" FROM STUD AND SPACED 1" O.C. CENTERED ON BAND JOIST
- REFER TO CLIP MANUFACTURER FOR CLIP FASTENING REQUIREMENTS
- SIMPSON C516 STRAPS (OR EQUAL) REQUIRED TO TIE HEADER TO JACK STUD FOR ALL OPENINGS 42" OR GREATER, STRAPS ARE ALSO REQUIRED FOR ALL INTERRUPTED STUDS ON OPENINGS 60" OR GREATER



Header/Sill Type 1
SCALE: 1.5"=1'-0"



Header/Sill Type 2
SCALE: 1.5"=1'-0"

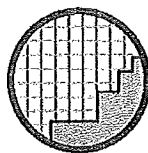


Header/Sill Type 3
SCALE: 1.5"=1'-0"

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03/19/12

Richard L. Bullock



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Engineering & Construction Planning
P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

These Plans Were Designed in
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Standard Wood Shed Master
Handi-House
P.O. Box 830
Swainsboro, GA 30401

Designed By: O.R.H. Project No. 12EN224
Checked By: C.L.A. Date: 03/19/12

Sheet Number:

S1.4

5 of 8

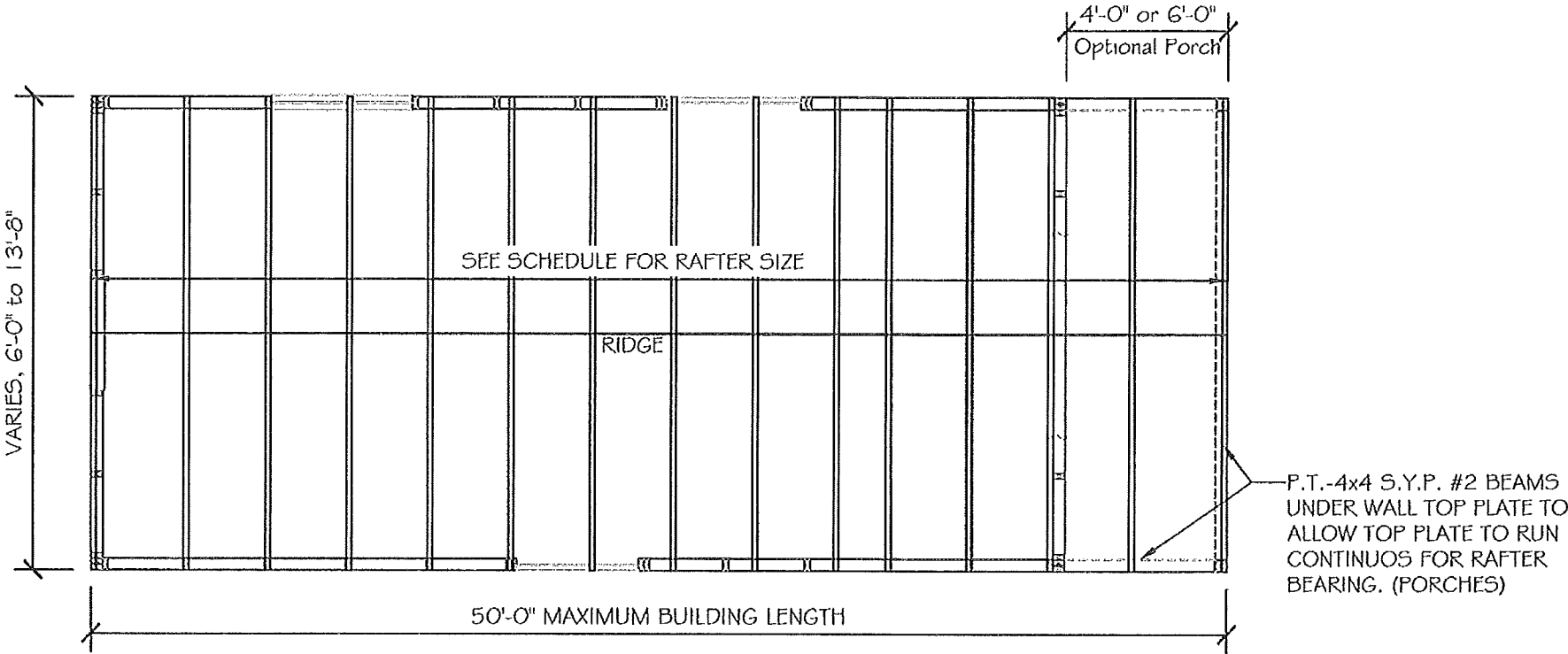
ROOF FRAMING SCHEDULE

Wall Framing at 24" o.c., Max.			Wall Framing at 16" o.c., Max.		
Width	Rafter Size	Required # of Strap Nails	Width	Rafter Size	Required # of Strap Nails
6'-0"	S.Y.P. #1 - 2x4's	6 (ea. end)	6'-0"	S.Y.P. #1 - 2x4's	5 (ea. end)
8'-0"	S.Y.P. #1 - 2x4's	7 (ea. end)	8'-0"	S.Y.P. #1 - 2x4's	5 (ea. end)
10'-0"	S.Y.P. #1 - 2x4's	9 (ea. end)	10'-0"	S.Y.P. #1 - 2x4's	6 (ea. end)
11'-0"	S.Y.P. #1 - 2x6's	10 (ea. end)	11'-0"	S.Y.P. #1 - 2x4's	8 (ea. end)
11'-8"	S.Y.P. #1 - 2x6's	10 (ea. end)	11'-8"	S.Y.P. #1 - 2x4's	8 (ea. end)
13'-0"	S.Y.P. #1 - 2x6's	11 (ea. end)	13'-0"	S.Y.P. #1 - 2x6's	8 (ea. end)
13'-8"	S.Y.P. #1 - 2x6's	12 (ea. end)	13'-8"	S.Y.P. #1 - 2x6's	9 (ea. end)

SCHEDULE AND ROOF FRAMING NOTES:

- BUILDINGS WITH WALL HEIGHTS GREATER THAN 7'-0" SHALL HAVE WALL AND ROOF FRAMING SPACED AT 16" O.C., MAX.
- ROOF FRAMING SHALL BE SPACED TO LINE UP DIRECTLY OVER THE WALL STUDS FOR PROPER LOAD TRANSFER AND STRAPPING.
- RAFTER TO STUD STRAPPING SHALL BE 20ga. x 1 1/2" WIDE AND FASTENED WITH 0.131x2.25" NAILS.
- ROOF DRAINAGE SHALL COMPLY WITH F.B.C. 2010 1503 AND R318.6
- ROOF FRAME TO WALL FRAME STRAPPING MAY BE INSTALLED ON THE INNER OR OUTER FACE OF THE FRAMING
- FASTENERS WILL MEET THE MINIMUM REQUIREMENTS FOR ALL STRUCTURAL COMPONENTS AS SET FORTH UNDER FBC 2304.9.1 AND TABLE 2304.9.1 UNLESS OTHERWISE SPECIFIED.

Date 3/19/12 Plan No. 12EN224 SWS
Approved By: [Signature]
Richard L. Bullock
Modular Building Plans Designer Florida Certificate No. 2210



Typical Roof Framing Plan
SCALE: 1/4" = 1'-0"

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03/19/12
[Signature]



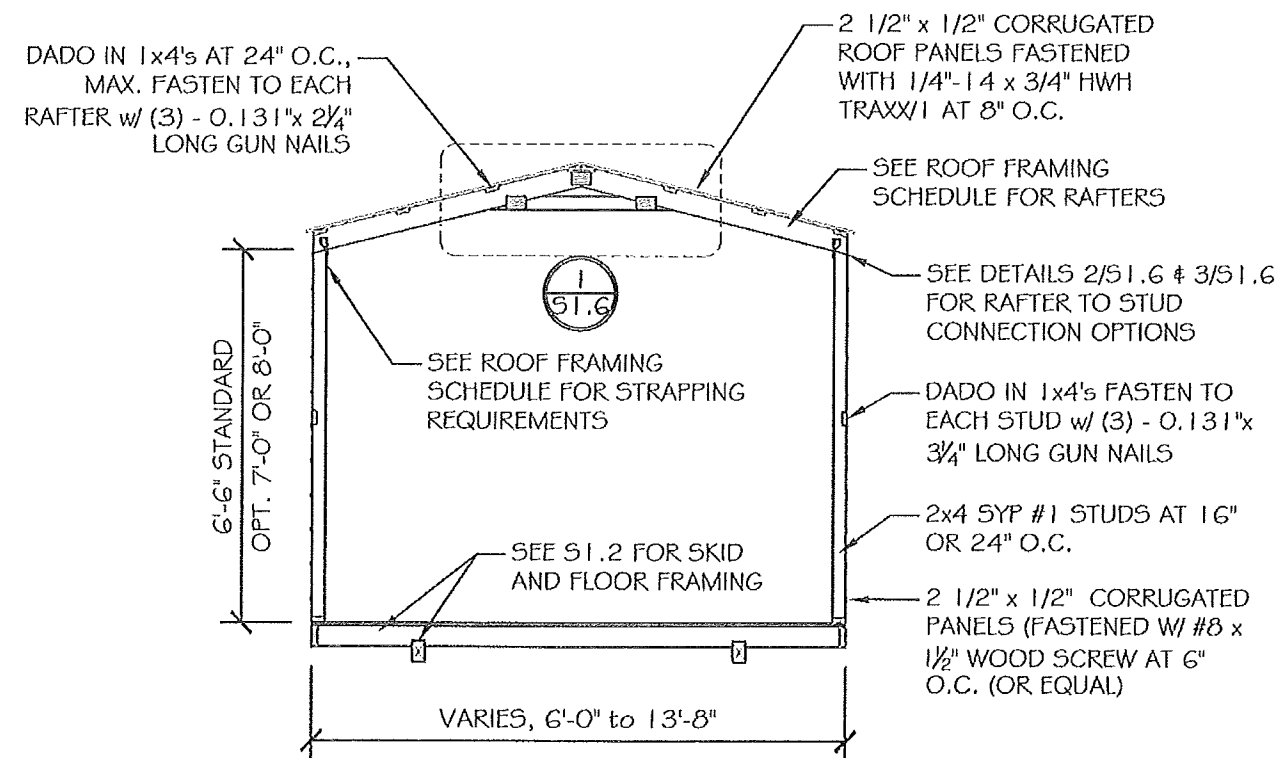
Haney Associates, Inc.
Engineering & Construction Planning
P.O. Box 348, Six Mile, S.C. 29682 - Phone: 864-646-7600

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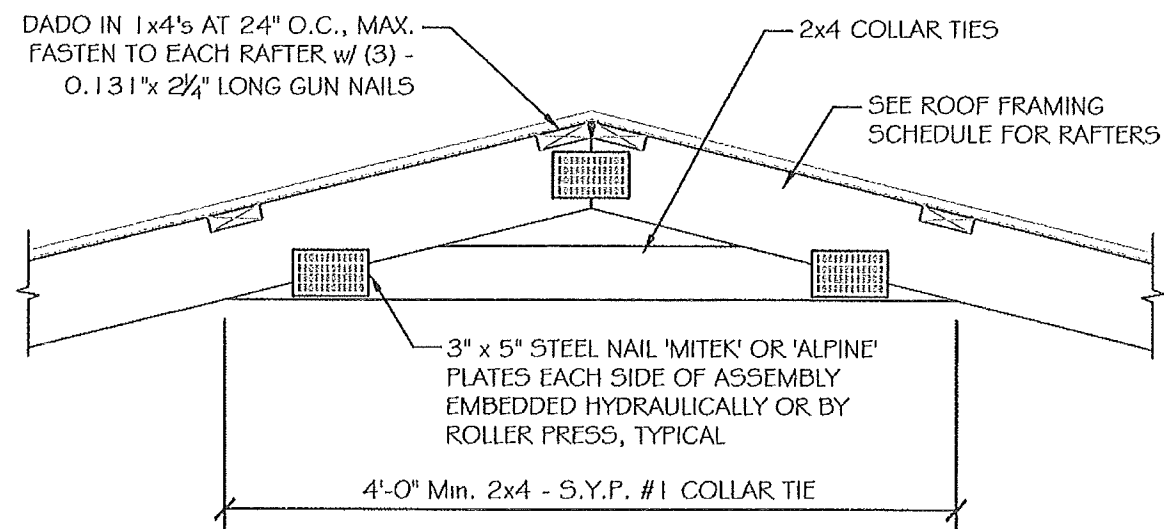
**Standard Wood Shed Master
Handi-House**
P.O. Box 830
Swainsboro, GA 30401

Designed By: O.R.H. Project No. 12EN224
Checked By: C.L.A. Date: 03/19/12

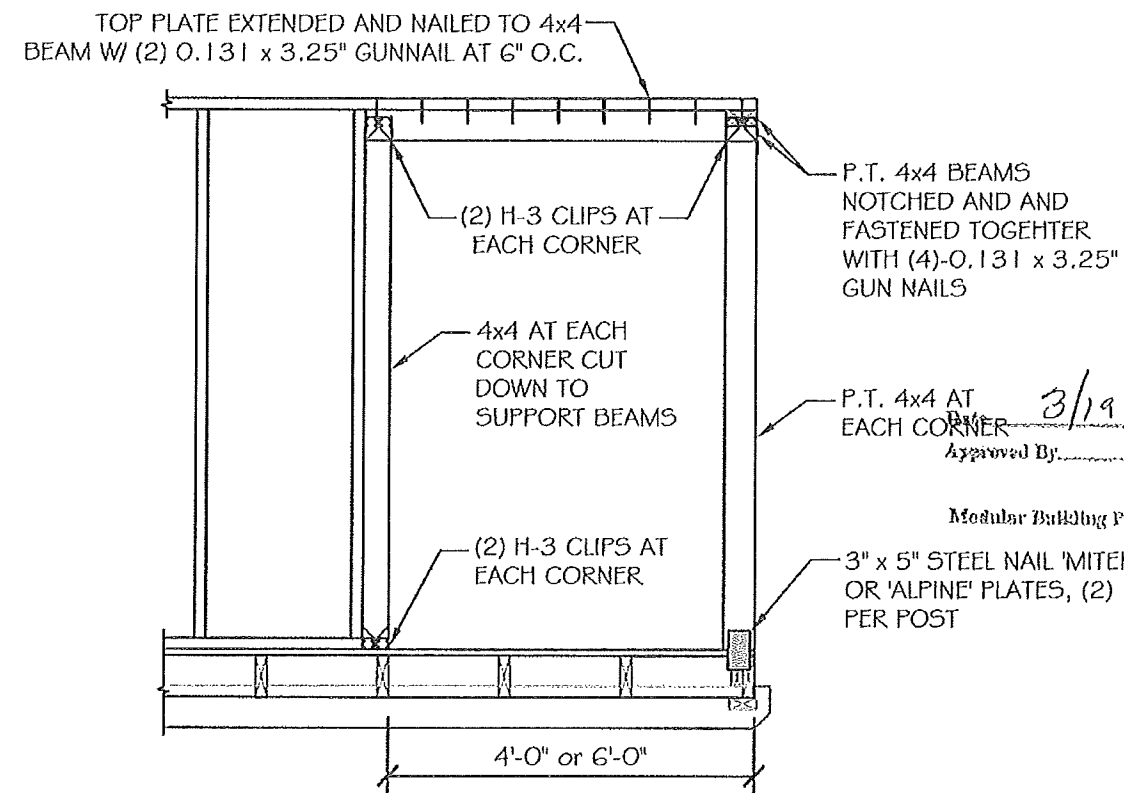
Sheet Number:
S1.5
6 of 8



Typical Frame Section
SCALE: 1/4" = 1'-0"

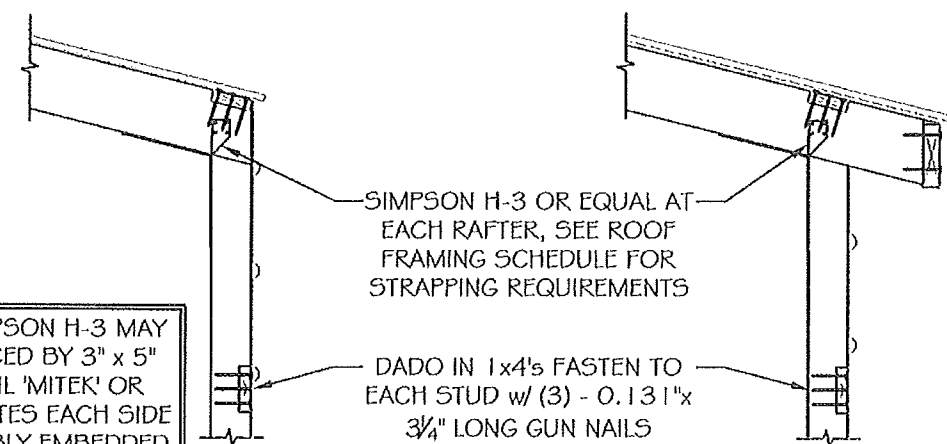


1 RIDGE / COLLAR TIE DETAIL
51.6 SCALE: 1" = 1'-0"



Typical Porch Option Frame
SCALE: 1/2" = 1'-0"

NOTE: SIMPSON H-3 MAY BE REPLACED BY 3" x 5" STEEL NAIL 'MITEK' OR 'ALPINE' PLATES EACH SIDE OF ASSEMBLY EMBEDDED HYDRAULICALLY OR BY ROLLER PRESS



2 OVERHANG OPTION DETAIL
51.6 SCALE: 3/4" = 1'-0"

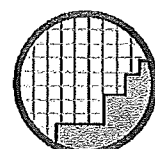
3 OVERHANG OPTION DETAIL
51.6 SCALE: 3/4" = 1'-0"

Approval Stamps:

3/19/12
Plan No. 12EN224 SWS
Approved By: [Signature]
Richard L. Bullock
Modular Building Plans Examiner Florida Certificate 22426

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03/19/12
[Signature]



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Standard Wood Shed Master
Handi-House
P.O. Box 830
Swainsboro, GA 30401

Designed By: Project No.
O.R.H. 12EN224
Checked By: Date:
C.L.A. 03/19/12

Sheet Number:
S1.6
7 of 8

Approval Stamps:

Date: 6/19/12
 Approved By: R. Bullock
 Richard L. Bullock
 Modular Building Plans Examiner Florida Certificate No. 2245

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03/19/12

Paul R. Haney

Sheet Number:

S1.7

8 of 8

Designed By: O.R.H. Project No. 12EN224
 Checked By: C.L.A. Date: 03/19/12

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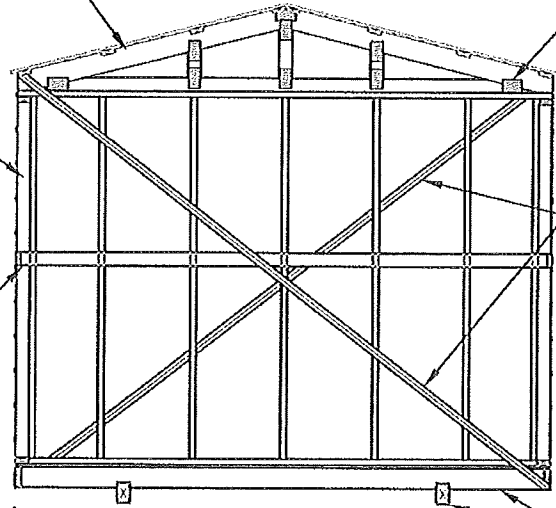
Haney Associates, Inc.
 Engineering & Construction Planning
 P.O. Box 348, Six Mile, S.C. 29682 • Phone: 864-646-7600

ENDWALLS MAY BE BALLON FRAMED
 UP TO THE RAFTERS WHEN GABLE
 END TRUSSES ARE NOT USED.

GABLE END TRUSS

2x4 SYP #1 STUDS
 AT 16" OR 24" O.C.

DADO IN 1x4's FASTEN TO
 EACH STUD w/ (3) - 0.131"x
 3/4" LONG GUN NAILS



VARIES, 6'-0" to 13'-8"

End Wall Framing Option
 SCALE: 1/4"=1'-0"

3" x 5" STEEL NAIL 'MITEK' OR 'ALPINE'
 PLATES EACH SIDE OF ASSEMBLY
 EMBEDDED HYDRAULICALLY OR BY
 ROLLER PRESS, TYPICAL

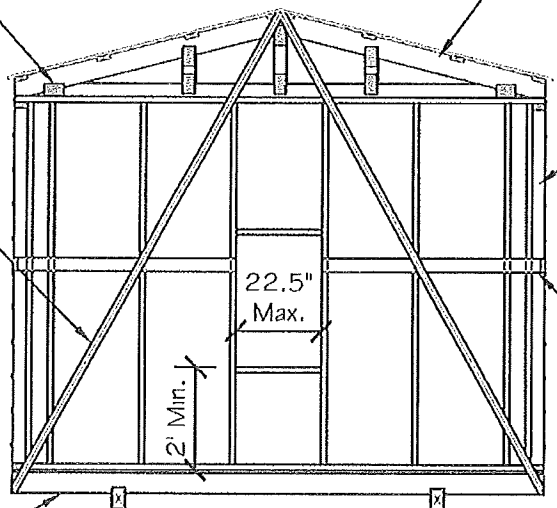
20ga. T-WALL BRACING STRAPS ON
 INTERIOR AND EXTERIOR OF WALL,
 FASTEN WITH (2)-0.131"x 2 1/4" LONG
 GUN NAILS OR #8x 2 1/4" LONG
 SCREWS AT EACH MEMBER
 CROSSING.

SEE S1.2 FOR SKID AND FLOOR
 FRAMING

GABLE END TRUSS

2x4 SYP #1 STUDS
 AT 16" OR 24" O.C.

DADO IN 1x4's FASTEN TO
 EACH STUD w/ (3) - 0.131"x
 3/4" LONG GUN NAILS



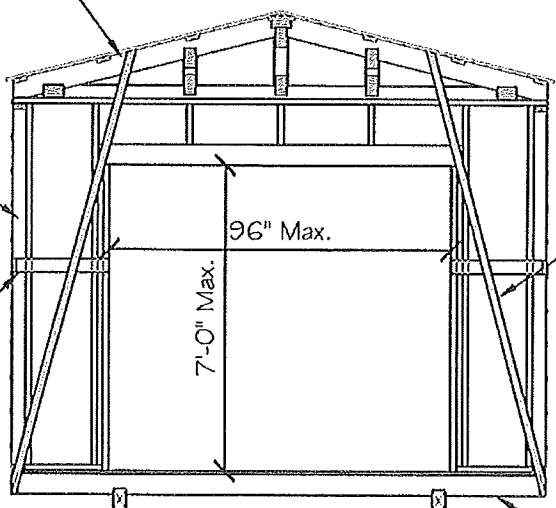
VARIES, 6'-0" to 13'-8"

End Wall Framing Option
 SCALE: 1/4"=1'-0"

GABLE END TRUSS

2x4 SYP #1 STUDS
 AT 16" OR 24" O.C.

DADO IN 1x4's FASTEN TO
 EACH STUD w/ (3) - 0.131"x
 3/4" LONG GUN NAILS



VARIES, 6'-0" to 13'-8"

End Wall Framing Option
 SCALE: 1/4"=1'-0"

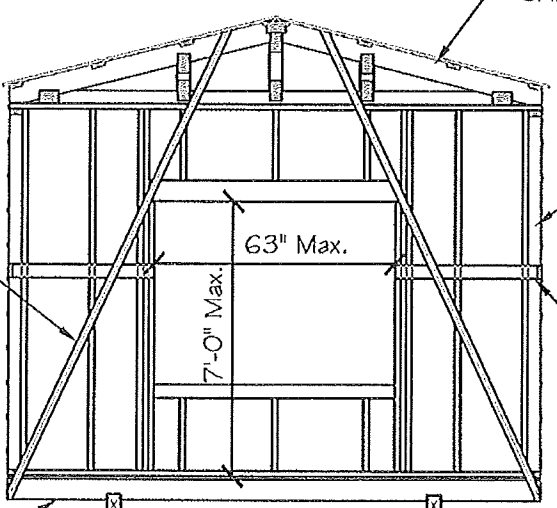
20ga. T-WALL BRACING STRAPS ON
 INTERIOR AND EXTERIOR OF WALL,
 FASTEN WITH (2)-0.131"x 2 1/4" LONG
 GUN NAILS OR #8x 2 1/4" LONG
 SCREWS AT EACH MEMBER
 CROSSING.

SEE S1.2 FOR SKID AND FLOOR
 FRAMING

GABLE END TRUSS

2x4 SYP #1 STUDS
 AT 16" OR 24" O.C.

DADO IN 1x4's FASTEN TO
 EACH STUD w/ (3) - 0.131"x
 3/4" LONG GUN NAILS



VARIES, 6'-0" to 13'-8"

End Wall Framing Option
 SCALE: 1/4"=1'-0"

MEMORANDUM

FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
DIVISION OF PLANNING

DATE: June 10, 2013

TO: LCHPB

FROM: Gloria M. Sajgo, AICP
Principal Planner

RE: Review of National Register Nomination for Chapel-By-The-Sea Historic District on Captiva Island

The Florida Department of State Division of Historical Resources sent the attached National Register Nomination for the Chapel-By-The-Sea on Captiva Island soliciting local review and recommendation. (Please see attached nomination)

After reviewing the document I wrote to the state suggesting that additional information be included in the nomination about the building's first use as a public school on Captiva Island. After some correspondence Carl Shiver, Historic Preservationist, wrote back that they would include additional information and change the name to "Captiva School and Chapel-By-The-Sea District.

Please see attached revised National Register nomination which includes the name Captiva School and Chapel-By-The-Sea Historic District and additional information about the building's first use as a school house.

Staff Recommendation: *Staff recommends that the LCHPB vote to support the revised National Register nomination for the Captiva School and Chapel-By-The-Sea Historic District.*

Revised
National Register Nomination
Includes the
Captiva School

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT

other names/site number Captiva School, FMSF#LL1079

2. Location

street & number 11580 Chapin Lane N/A ☐ not for publication

city or town Captiva N/A ☐ vicinity

state FLORIDA code FL countv Lee code 071 zip code 33924

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination
☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of
Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property
☒ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant
☐ nationally ☐ statewide ☒ locally. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State Historic Preservation Officer, Division of Historical Resources
State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional
comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

☐ entered in the National Register
☐ See continuation sheet

☐ determined eligible for the
National Register
☐ See continuation sheet.

☐ determined not eligible for the
National Register
☐ See continuation sheet.

☐ removed from the National
Register.

☐ other, (explain) _____

Signature of the Keeper

Date of Action

5. Classification**Ownership of Property**

(Check as many boxes as apply)

- ☒ private
☐ public-local
☐ public-State
☐ public-Federal

Category of Property

(Check only one box)

- ☐ buildings
☒ district
☐ site
☐ structure
☐ object

Number of Resources within Property

(Do not include any previously listed resources in the count)

Contributing

Noncontributing

3	0	buildings
1	0	sites
0	0	structures
0	0	objects
4	0	total

Name of related multiple property listings

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

0

6. Function or Use**Historic Functions**

(Enter categories from instructions)

EDUCATION/School

FUNERARY/Cemetery

RELIGION/Parsonage

RELIGION/Church Office

Current Functions

(Enter categories from instructions)

RELIGION/Church

FUNERARY/Cemetery

RELIGION/Parsonage

7. Description**Architectural Classification**

(Enter categories from instructions)

OTHER/Frame Vernacular

Materials

(Enter categories from instructions)

foundation Concrete Pier

walls Wood

roof Asphalt Shingle

other

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ **A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☐ **C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ **D** Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☒ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** a birthplace or grave.
- ☒ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property.
- ☐ **G** less than 50 years of age or achieved significance within the past 50 years

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References**Bibliography**

Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 36) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey

- ☐ recorded by Historic American Engineering Record

Areas of Significance

(Enter categories from instructions)

EXPLORATION/SETTLEMENT

SOCIAL HISTORY

Period of Significance

c. 1897-1963

Significant Dates

1897

1901

1917

1926

Significant Person

N/A

Cultural Affiliation

N/A

Architect/Builder

Arch: Unknown

Blder: Unknown

Primary location of additional data:

- ☒ State Historic Preservation Office
- ☐ Other State Agency
- ☐ Federal agency
- ☐ Local government
- ☐ University
- ☐ Other

Name of Repository

10. Geographical DataAcreage of Property 1.2**UTM References**

(Place additional references on a continuation sheet.)

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☐ See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared Byname/title Stephen Olausen./Carl Shiver, Historic Preservationistorganization Florida Bureau of Historic Preservation date May 2013street & number 500 South Bronough Street telephone (850) 245-6333city or town Tallahassee state Florida zip code 32399-0250**Additional Documentation**

Submit the following items with the completed form:

Continuation Sheets**Maps**A **USGS map** (7.5 or 15 minute series) indicating the property's location.A **Sketch map** for historic districts and properties having large acreage or numerous resources.**Photographs**Representative **black and white photographs** of the property.**Additional items**

(check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name Captiva Chapel-By-Seastreet & number 11580 Chapin Lane telephone (941) 472-1646city or town Captiva state Florida zip code 33924

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and amend listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 7 Page 1

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

SUMMARY

The Captiva School & Chapel-by-the-Sea Historic District at 11580 Chapin Lane in Captiva, Florida, includes four contributing resources: the Chapel, the Minister's Study, the Parsonage, and the Cemetery. The district occupies just over an acre of property that was part of the homestead of William Herbert Binder (1850-1932) who came to Captiva in 1888. The cemetery, which contains 91 graves, was established in 1897. The chapel was originally a school erected c. 1910 that was also used for religious services for the residents of the village of Captiva. The Minister's Study dates from 1926, when it replaced an earlier building that was destroyed by a hurricane. The Parsonage was constructed in 1965 to provide a residence for visiting preachers who lived there from November to April of each year. All of the buildings are examples of the Frame Vernacular style.

SETTING

Captiva is one of a series of barrier islands in the Gulf of Mexico, located west of the larger neighboring Pine Island and mainland Lee County. Captiva has a long north-south axis that runs approximately six miles in length. At its widest, the island measures approximately one-quarter mile. The Captiva Census Designated Place (CDP) consists of 10.5 square miles of which 1.2 square miles is land and 9.3 square miles is water. Captiva has a year-round population of 379. Passes separate Captiva Island from Sanibel Island to the south and North Captiva and Cayo Costa islands to the north. Charlotte Harbor is found to the northeast and empties through Boca Grande Pass north of Captiva. Sanibel lies to the south, connected to Captiva by Blind Pass Bridge. Captiva is connected to the mainland by the Sanibel Causeway, which was completed in 1963. The seat of government of Lee County, Fort Myers, is located approximately thirty miles east of Captiva. The district boundaries encompass a parcel of land that includes the Chapel, Parsonage, Minister's Study, and Cemetery. The property is accessed by a sand road that leads from the northwest corner of the intersection of Wiles Drive and Chapin Lane. The site has a variety of trees, including palmettos, oaks, magnolias, and a variety of sub-tropical plants. To the north and east of the property are several large modern condominiums.

DESCRIPTION

Captiva Chapel-By-The-Sea c. 1901

Exterior

The Chapel is a irregularly shaped Frame Vernacular building with a front-facing gable roof featuring a small hip roofed belfry that extends from the south ridge of the roof, which is surfaced with composition shingles (Photo 1). The building originally had a rectangular plan, but in 1961 a small shed roof addition was added to the east side (Photo 2). The fenestration of the building is 1/1-light double-hung wood sash windows. There are two windows on the main (south) facade rear (north) elevation (Photo 3) and four windows on the west

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CONTINUATION SHEET

Section number 7 Page 2

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

elevation (Photos 4-5). The east side also features four windows, two on the original building and two on the shed roofed addition. The building features three wooden doors: one on the main facade of the original building and two on the shed addition. The exterior walls are clad with wood drop siding, and the foundation consists of masonry piers. The dominant feature of the main facade is a gable roofed porch that extends over the main entrance. The porch roof is supported by square wood posts. The entrance is a single wood and glass panel door with nine lights. Flanking the porch are single rectangular windows. The west elevation of the chapel has four evenly-spaced rectangular window openings with simple wood surrounds. The rear of the building contains two rectangular window openings that are set at the corners.

Interior

The main entrance of the building opens into a single room (Photos 6-7), which contains 25 wooden pews for seating the congregation. Three of these are located in the east addition. The ceiling angles down at the sides to match the exterior slope of the gable roof. The ceiling and walls are covered with flush heart pine boards. The original heart pine floors are covered with vinyl floor tiles. An altar area is located on the north wall. A stud wall with plywood covering has been added to create a blind lancet arch opening in the center of the wall and false lancet window to allow light in from the existing rectangular windows. Metal rods have been installed to brace the building against high winds. The room created by the east addition is accessed through a large rectangular opening. It contains three additional pews and two small closets. The Chapel seats 120 people.

Alterations

In its original function as a school, the building footprint was a simple rectangle with an entrance and two windows on the main facade and three windows on the east and west elevations. The porch was constructed in the 1950s. In 1961, the building was extended twelve feet to the north to provide more space for seating and a new altar. The exterior fabric was re-sided at that time and new wood flooring was installed. New 1/1-light windows were installed to replace the original 2/2-light double-hung wood sash windows at this time. A small shed roof addition was added to the east side of the building to add three more pews, and the present bell tower was constructed in place of the original, which was added to the building in 1950. The present pews were installed in 1966.

The Minister's Study (1926)

This is a small one-story Frame Vernacular building clad in drop siding (Photo 9). Constructed in 1926, the small square building with a side gable roof features an shed roofed open porch extension. This original building is flanked by two side gable roofed additions: one on its east elevation and the other on the west elevation. These additions are compatible with the style and character of the original building. The roof material

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CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

is asphalt shingles. The minister's study has aluminum awning windows. A wooden garage door is found on the east elevation (Photo 10).

The Parsonage (1965)

The Parsonage is a small Frame Vernacular building featuring a side gable roof. The exterior of the building is clad in drop siding. The fenestration consists of 1/1-light double-hung windows, a pair of which flank a fixed plate glass picture window. The roof is covered with asphalt shingles, and the house rests on a masonry pier foundation with wood lattice infill. The house features a narrow wood deck with a wood railing and steps that provides access to the kitchen (Photo 11). There is intersecting gable over the rear screened porch (Photo 12)

The Cemetery (1897)

Located just south of the Captiva Chapel-by-the-Sea, the cemetery contains 91 graves, most of which have markers. The grave markers are all small and most of them were constructed of marble or granite. A number of the graves are unmarked. The earliest grave dates from 1897 and the most recent burial is that of John Neitzke, a Korean War veteran who was buried on February 23, 2013.

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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 8 Page 1

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

SUMMARY

The Captiva School & Chapel-by-the-Sea Historic District is significant at the local level under Criterion A in the areas of Exploration/Settlement and Social History. It is a surviving example of an early one-room schoolhouse that also served as the primary place of religious worship for the early settlers of Captiva Island until it was converted into a Methodist mission church in 1921. Two other buildings in the district also contribute to its historic significance. These are the Minister's study, constructed in 1926 and the Parsonage constructed in 1965. The chapel has continued to serve as a place of worship on a nondenominational or interdenominational basis with services conducted by visiting clergy until the present day. The site is also significant for its small historic cemetery, founded in 1897, in which a number of the early settlers of Captiva are interred. Over a hundred years old, the cemetery continues to be an active burial place.

HISTORICAL CONTEXT

Juan Ponce de Leon, the official discoverer of Florida, sailed into the waters of the Calusa Nation in May 1513. He described the islands of Sanibel and Captiva as "jutting out into the sea." Upon his return to Calusa waters in 1521, Juan Ponce once again entered the dangerous waters of the Calusa. He organized a colonizing expedition to Florida consisting of two ships and 200 men, including priests, farmers, and artisans, 50 horses and other domestic animals, and farming implements. The colonists began to build a settlement probably located on Punta Rassa but were attacked by Calusa warriors. Eighty of the colonists were killed and Ponce de Leon was himself wounded with an arrow. He sailed to Havana, Cuba, where he died of his wound.¹

EXPLORATION/SETTLEMENT

Captiva Pass was named by the Spanish in the 1500s. When the United States acquired Florida in 1821, the only inhabitants of Sanibel and Captiva islands were a few Cubans who maintained fishing camps there. In 1862, the Homestead Act was passed, giving 160 acres of federal land free to persons who would live on the land and cultivate it; however, it was not until 1888 that Captiva was opened to homesteaders. In 1870, the census taker, who perhaps considered only white settlers, counted three persons living on Sanibel Island. These were William S. Allen, assistant marshal of Monroe County, his wife, and his son George, aged 16. By 1890, forty families had settled on Captiva and Sanibel islands. William Herbert Binder (1850-1932) came to Captiva in 1888 and established a homestead near the center of Captiva Island. Ten years later, George W. Carter came to Captiva with his family and homesteaded the northern end of the island.²

¹ Juan Ponce de Leon Bibliography, <http://www.travelponce.com/Ponce-de-Leon-bibliography.html>.

² "Captiva History," http://www.gloriaoflannery.com/area_history_captiva.asp.

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CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

In the first years of the 20th century, Captiva and Sanibel became a prime destination for sports fishermen. By the 1920s, however, hurricanes destroyed Captiva Island's only hotel and a number of other buildings, giving little hope that the island would thrive and grow as a vacation destination. In 1927, however, a developer named Clarence Bennett Chadwick came to Captiva and built a key lime plantation and began to acquire land which he subsequently resold to developers.³

In the mid 1920's, ferries began shuttling cars and people to a dock near the lighthouse at the south end of the island, and continued to do so until the causeway opened in 1963. An important development on Captiva was the establishment of the 'Tween Waters Inn (NR 2011) by Grace and Bowman Price in 1931 to accommodate wealthy tourists from all over the country. In 1931 the Bowmans made alterations to the primary inn and the built a series of small cottages just east of Captiva Drive. The Inn was the first tourist facility encountered by tourists after crossing Blind Pass Bridge. In 1935, the Public Works Administration (PWA) provided funds for the paving of Captiva Drive with a sand-asphalt surface, thereby making access to the island even more attractive to automobile traffic.⁴ The 1963 completion of the Sanibel Causeway, a toll road, spurred development in the islands.

SOCIAL HISTORY

Lee County Schools

Concern for the educational needs of their children provided part of the impetus for the residents of today's Lee County to request separation from sprawling Monroe County in 1887. The first public county school in Fort Myers was the wood frame Fort Myers Academy erected in 1878. The school was destroyed by fire in 1886, and when the local representatives of Fort Myers petitioned the Monroe County Board of Education for funds to erect a new schoolhouse, their request was denied. Already angered by the seeming lack of interest by county officials in the development of Fort Myers, local citizens pleaded with the State Legislature for the creation of new county. Lee County was formally established on May 9, 1887.

The Lee County Board of Public Instruction held its first official meeting on August 27, 1887. Six existing school districts had been established while Lee County had been a part of Monroe County. New districts would be added in the ensuing years, as the population of the county grew. During the remainder of the nineteenth century, the board struggled to provide adequate facilities and staffing for the county, which had an area of approximately 4,000 square miles and had numerous isolated settlements. Over forty schools were established in the county during this period. Some of these were operated out of private homes, but most were located in one- and two-story wood frame buildings built by funds allocated by the Board of Public Instruction. Fort

³ "About Captiva Island," <http://www.captivaishomeandvillas.com/captivaishandvillas.aspx/>.

⁴ Fort Myers News-Press, November 28, 1935.

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CONTINUATION SHEET

Section number 8 Page 3

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

Myers, the largest population center in Lee County, had the largest school building, a two-story, wood frame structure erected in 1887 to replace the building that had burned in 1886. Known as the Fort Myers School, this facility was later replaced by the Gwynne Institute, the county's first masonry school building. The only school building in Lee County surviving from the nineteenth century is the Buckingham School (N.R. 1988), constructed in 1895.

The Lee County school system continued to expand during the first decades of the twentieth century. The 1900 census recorded a total of 855 school age children, including 791 whites, 32 blacks, and 32 Native Americans in the county. Hampered by inadequate means of transporting students to centrally located schools, the school board continued to construct facilities in the many far-flung rural settlements under its jurisdiction.

The oldest surviving 20th century school in Lee County was the Captiva School, built in 1901 as a one-room schoolhouse by Lee County Board of Public Instruction on land donated for the purpose on the homestead of William Herbert Binder. The building was also used for religious services on Sundays for the people of Captiva and Sanibel on occasions when a circuit rider came over to the island from the mainland. At such times, the people also enjoyed picnics, games, and a community get-together. A photo taken about 1913-1914 (Photo 19) shows teacher Miss Nell Gould with her class outside the school with her students. Pictured (but not in order) are Mary Hunter, Wilson and Jesse Bryant; Audrey, Ella, and Thelma Bates; Beulah Brainerd; Chubb Mickle; Vera Brewer and two Doyle girls. All of the children had to walk to school, since there were no roads suitable for carriages on either island or the mainland. The first Lee County school bus was a horse-drawn wagon that carried students to Edgewood Elementary School in Fort Myers c. 1914. On their way to school, the students strolled leisurely and even went swimming, sometimes getting to school late, and were chastised in a mild sort of way.

The Captiva School is the only one of the wood frame pioneer schools in Lee County remaining on its original site. The East Sanibel for White Children was constructed in 1896 to replace the one erected in 1894 but then destroyed by a hurricane. The school stood on the corner of Bailey Road and Periwinkle Way and then moved farther up Periwinkle in 1903, where it sat for over 100 years. The building, a classic one-room schoolhouse, had a platform in the front where different grades took turns doing lessons with the teacher. In the center of the room was a wood stove used to warm it in winter, as well as to heat soup and cocoa. In 1932, a second room was added and more windows installed. The schoolhouse was able to house grades one through eight. It was vacated in 1964 due to the construction of the new Sanibel Elementary School. Children from both Captiva and Sanibel began attending the new school. The old wood frame school was transformed into a little theater that presented a variety of performances. In 2004, the building was moved to the Sanibel Historical Museum and Village and restored to its 1932 appearance. The Historical Village was founded in 1984 to preserve and share Sanibel history. Seven historic buildings, including the elementary school, were moved from their original island sites to the Historical Village. Each building has been restored to its original state. There was also a school in western Sanibel in the small community called Wulfert. The school is no longer extant. Today

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 8 Page 4 CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

children from both Captiva and Sanibel attend the 1964 Sanibel School at 3840 Sanibel-Captiva Road for grades from kindergarten through the eighth grade. High school students ride a bus to Fort Myers to attend district neighborhood or magnet schools, which specialize in various disciplines. Students can also attend a variety of private schools off the island.

In 1921, the Board of Public Instruction sold the school building and land to the Methodist Church for use as a mission church; however, due to the lack of Methodists on the islands, the Chapel (then known as the Wayside Chapel) evolved into the Captiva Chapel-By-The-Sea and services were conducted by a preacher brought over from the mainland by ferry. The building also continued to be used as an elementary school. Religious services continued to be conducted by visiting clergy until 1947, when the Captiva Civic Association, by arrangement with the Methodist Church, took over operation of the chapel and cemetery on a nondenominational or interdenominational basis. In 1951, the Captiva Civic Association agreed to the separation of the chapel and cemetery from active connection with the Association. In 1952, the Captiva Chapel-By-The-Sea was incorporated to operate as an interdenominational church to extend a welcome to all members of the Christian faith regardless of denomination or creed.

In 1954, the Methodist Church deeded the chapel land and building and the cemetery to the Captiva Chapel-By-The-Sea, which has continued to manage and operate them to this day. The Chapel now offers weekly Sunday services from the third Sunday in November through the third Sunday in April. After April 2013, the Chapel will appoint a new Minister for a three-year term. It continues to be interdenominational. Its ministers serve for one year terms, which may be renewed for a total of not more than three years. It is the custom that the ministers of the same denomination not follow one another. It is important to note that Captiva Chapel-By-The-Sea has not been expanded in the past and has no plans to expand in the future. Because the entire congregation can not be accommodated in the small building, the overflow is accommodated in chairs outside the building, where they listen to the service as it is broadcast by loudspeakers attached to the exterior of the chapel. Thousands of people from all over the country and the world come to visit the chapel and arrange to be married there; however, Chapel policy dictates that either the bride or groom must have a prior connection to Captiva or Sanibel.

The Minister's Study (1926)

The minister's study had its origin c. 1920 as a lean-to or shed that was supported in part by two palm trees. It was built to provide overnight shelter for the circuit preachers who came to the island to lead worship services. In 1926, the structure was destroyed by a hurricane. In the same year, it was replaced by a free-standing building that was constructed out of remains of the lean-to and lumber contributed by the residents of the island. The new building continued to be used for overnight housing for visiting preachers and later became the minister's study. At a later time, the building was extended on the east for a garage addition and on the west and for a lavatory and storage room for hymnals and folding chairs for overflow congregation to sit in the

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CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

chapel yard. The building ceased to be the minister's residence when the parsonage was constructed in 1965. The central part of the building continues to be used as the minister's study.⁵ The building is also used for welcoming visitors and for arranging marriage ceremonies in the chapel for parishioners and persons with historical connections with Captiva and Sanibel.⁶

The Parsonage (1965)

The Parsonage was constructed in 1965 to house the minister who is historically was resident at the chapel from November to the Easter season. The need for a resident minister was apparent to the Chapel Board. Because of the increases in real estate prices and rentals, the Board could not afford to provide housing for a minister unless they constructed a residence on site. Because of the existence of the chapel as a tourist attraction for weddings, the Board has been able to call upon ministers who have achieved prominence in their home churches and communities. Different ministers have served over the years from November until the Easter season in April. In 2016, ministers will be given a three-year appointment. The parsonage was designed by Leon R. Levy (1900-1975)⁷ and built by Karl Wrightman. Leon R. Levy, AIA, was born in Savannah, Georgia, in 1900 and earned a degree in architecture from Georgia Tech University. He practiced architecture in New York with his brother Lionel (1902-1982)⁸ whose firm designed the New York Coliseum and a number of projects for city planner Robert Moses. Illness forced Levy to retire from the practice of architecture in 1962. He began to spend increasing parts of the year in Sanibel. Levy designed the parsonage at the request of the Chapel Board. He died in Sanibel in 1975.⁹ Karl Wrightman of Captiva was the builder of the parsonage. His grandparents settled in Sanibel in 1917. His family built a home that they later operated as the Gulf View Inn. Wright moved away from Sanibel shortly after completing construction of the parsonage.¹⁰

The Cemetery (1897)

Located south of the Captiva Chapel-by-the-Sea, the cemetery is located on a portion of the William Binder homestead. This small Island cemetery began in 1897 with the interment of an unnamed stillborn daughter of Herbert D. and Hattie Brainerd. This was followed in 1899 by the burial of another stillborn daughter. The small parcel of land where the infants were interred was purchased from Binder c.1900 by the Brainard's 10-year old daughter Ann Emma with a gold piece given to her as a birthday present by her grandmother. She

⁵ Jacker, Dick. "Captiva Chapel-By-The-Sea," Lee County Landmark Designation Report, 1994, p. 5.

⁶ "Chapel by the Sea Weddings," <http://www.captivachapel.com/weddings.htm>.

⁷ Florida Death Records, <http://www.death-record.com/d/n/Leon-Levy/Florida>.

⁸ New York Times, December 3, 1984.

⁹ Jacker, Dick. "Captiva Chapel-By-The-Sea," Lee County Landmark Designation Report, 1994, p. 6.

¹⁰ *Ibid.*, p. 7.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 8 Page 6

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

herself died in 1901 from tetanus, and her parents buried Ann on her small parcel of land along the Gulf of Mexico (Photos 20-21).¹¹ The cemetery is a site closely associated with the history of Captiva Island and is significant because it is directly associated with the lives of many of Captiva's early settlers who are buried there. Among the graves is that of the original homesteader William Binder who died in 1932. Herbert D. Brainard, who died in 1914, is also buried there. After Herbert's death, Hattie remarried Alvin Gore and was buried under her new married name at her death in 1945. Hattie retained ownership of the cemetery until 1936, when she donated it to the Methodist Church. The grave markers are all small and most of them are constructed of marble or granite. Some of the graves are unmarked. The cemetery continues in use, and the latest recorded burial is that of John Neitzke, a Korean War veteran who was buried on February 23, 2013.¹²

¹¹ Ibid., p. 5.

¹² "Lee County Past to Present Cemeteries," <http://www.rootsweb.ancestry.com/~flswphs/cem/captiva/>.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 9 Page 1 CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
MAJOR BIBLIOGRAPHICAL REFERENCES

BIBLIOGRAPHY

Books

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- Stone, Donald O. and Carter, Beth W. The First 100 Years: Lee County Public Schools, 1887-1987. Fort Myers, FL: Department of Printing, The School Board of Lee County, 1987.

Unpublished Documents

- Captiva Chapel-By-The-Sea Board of Associates Minutes-1992.
- Florida Preservation Services. "Lee County Historic Sites Survey," Report prepared for the Lee County Planning Department, December, 1986.
- Jacker, Dick. "Captiva Chapel-By-The-Sea," Lee County Landmark Designation Report, 1994.
- First Alva and Lee County school bus. 1924
State Archives of Florida, Florida Memory, Image Number RC08113

Alva Grade School N027611

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 10 Page 1

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
GEOGRAPHICAL DATA

Verbal Boundary Description

Captiva Chapel-by-the-Sea and Minister's Study

Parcel 35-45-21-00-00002.0000
11580 CHAPIN LANE CAPTIVA FL 33924
PARL IN NW 1/4 DESC IN OR 1665 PG 2766 + IN OR 0232 PG 0367

Parsonage and Cemetery

Parcel 35-45-21-01-0000A.0000
15135 WILES DRIVE CAPTIVA FL 33924
GORES A M SUBD PB 4 PG 7 LOT A CEMETERY

Boundary Justification

The historic resources of The Captiva School & Chapel-by-the-Sea Historic District are all found in the parcels of property found above and are shown as a dashed line in the map of the district accompanying the National Register Nomination.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number _____ Page 1

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

1. Captiva Chapel-By-The-Sea Historic District
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Mike Boris
4. April 2013
5. P.O. Box 162, Captiva, Florida
6. Main (South) Facade, Looking North
7. Photo 1 of 21

Items 1-5 are the same for the following photographs unless otherwise indicated.

6. East Elevation, Looking Northwest
7. Photo 2 of 21

6. Rear (North) Elevation, Looking South
7. Photo 3 of 21

6. Main (South) Facade and West Elevation, Looking Northeast
7. Photo 4 of 21

6. West Elevation, Looking Southeast
7. Photo 5 of 21

6. Interior, Nave, Looking North toward the Altar
7. Photo 6 of 21

6. Interior, Nave, Looking South toward Entrance
7. Photo 7 of 21

6. Interior, East Addition, Looking Northeast
7. Photo 8 of 21

1. Minister's Study
6. Main (Northeast) Elevation, Looking Southwest
7. Photo 9 of 21

1. Minister's Study
6. Southeast Elevation, Looking Northwest
7. Photo 10 of 21

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 2

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

- 1. Parsonage
- 6. Main (Northeast) Facade, Looking Southwest
- 7. Photo 11 of 21

- 1. Parsonage
- 6. Rear (Southwest) Elevation, Looking Northeast
- 7. Photo 12 of 21

- 1. Cemetery
- 6. Front Gate, Looking Southwest
- 7. Photo 13 of 21

- 1. Cemetery
- 6. South Side of Cemetery, Looking North toward Main Gate
- 7. Photo 14 of 21

- 1. Cemetery
- 6. Middle of Cemetery, Looking Southwest
- 7. Photo 15 of 21

- 1. Cemetery
- 6. Southeast Corner, Looking Southeast
- 7. Photo 16 of 21

- 1. Cemetery
- 6. North Section of Cemetery, Looking West
- 7. Photo 17 of 21

- 1. Cemetery
- 6. Northeast Section of Cemetery, Looking Northwest
- 7. Photo 18 of 21

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 3

CAPTIVA SCHOOL & CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

1. Captiva Island School
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Unknown
4. Between 1910-1915
5. State Library of Florida Photographic Collection, NO28699
6. Uncertain
7. Photo 19 of 21

1. Headstone of Ann Emma Brainerd
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Mike Boris
4. April 2013
5. P.O. Box 162, Captiva, Florida
6. Southwest Section of Cemetery, Looking East
7. Photo 20 of 21

1. Headstone of Ann Emma Brainerd
3. Mike Boris
6. Southwest Section of Cemetery, (Detail) Looking west
7. Photo 21 of 21



FLORIDA DEPARTMENT of STATE

RICK SCOTT
Governor

KEN DETZNER
Secretary of State

May 14, 2013

Ms. Gloria Sajgo, Principal Planner
Lee County Planning Division
Post Office Box 398
Fort Myers, Florida 33902

RECEIVED
MAY 17 2013

COMMUNITY DEVELOPMENT

Re: Captiva Chapel-By-The-Sea Historic District Nomination to the National Register

Dear Ms. Sajgo:

A Florida National Register Nomination Proposal for the above referenced property has been received by the State Historic Preservation Officer. We solicit your review and recommendation concerning eligibility in accordance with the procedures established by the National Historic Preservation Act [Title I, Section 101 (16 U.S.C. 470a) (c)(2)] which created the basis for the participation of Certified Local Governments in the Florida National Register of Historic Places nomination process.

According to the Act, before a property within the jurisdiction of the certified local government may be considered by the State to be nominated for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official, and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property meets the eligibility criteria. Within sixty days of the notice from the State Historic Preservation Officer, the chief local elected official shall transmit the report of the commission and his recommendation to the State Historic Preservation Officer. If no such report and recommendation are received within sixty days, the State shall proceed with the nomination process.

If either the preservation agency or the chief local elected official supports the nomination of the property, the proposal will be scheduled for consideration by the Florida National Register Review Board. If both the commission and the chief local elected official recommend that a property not be nominated to the National Register, the State Historic Preservation Officer shall take no further action, unless within thirty days of the receipt of such recommendation by the



DIVISION OF HISTORICAL RESOURCES

R. A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399-0250

Telephone: 850.245.6300 • Facsimile: 850.245.6436 • www.flheritage.com

Commemorating 500 years of Florida history www.fla500.com



Ms. Gloria Sajgo
May 14, 2013
Page Two

State Historic Preservation Officer an appeal is filed with the State. Any party may file an appeal with the State Historic Preservation Officer. If the State Historic Preservation Officer, after hearing the appeal, determines that the property is eligible, he shall proceed with the nomination process. The State Historic Preservation Officer shall include any reports and recommendations from any party along with the nomination submitted to the Keeper of the Register.

We look forward to your recommendation and comments regarding this property. If we can be of any further assistance to you, please do not hesitate to contact me.

Sincerely,



Barbara Mattick
Deputy State Historic Preservation Officer
for Survey and Registration

BEM

Enclosure

United States Department of the Interior
National Park Service

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT

other names/site number Captiva School, FMSF#LL1079

2. Location

street & number 11580 Chapin Lane N/A ☐ not for publication

city or town Captiva N/A ☐ vicinity

state FLORIDA code FL countv Lee code 071 zip code 33924

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination
☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of
Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property
☒ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant
☐ nationally ☐ statewide ☒ locally. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title _____ Date _____

State Historic Preservation Officer, Division of Historical Resources

State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional
comments.)

Signature of certifying official/Title _____ Date _____

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

☐ entered in the National Register
☐ See continuation sheet

☐ determined eligible for the
National Register
☐ See continuation sheet.

☐ determined not eligible for the
National Register
☐ See continuation sheet.

☐ removed from the National
Register.

☐ other, (explain) _____

Signature of the Keeper

Date of Action

5. Classification**Ownership of Property**

(Check as many boxes as apply)

- ☒ private
☐ public-local
☐ public-State
☐ public-Federal

Category of Property

(Check only one box)

- ☐ buildings
☒ district
☐ site
☐ structure
☐ object

Number of Resources within Property

(Do not include any previously listed resources in the count)

Contributing

Noncontributing

3	0	buildings
1	0	sites
0	0	structures
0	0	objects
4	0	total

Name of related multiple property listings

(Enter "N/A" if property is not part of a multiple property listing.)

N/A

Number of contributing resources previously listed in the National Register

0

6. Function or Use**Historic Functions**

(Enter categories from instructions)

EDUCATION/School

FUNERARY/Cemetery

RELIGION/Parsonage

RELIGION/Church Office

Current Functions

(Enter categories from instructions)

RELIGION/Church

FUNERARY/Cemetery

RELIGION/Parsonage

7. Description**Architectural Classification**

(Enter categories from instructions)

OTHER/Frame Vernacular

Materials

(Enter categories from instructions)

foundation Concrete Pier

walls Wood

roof Asphalt Shingle

other

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ **A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☐ **C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ **D** Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

Property is:

- ☒ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** a birthplace or grave.
- ☒ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property.
- ☐ **G** less than 50 years of age or achieved significance within the past 50 years

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References**Bibliography**

Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 36) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey

- ☐ recorded by Historic American Engineering Record

Areas of Significance

(Enter categories from instructions)

EXPLORATION/SETTLEMENT

SOCIAL HISTORY

Period of Significance

c. 1897-1963

Significant Dates

1897

1901

1917

1926

Significant Person

N/A

Cultural Affiliation

N/A

Architect/Builder

Arch: Unknown

Blder: Unknown

Primary location of additional data:

- ☒ State Historic Preservation Office
- ☐ Other State Agency
- ☐ Federal agency
- ☐ Local government
- ☐ University
- ☐ Other

Name of Repository

10. Geographical Data

Acreage of Property 1.2

UTM References

(Place additional references on a continuation sheet.)

1	Zone	Easting	Northing
2	Zone	Easting	Northing

3	Zone	Easting	Northing
4	Zone	Easting	Northing

☐ See continuation sheet**Verbal Boundary Description**

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared By

name/title Stephen Olausen./Carl Shiver, Historic Preservationist

organization Florida Bureau of Historic Preservation date May 2013

street & number 500 South Bronough Street telephone (850) 245-6333

city or town Tallahassee state Florida zip code 32399-0250

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets**Maps**A **USGS map** (7.5 or 15 minute series) indicating the property's location.A **Sketch map** for historic districts and properties having large acreage or numerous resources.**Photographs**Representative **black and white photographs** of the property.**Additional items**

(check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name Captiva Chapel-By-Sea

street & number 11580 Chapin Lane telephone (941) 472-1646

city or town Captiva state Florida zip code 33924

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and amend listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*).**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 7 Page 1

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

SUMMARY

The Captiva Chapel-by-the-Sea Historic District at 11580 Chapin Lane in Captiva, Florida, includes four contributing resources: the Chapel, the Minister's Study, the Parsonage, and the Cemetery. The district occupies just over an acre of property that was part of the homestead of William Herbert Binder (1850-1932) who came to Captiva in 1888. The cemetery, which contains 91 graves, was established in 1897. The chapel was originally a school erected c. 1910 that was also used for religious services for the residents of the village of Captiva. The Minister's Study dates from 1926, when it replaced an earlier building that was destroyed by a hurricane. The Parsonage was constructed in 1965 to provide a residence for visiting preachers who lived there from November to April of each year. All of the buildings are examples of the Frame Vernacular style.

SETTING

Captiva is one of a series of barrier islands in the Gulf of Mexico, located west of the larger neighboring Pine Island and mainland Lee County. Captiva has a long north-south axis that runs approximately six miles in length. At its widest, the island measures approximately one-quarter mile. The Captiva Census Designated Place (CDP) consists of 10.5 square miles of which 1.2 square miles is land and 9.3 square miles is water. Captiva has a year-round population of 379. Passes separate Captiva Island from Sanibel Island to the south and North Captiva and Cayo Costa islands to the north. Charlotte Harbor is found to the northeast and empties through Boca Grande Pass north of Captiva. Sanibel lies to the south, connected to Captiva by Blind Pass Bridge. Captiva is connected to the mainland by the Sanibel Causeway, which was completed in 1963. The seat of government of Lee County, Fort Myers, is located approximately thirty miles east of Captiva. The district boundaries encompass a parcel of land that includes the Chapel, Parsonage, Minister's Study, and Cemetery. The property is accessed by a sand road that leads from the northwest corner of the intersection of Wiles Drive and Chapin Lane. The site has a variety of trees, including palmettos, oaks, magnolias, and a variety of sub-tropical plants. To the north and east of the property are several large modern condominiums.

DESCRIPTION

Captiva Chapel-By-The-Sea c. 1901

Exterior

The Chapel is a irregularly shaped Frame Vernacular building with a front-facing gable roof featuring a small hip roofed belfry that extends from the south ridge of the roof, which is surfaced with composition shingles (Photo 1). The building originally had a rectangular plan, but in 1961 a small shed roof addition was added to the east side (Photo 2). The fenestration of the building is 1/1-light double-hung wood sash windows. There are two windows on the main (south) facade rear (north) elevation (Photo 3) and four windows on the west

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 7 Page 2

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

elevation (Photos 4-5). The east side also features four windows, two on the original building and two on the shed roofed addition. The building features three wooden doors: one on the main facade of the original building and two on the shed addition. The exterior walls are clad with wood drop siding, and the foundation consists of masonry piers. The dominant feature of the main facade is a gable roofed porch that extends over the main entrance. The porch roof is supported by square wood posts. The entrance is a single wood and glass panel door with nine lights. Flanking the porch are single rectangular windows. The west elevation of the chapel has four evenly-spaced rectangular window openings with simple wood surrounds. The rear of the building contains two rectangular window openings that are set at the corners.

Interior

The main entrance of the building opens into a single room (Photos 6-7), which contains 25 wooden pews for seating the congregation. Three of these are located in the east addition. The ceiling angles down at the sides to match the exterior slope of the gable roof. The ceiling and walls are covered with flush heart pine boards. The original heart pine floors are covered with vinyl floor tiles. An altar area is located on the north wall. A stud wall with plywood covering has been added to create a blind lancet arch opening in the center of the wall and false lancet window to allow light in from the existing rectangular windows. Metal rods have been installed to brace the building against high winds. The room created by the east addition is accessed through a large rectangular opening. It contains three additional pews and two small closets. The Chapel seats 120 people.

Alterations

In its original function as a school, the building footprint was a simple rectangle with an entrance and two windows on the main facade and three windows on the east and west elevations. The porch was constructed in the 1950s. In 1961, the building was extended twelve feet to the north to provide more space for seating and a new altar. The exterior fabric was re-sided at that time and new wood flooring was installed. New 1/1-light windows were installed to replace the original 2/2-light double-hung wood sash windows at this time. A small shed roof addition was added to the east side of the building to add three more pews, and the present bell tower was constructed in place of the original, which was added to the building in 1950. The present pews were installed in 1966.

The Minister's Study (1926)

This is a small one-story Frame Vernacular building clad in drop siding (Photo 9). Constructed in 1926, the small square building with a side gable roof features an shed roofed open porch extension. This original building is flanked by two side gable roofed additions: one on its east elevation and the other on the west elevation. These additions are compatible with the style and character of the original building. The roof material

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 7 Page 3

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
DESCRIPTION

is asphalt shingles. The minister's study has aluminum awning windows. A wooden garage door is found on the east elevation (Photo 10).

The Parsonage (1965)

The Parsonage is a small Frame Vernacular building featuring a side gable roof. The exterior of the building is clad in drop siding. The fenestration consists of 1/1-light double-hung windows, a pair of which flank a fixed plate glass picture window. The roof is covered with asphalt shingles, and the house rests on a masonry pier foundation with wood lattice infill. The house features a narrow wood deck with a wood railing and steps that provides access to the kitchen (Photo 11). There is intersecting gable over the rear screened porch (Photo 12)

The Cemetery (1897)

Located just south of the Captiva Chapel-by-the-Sea, the cemetery contains 91 graves, most of which have markers. The grave markers are all small and most of them were constructed of marble or granite. A number of the graves are unmarked. The earliest grave dates from 1897 and the most recent burial is that of John Neitzke, a Korean War veteran who was buried on February 23, 2013.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 8 Page 1

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

SUMMARY

The Captiva Chapel-By-The-Sea Historic District is significant at the local level under Criterion A in the areas of Exploration/Settlement, and Social History. It is a surviving example of an early one-room schoolhouse that also served as the primary place of religious worship for the early settlers of Captiva Island until it was converted into a Methodist mission church in 1921. Two other buildings in the district also contribute to its historic significance. These are the Minister's study, constructed in 1926 and the Parsonage constructed in 1965. The chapel has continued to serve as a place of worship on a nondenominational or interdenominational basis with services conducted by visiting clergy until the present day. The site is also significant for its small historic cemetery, founded in 1897, in which a number of the early settlers of Captiva are interred. Over a hundred years old, the cemetery continues to be an active burial place.

HISTORICAL CONTEXT

Juan Ponce de Leon, the official discoverer of Florida, sailed into the waters of the Calusa Nation in May 1513. He described the islands of Sanibel and Captiva as "jutting out into the sea." Upon his return to Calusa waters in 1521, Juan Ponce once again entered the dangerous waters of the Calusa. He organized a colonizing expedition to Florida consisting of two ships and 200 men, including priests, farmers, and artisans, 50 horses and other domestic animals, and farming implements. The colonists began to build a settlement probably located on Punta Rassa but were attacked by Calusa warriors. Eighty of the colonists were killed and Ponce de Leon was himself wounded with an arrow. He sailed to Havana, Cuba, where he died of his wound.¹

EXPLORATION/SETTLEMENT

Captiva Pass was named by the Spanish in the 1500s. When the United States acquired Florida in 1821, the only inhabitants of Sanibel and Captiva islands were a few Cubans who maintained fishing camps there. In 1862, the Homestead Act was passed, giving 160 acres of federal land free to persons who would live on the land and cultivate it; however, it was not until 1888 that Captiva was opened to homesteaders. In 1870, the census taker, who perhaps considered only white settlers, counted three persons living on Sanibel Island. These were William S. Allen, assistant marshal of Monroe County, his wife, and his son George, aged 16. By 1890, forty families had settled on Captiva and Sanibel islands. William Herbert Binder (1850-1932) came to Captiva in 1888 and established a homestead near the center of Captiva Island. Ten years later, George W. Carter came to Captiva with his family and homesteaded the northern end of the island.²

¹ Juan Ponce de Leon Bibliography, <http://www.travelponce.com/Ponce-de-Leon-bibliography.html>.

² "Captiva History," http://www.gloriaoflannery.com/area_history_captiva.asp.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 8 Page 2

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA; LEE COUNTY, FLORIDA
SIGNIFICANCE

In the first years of the 20th century, Captiva and Sanibel became a prime destination for sports fishermen. By the 1920s, however, hurricanes destroyed Captiva Island's only hotel and a number of other buildings, giving little hope that the island would thrive and grow as a vacation destination. In 1927, however, a developer named Clarence Bennett Chadwick came to Captiva and built a key lime plantation and began to acquire land which he subsequently resold to developers.³

In the mid 1920's, ferries began shuttling cars and people to a dock near the lighthouse at the south end of the island, and continued to do so until the causeway opened in 1963. An important development on Captiva was the establishment of the 'Tween Waters Inn (NR 2011) by Grace and Bowman Price in 1931 to accommodate wealthy tourists from all over the country. In 1931 the Bowmans made alterations to the primary inn and the built a series of small cottages just east of Captiva Drive. The Inn was the first tourist facility encountered by tourists after crossing Blind Pass Bridge. In 1935, the Public Works Administration (PWA) provided funds for the paving of Captiva Drive with a sand-asphalt surface, thereby making access to the island even more attractive to automobile traffic.⁴ The 1963 completion of the Sanibel Causeway, a toll road, spurred development in the islands.

SOCIAL HISTORY

The Chapel

The chapel was built c. 1901 as a one-room school house by Lee County on land donated for the purpose on the homestead of William Herbert Binder. The one-room schoolhouse (Photo 19) was the first school on Captiva and was attended by children from both Captiva and Sanibel. The building was also used for religious services for the people of Captiva and Sanibel on occasions when a circuit rider came over to the island from the mainland. At such times, the people also enjoyed picnics, games, and a community get-together.

In 1921, the Methodist Church purchased the land and abandoned the schoolhouse for use as a mission church, but services were still conducted by circuit preachers, with what regularity is not clear. Religious services continued to be conducted until 1947, when the Captiva Civic Association, by arrangement with the Methodist Church, took over operation of the Chapel and Cemetery on a nondenominational or interdenominational basis. Services continued to be conducted by visiting clergy. In 1951, the Captiva Civic Association agreed to the separation of the Chapel and Cemetery from active connection with the Association. In 1952, the Captiva Chapel-By-The-Sea was incorporated to operate as an interdenominational church "to offer to all regular services of worship" and "to extend a welcome to all members of the Christian faith regardless of denomination or creed." The Chapel began operating under this charter the same year.

³ "About Captiva Island," <http://www.captivaishomelandvillas.com/captivaishand.aspx/>.

⁴ Fort Myers News-Press, November 28, 1935.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 8 Page 3

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

In 1954, The Methodist Church deeded the Chapel land and building and the Cemetery to the Captiva Chapel-By-The-Sea, which has continued to manage and operate them to this day. The Chapel now offers weekly Sunday services from the third Sunday in November through the third Sunday in April. After April 2013, the Chapel will appoint a new Minister for a three-year term. It continues to be interdenominational. Its ministers serve for one year terms, which may be renewed for a total of not more than three years. It is the custom that the ministers of the same denomination not follow one another. It is important to note that Captiva Chapel-By-The-Sea has not been expanded in the past and has no plans to expand in the future. Because the entire congregation can not be accommodated in the small building, the overflow is accommodated in chairs outside the building, where they listen to the service as it is broadcast in the peaceful and natural setting. Thousands of people sign the visitors' book in the chapel every season. They come from all over the country and the world.

The Minister's Study (1926)

The minister's study had its origin c. 1920 as a lean-to or shed that was supported in part by two palm trees. It was built to provide overnight shelter for the circuit preachers who came to the island to lead worship services. In 1926, the structure was destroyed by a hurricane. In the same year, it was replaced by a free-standing building that was constructed out of remains of the lean-to and lumber contributed by the residents of the island. The new building continued to be used for overnight housing for visiting preachers and later became the minister's study. At a later time, the building was extended on the east for a garage addition and on the west for a lavatory and storage for hymnals and folding chairs for overflow congregation to sit in the chapel yard. The building ceased to be the minister's residence when the parsonage was constructed in 1965. The central part of the building continues to be used as the minister's study.⁵ The minister's study is used as an office and visitor's welcoming center for parishioners and persons wishing to arrange marriage ceremonies in the chapel.⁶

The Parsonage (1965)

The Parsonage was constructed in 1965 to house the minister who is resident at the chapel from November to the Easter season. The need for a resident minister was apparent to the Chapel Board. Because of the increases in real estate prices and rentals, the Board could not afford to provide housing for a minister unless they constructed a residence on site. Because of the existence of the chapel as a tourist attraction for weddings, the Board has been able to call upon ministers who have achieved prominence in their home churches and communities. The parsonage was designed by Leon R. Levy (1900-1975)⁷ and built by Karl Wrightman. Leon R. Levy, AIA, was born in Savannah, Georgia, in 1900 and earned a degree in architecture from Georgia Tech

⁵ Jacker, Dick. "Captiva Chapel-By-The-Sea," Lee County Landmark Designation Report, 1994, p. 5.

⁶ "Chapel by the Sea Weddings," <http://www.captivachapel.com/weddings.htm>.

⁷ Florida Death Records, <http://www.death-record.com/d/n/Leon-Levy/Florida>.

United States Department of the Interior
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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 8 Page 4

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

University. He practiced architecture in New York with his brother Lionel (1902-1982)⁸ whose firm designed the New York Coliseum and a number of projects for city planner Robert Moses. During World War II, Levy worked for the U.S. Army as an architect planning the layout of Camp Patrick Henry in Warwick County, Virginia. Illness forced Levy to retire from the practice of architecture in 1962. He began to spend increasing parts of the year in Sanibel, where he spent his time painting and became a member of the Sanibel Art League and had a gallery at the Sea Horse Shop on Sanibel. Levy designed the parsonage at the request of the Chapel Board. It was his only example of residential architecture in Florida. Levy died in Sanibel in 1975.⁹ Karl Wrightman of Captiva was the builder of the parsonage. His grandparents settled in Sanibel in 1917. His family built a home that they later operated as the Gulf View Inn. Wright moved away from Sanibel shortly after completing construction of the parsonage.¹⁰

The Cemetery (1897)

Located south of the Captiva Chapel-by-the-Sea, the cemetery is located on a portion of the William Binder homestead. This small Island cemetery began in 1897 with the interment of an unnamed daughter of Herbert D. and Hattie Brainerd. She was stillborn. This was followed in 1899 by the burial of another stillborn daughter. The small parcel of land where the infants were interred was purchased from Binder c.1900 by the Brainard's 10 year old daughter Ann Emma with a gold piece given to her as a birthday present by her grandmother. She herself died in 1901 from tetanus, and her parents buried Ann on her small parcel of land along the Gulf of Mexico (Photos 20-21).¹¹ The cemetery is a site closely associated with the history of Captiva Island and is significant because there are no other buildings or appropriate sites directly associated with the lives of many of Captiva's early settlers who are buried there. Among the graves is that of the original homesteader William Binder who died in 1932. Herbert D. Brainard, who died in 1914, is also buried there. After Herbert's death, Hattie remarried Alvin Gore and was buried under her new married name at her death in 1945. Hattie retained ownership of the cemetery until 1936, when she donated it to the Methodist Church. The grave markers are all small and most of them are constructed of marble or granite. A surprising number of the graves are unmarked

⁸ New York Times, December 3, 1984.

⁹ Jacker, Dick. "Captiva Chapel-By-The-Sea," Lee County Landmark Designation Report, 1994, p. 6.

¹⁰ Ibid., p. 7.

¹¹ Ibid., p. 5.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 8 Page 5

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
SIGNIFICANCE

but their location is shown on the map of the cemetery and the names are listed in the sexton's register. The most recent burial is that of John Neitzke, a Korean War veteran who was buried on February 23, 2013.¹²

¹² "Lee County Past to Present Cemeteries," <http://www.rootsweb.ancestry.com/~flswphs/cem/captiva/>.

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NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section number 9 Page 1

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
MAJOR BIBLIOGRAPHICAL REFERENCES

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**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number 10 Page 1

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
GEOGRAPHICAL DATA

Verbal Boundary Description

Captiva Chapel-by-the-Sea and Minister's Study

Parcel 35-45-21-00-00002.0000
11580 CHAPIN LANE CAPTIVA FL 33924
PARL IN NW 1/4 DESC IN OR 1665 PG 2766 + IN OR 0232 PG 0367

Parsonage and Cemetery

Parcel 35-45-21-01-0000A.0000
15135 WILES DRIVE APTIVA FL 33924
GORES A M SUBD PB 4 PG 7 LOT A CEMETERY

Boundary Justification

The historic resources of the Captiva Chapel-by-the-Sea Historic District are all found in the parcels of property found above and are shown as a dashed line in the map of the district accompanying the National Register Nomination.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 1 CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

1. Captiva Chapel-By-The-Sea Historic District
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Mike Boris
4. April 2013
5. P.O. Box 162, Captiva, Florida
6. Main (South) Facade, Looking North
7. Photo 1 of 21

Items 1-5 are the same for the following photographs unless otherwise indicated.

6. East Elevation, Looking Northwest
7. Photo 2 of 21

6. Rear (North) Elevation, Looking South
7. Photo 3 of 21

6. Main (South) Facade and West Elevation, Looking Northeast
7. Photo 4 of 21

6. West Elevation, Looking Southeast
7. Photo 5 of 21

6. Interior, Nave, Looking North toward the Altar
7. Photo 6 of 21

6. Interior, Nave, Looking South toward Entrance
7. Photo 7 of 21

6. Interior, East Addition, Looking Northeast
7. Photo 8 of 21

1. Minister's Study
6. Main (Northeast) Elevation, Looking Southwest
7. Photo 9 of 21

1. Minister's Study
6. Southeast Elevation, Looking Northwest
7. Photo 10 of 21

**United States Department of the Interior
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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 2

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

- 1. Parsonage
- 6. Main (Northeast) Facade, Looking Southwest
- 7. Photo 11 of 21

- 1. Parsonage
- 6. Rear (Southwest) Elevation, Looking Northeast
- 7. Photo 12 of 21

- 1. Cemetery
- 6. Front Gate, Looking Southwest
- 7. Photo 13 of 21

- 1. Cemetery
- 6. South Side of Cemetery, Looking North toward Main Gate
- 7. Photo 14 of 21

- 1. Cemetery
- 6. Middle of Cemetery, Looking Southwest
- 7. Photo 15 of 21

- 1. Cemetery
- 6. Southeast Corner, Looking Southeast
- 7. Photo 16 of 21

- 1. Cemetery
- 6. North Section of Cemetery, Looking West
- 7. Photo 17 of 21

- 1. Cemetery
- 6. Northeast Section of Cemetery, Looking Northwest
- 7. Photo 18 of 21

**United States Department of the Interior
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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 3

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
CAPTIVA, LEE COUNTY, FLORIDA
LIST OF PHOTOGRAPHS

1. Captiva Island School
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Unknown
4. Between 1910-1915
5. State Library of Florida Photographic Collection, NO28699
6. Uncertain
7. Photo 19 of 21

1. Headstone of Ann Emma Brainerd
2. 11580 Chapin Lane. Captiva (Lee County), Florida
3. Mike Boris
4. April 2013
5. P.O. Box 162, Captiva, Florida
6. Southwest Section of Cemetery, Looking East
7. Photo 20 of 21

1. Headstone of Ann Emma Brainerd
3. Mike Boris
6. Southwest Section of Cemetery, (Detail) Looking west
7. Photo 21 of 21

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 1



PHOTO 2

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 3



PHOTO 4

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 5

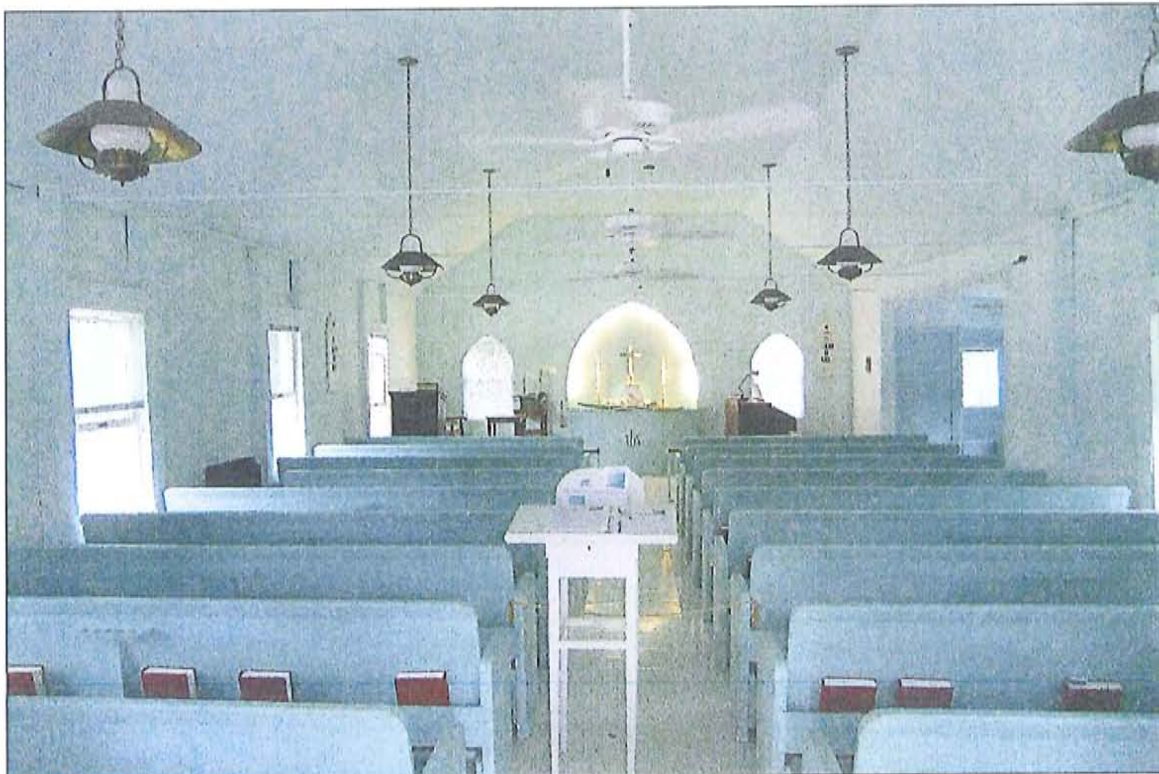


PHOTO 6

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 7

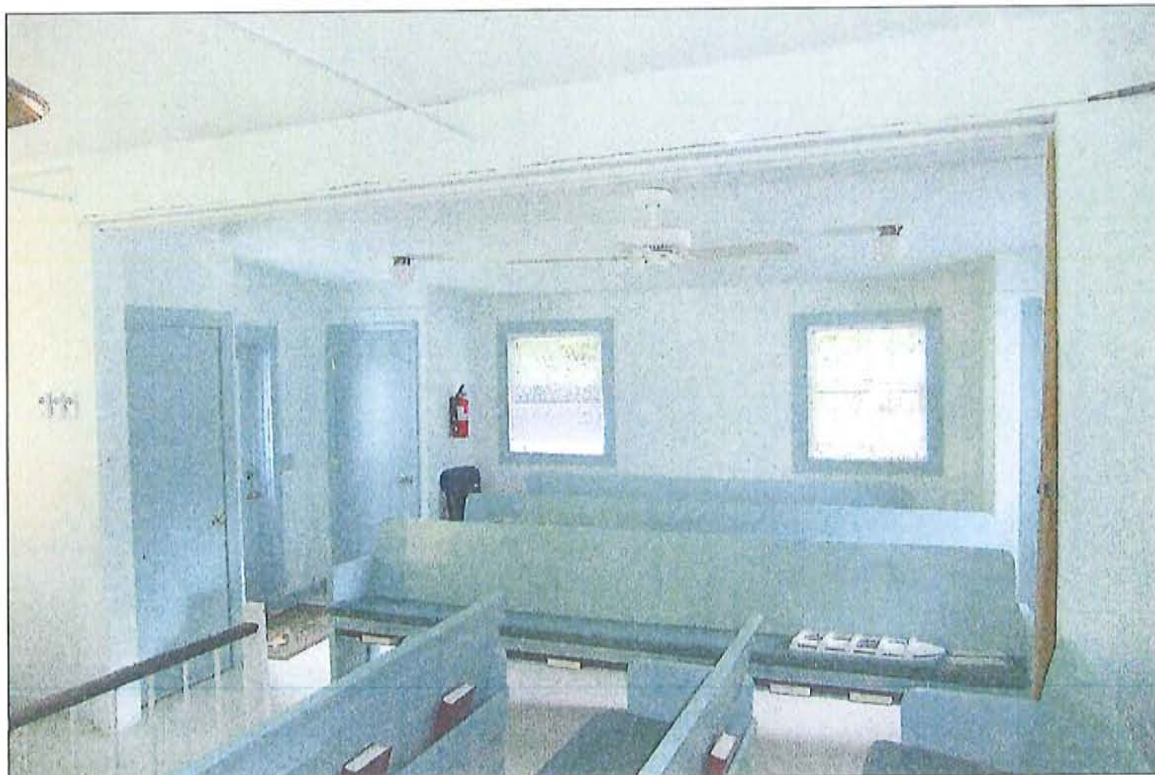


PHOTO 8

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 9



PHOTO 10

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 11

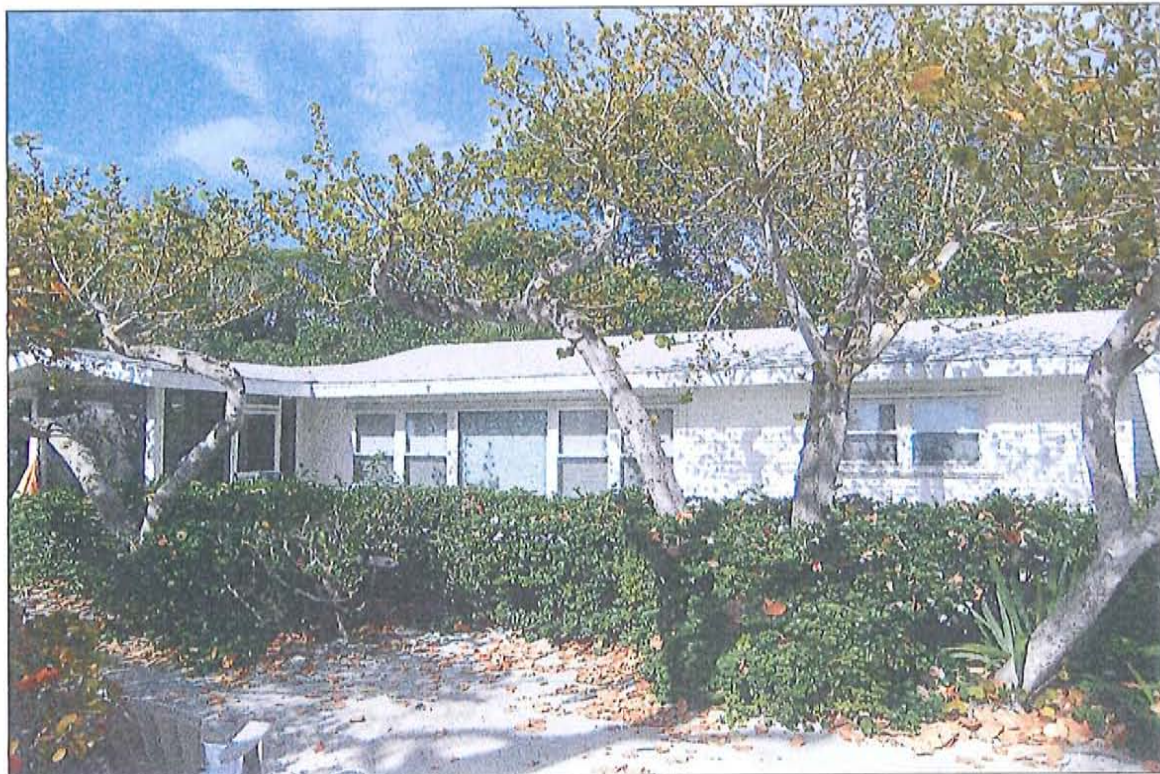


PHOTO 12

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 13



PHOTO 14

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 15



PHOTO 16

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 17



PHOTO 18

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 19

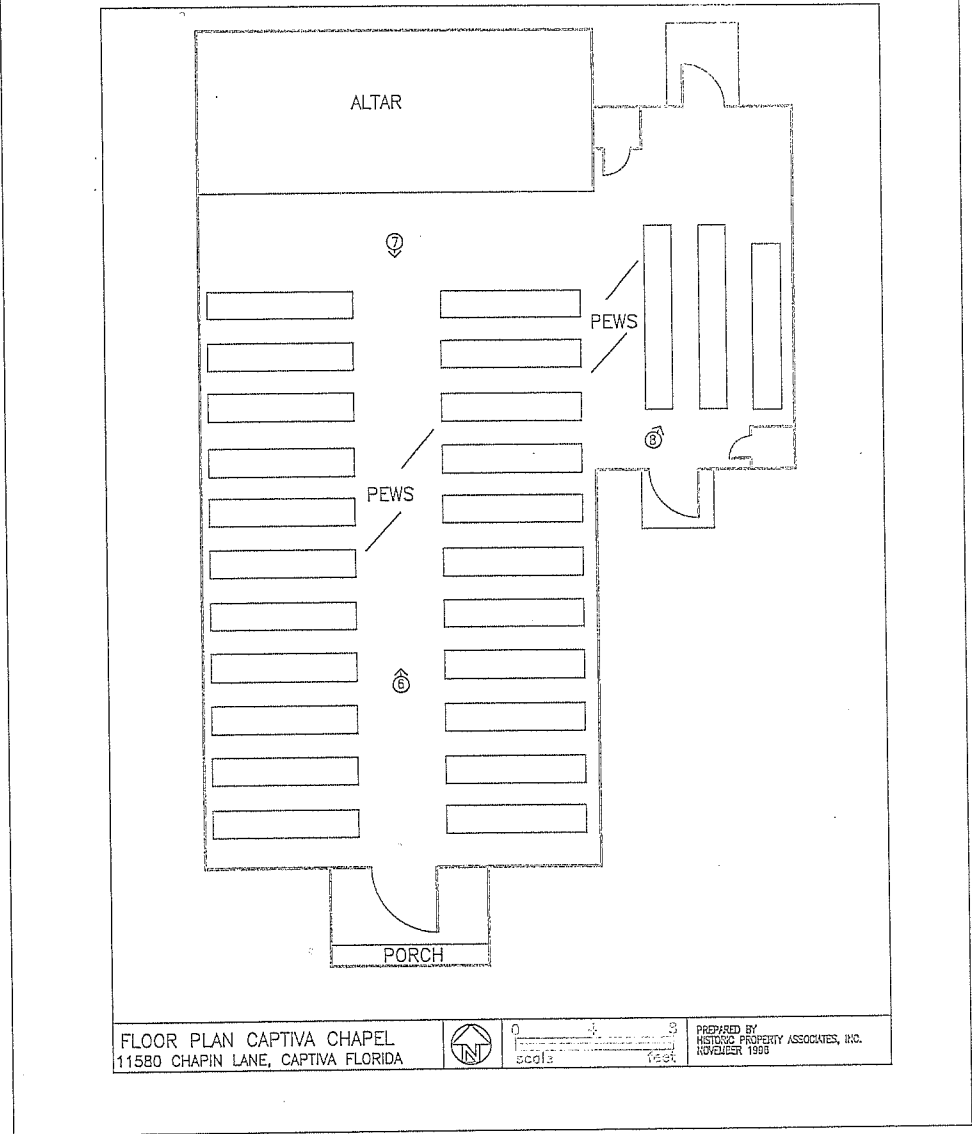
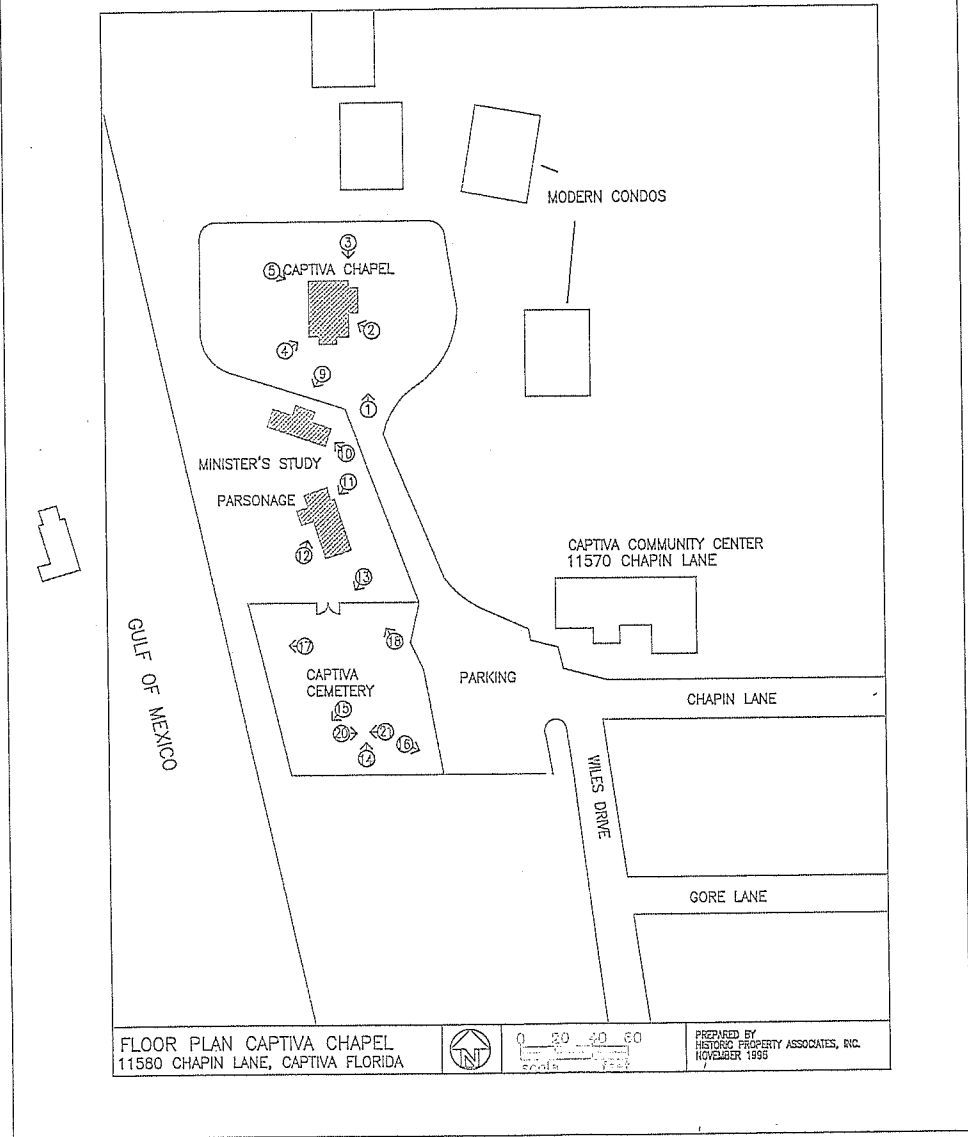


PHOTO 20

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT



PHOTO 21



CONTRIBUTING BUILDINGS

NONCONTRIBUTING BUILDINGS

STREET NAMES

STREET ADDRESSES

HISTORIC DISTRICT BOUNDARIES

PHOTO NUMBERS

CHAPIN LANE

CAPTIVA CHAPEL-BY-THE-SEA HISTORIC DISTRICT
11580 CHAPIN LANE, CAPTIVA FLORIDA
CAPTIVA (LEE COUNTY) FLORIDA

SCALE: SEE PANELS

ORIGINAL MAP PREPARED BY:
STEVE CLAUSEN
HISTORIC PROPERTY ASSOCIATES
P.O. BOX 1002
ST. AUGUSTINE, FL 32085-1002
Tel: (904) 794-5028

DRAWN BY: W. CARL SHIVER
DRAWING DATE: MAY 2013

THE DEAN PARK HISTORIC RESIDENTIAL DISTRICT MAP WAS DRAWN IN AUTOCAD USING A VARIETY OF VISUAL RESOURCES INCLUDING PHOTOS AND BUILDING FOOTPRINTS DOWNLOADED FROM THE LEE COUNTY PROPERTY APPRAISER, GIS AND SHERMAN FIRE INSURANCE MAPS, GOOGLE STREET VIEW, AND PHOTOS TAKEN ON SITE. THE MAP WAS DRAWN TO APPROXIMATE SCALE, BUT VECTORS WERE ALLOWED FOR THE PURPOSE OF CLARITY.

DRAWING NUMBER: SHEET NO. 1 OF 1
N/A

MAP REVIEWED BY: CARL SHIVER
FLORIDA BUREAU OF HISTORIC PRESERVATION
P.O. BOX 1002
500 SOUTH BRONOUGH STREET
TALLAHASSEE, FLORIDA 32309-0250
PHONE NUMBER (904) 245-8333
TOLL FREE NUMBER 1-800-7278
FAX NUMBER (904) 245-8400

Sajgo, Gloria

From: Shiver, William "Carl" [Carl.Shiver@DOS.MyFlorida.com]
Sent: Friday, May 31, 2013 9:13 AM
To: Sajgo, Gloria
Subject: RE: Old School Captiva

Thank you for the info. We now have quite a bit of information about the early schools of Captiva and Sanibel. I will incorporate this information into the nomination proposal. My question now is should we change the title of the proposal to CAPTIVA SCHOOL AND CHAPEL-BY-THE-SEA HISTORIC DISTRICT? I will, of course, send the revised copy to you after Barbara has seen it.

Carl

From: Sajgo, Gloria [mailto:GSajgo@leegov.com]
Sent: Friday, May 31, 2013 8:23 AM
To: 'Fred Gaske'; Shiver, William "Carl"
Subject: RE: Old School Captiva

OK This is the only other entry about a public school (Lee County Board of Public Instruction) in Sanibel. This little school was blown down and replaced by another school which I think is the building of the current playhouse.

I will double check but it might be that the school that was in 'Tween Waters was private. As I understood it we are talking about public schools in Lee County. I think it would be really hard to track down every private school in the early days of Lee County.. People held classes in a variety of settings as a result of private initiatives.

Gloria M. Sajgo, AICP, Principal Planner
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e-mail gsajgo@leegov.com



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From: Fred Gaske [mailto:fgaske@hotmail.com]
Sent: Thursday, May 30, 2013 5:54 PM
To: Sajgo, Gloria; 'Shiver, William "Carl"'
Subject: RE: Old School Captiva

Gloria,

Is there any information in the book you have access to - "The First 100 Years: Lee County Public Schools, 1887-1987"?

Also, is there any information in that book regarding a schoolhouse at present-day Tween Waters Inn? In the NR nomination for TWI, Sidney Johnston states that the present-day Old Captiva House was originally built in

c. 1910 as a schoolhouse. But the historic photo he submitted with the application is the exact same one (transposed) that you scanned and sent me from that book (page 79) as being the present-day Captiva Chapel. I think Sidney may have been in error.

Fred

From: GSajgo@leegov.com
To: Carl.Shiver@DOS.MyFlorida.com
CC: fgaske@hotmail.com
Date: Thu, 30 May 2013 11:31:53 -0400
Subject: RE: Old School Captiva

Fred: Please see comments from Carl.

Gloria M. Sajgo, AICP, Principal Planner
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mail: P.O. Box 398 Fort Myers FL 33902
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From: Shiver, William "Carl" [<mailto:Carl.Shiver@DOS.MyFlorida.com>]
Sent: Thursday, May 30, 2013 11:29 AM
To: Sajgo, Gloria
Subject: Old School Captiva

In 1921, the Board of Public Instruction sold the school building and land to the Methodist Church for use as a mission church; therefore, what did the children of Captiva and Sanibel do for a school? Did they continue to use the building as a school house on weekdays. Was the school/chapel damaged by the 1926 hurricane? In the mid 1920's, ferries began shuttling cars and people to a dock near the lighthouse at the south end of the island, and continued to do so until the causeway opened in 1963. Was a new school constructed on the islands in the period between 1926 and 1963, or were the students ferried to the mainland to attend school in Fort Myers. I am sorry to bother you with these questions but I had no luck searching the Internet about the history of school construction to serve the barrier island communities.

Carl

W. Carl Shiver, Ph.D.

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Street | Tallahassee, Florida 32399-0250 | 850.245.6347 | 1.800.847.7278 | Fax: 850.245.6439 |
Carl.Shiver@DOS.MyFlorida.com | www.flheritage.com

500 South Bronough

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Sajgo, Gloria

From: Sajgo, Gloria
Sent: Thursday, May 30, 2013 12:35 PM
To: 'Shiver, William "Carl"'
Subject: RE: Old School Captiva
Attachments: 20130530125016571.pdf

Hello Carl: Glad you found some information. Here are pages you might find interesting from the first 100 years

- The Sanibel School was known initially as East Sanibel -- this is the building that was transformed to a theater. When we did the NR nominations for schools, this building was deemed too altered to qualify.
- There was a school in western Sanibel in the small community called Wulfert and apparently those were the students transported to Captiva (Captiva is north and west of Sanibel)
- The Sanibel Colored school was built in 1929 and is listed on the National Register

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From: Shiver, William "Carl" [<mailto:Carl.Shiver@DOS.MyFlorida.com>]
Sent: Thursday, May 30, 2013 12:15 PM
To: Sajgo, Gloria
Subject: RE: Old School Captiva

I found information and a current photo of the Sanibel Schoolhouse. It was built in 1896 and transformed into a little theater in 1964. It was moved from its original location in 2004.

Carl

From: Sajgo, Gloria [<mailto:GSajgo@leegov.com>]
Sent: Thursday, May 30, 2013 11:32 AM
To: Shiver, William "Carl"
Cc: 'Fred Gaske'
Subject: RE: Old School Captiva

Fred: Please see comments from Carl.

Gloria M. Sajgo, AICP, Principal Planner
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mail: P.O. Box 398 Fort Myers FL 33902
street: 1500 Monroe St. Fort Myers FL 33901 (2nd floor)
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From: Shiver, William "Carl" [<mailto:Carl.Shiver@DOS.MyFlorida.com>]

Sent: Thursday, May 30, 2013 11:29 AM

To: Sajgo, Gloria

Subject: Old School Captiva

In 1921, the Board of Public Instruction sold the school building and land to the Methodist Church for use as a mission church; therefore, what did the children of Captiva and Sanibel do for a school? Did they continue to use the building as a school house on weekdays. Was the school/chapel damaged by the 1926 hurricane? In the mid 1920's, ferries began shuttling cars and people to a dock near the lighthouse at the south end of the island, and continued to do so until the causeway opened in 1963. Was a new school constructed on the islands in the period between 1926 and 1963, or were the students ferried to the mainland to attend school in Fort Myers. I am sorry to bother you with these questions but I had no luck searching the Internet about the history of school construction to serve the barrier island communities.

Carl

W. Carl Shiver, Ph.D.

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@ItsWorkingFL



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Sajgo, Gloria

From: Sajgo, Gloria
Sent: Tuesday, May 28, 2013 1:25 PM
To: Mattick, Barbara
Cc: 'Fred Gaske'
Subject: Captiva Chapel by the Sea
Attachments: 20130528131311740.pdf

Hello Barbara:

Per your suggestion I called Fred about the proposed NR nomination and Fred was OK with my comments and advised I should write you. Below is a summary of the comments I would propose to the Lee County HPB forward after their CLG review. **What do you think?**

Please see attached pages from the First 100 Years Lee County Public Schools 1887-1987 (which is referenced as a source in the proposed nomination document0. I am suggesting additional information be included about this early school. To my knowledge this is the only pioneer school still standing on the same location in Lee County. (We have a small pioneer school in Estero but it is not on its original location as it had to be re-located to a county park to be saved.) We have a lot of out larger school buildings but not these small pioneers schools. It is probably one of the few pioneer schools still standing in Florida.

In the future if the Church ever contemplates any changes it would be very important for the congregation to understand the building's history as a school. Please refer to the attachment.

- Please note the photo on page 79 is the same one included in the proposed nomination except the negative probably got flipped. At any rate in the attachment the people in the photo are identified. I thought if there was a way to include this information in the nomination it would be very valuable.
- Please note on page 80 under the heading "DEED" W. H. Binder deeded the property to the LBPI (Lee Board of Public Instruction) in 1920 and then LBPI sold it to the Methodist Church in 1921. Note under CLOSED section these transactions are better detailed.)
- First Teacher G.W. Bryant 1903-1904
- Notable Teachers Miss Cordie Nutt, Miss Mary Waldron, Miss Nellie Gould.
- The Oral history included is also interesting.

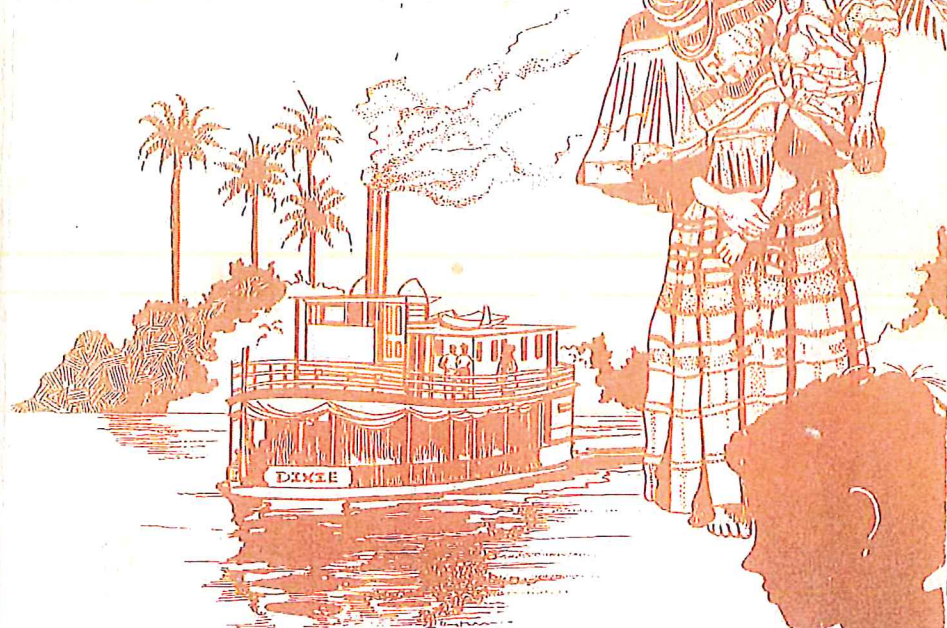
Gloria M. Sajgo, AICP, Principal Planner
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Think Green & please print this e-mail only if necessary.

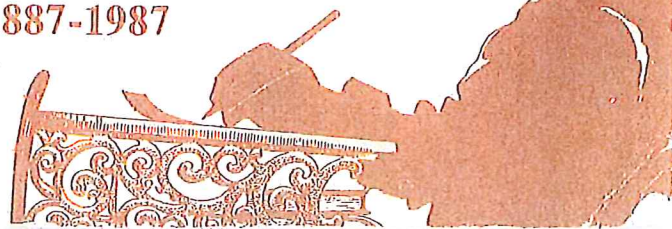
Please note: Florida has a very broad public records law. Most written communications to or from County Employees and officials regarding County business are public records available to the public and media upon request. Your email communication may be subject to public disclosure. Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

THE FIRST 100 YEARS



Lee County Public Schools
1887-1987

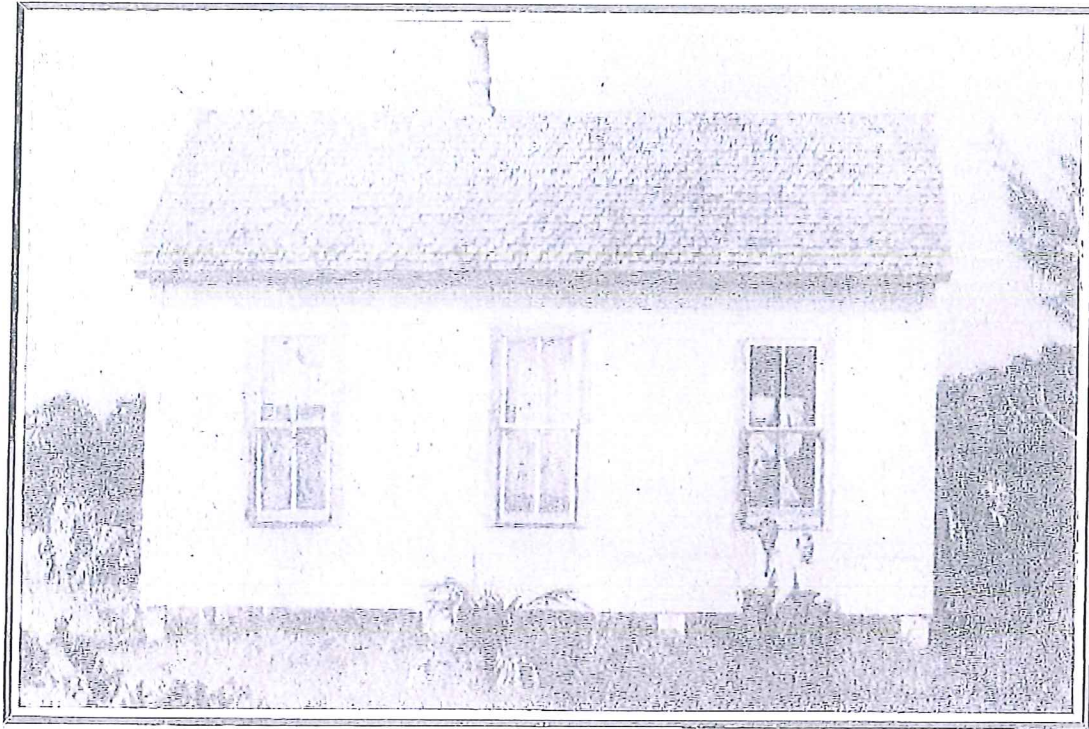
Linda Maggala



1901: WULFERT SCHOOL

"Arrangements perfected to transport pupils from Wulfert to Captiva and pay B.D. Stewart \$35.00 a month for same."

(LBPI minutes, Aug. 6, 1918)



DEED: None recorded; school believed located on land of Stephen Roberson, who lived on the land many years before he got a deed to the property in 1908 from the USA. Jesse Carter, resident of the area, identified Roberson's land as the site of the school; this was the far western end of Sanibel.

COST: ?

FIRST TEACHER: D.W. Sumner (later Supt. of Schools of Lee Co.)

CLOSED: circa 1919; Teachers are listed for Wulfert through 1924, but Loveland believes that students were probably transported to Captiva School.

Quotes and Notes

July 10, 1902 (Press) "Wulfert is soon to have a school (school was held in 1901 in a building not provided by the LBPI). The site is selected, lumber is at the bulkhead, temporary quarters have been

arranged in Mr. Roberson's house where Mr. Sumner is teaching 18 or 19 students."

Oct. 5, 1910 (LBPI) "The Superintendent has instructed parties in Wulfert and Captiva for combining the two schools for the ensuing term."

(Author's Note: The practices of combining schools, and closing one school and transporting students to a nearby school were

quite common, especially on the island schools. Low student enrollment was the usual reason.)

In "Backwoods Schoolmarm" (an article in the Dec. 29, 1963, *Fort Myers News-Press*) Nell Weidenbach writes about her mother, Mrs. T.H. (Elita Fox) Colcord's memories of teaching at Wulfert:

(Wulfert was) "... a remote fishing village on the far west end of Sanibel Island. Her room had no floor, only crushed shell. The door to her room was so warped it wouldn't close at the top. Cracks between the wallboards alternately let in ... mosquitoes or blasts of cold winter winds. ... 'At night the

family and I gathered around a smudge pot instead of a TV,' she commented.

The folks at Wulfert shared their 'cracker' meals with her. 'Nobody, not even a Yankee schoolteacher, should ever have to eat coon pie,' declared Mrs. Colcord emphatically. 'Nothing lingers in my memory quite like the feel of that hairy mouthful of coon.' The more I chewed, the bigger and hairier it got. Everybody kept looking at me to see what I would do. Finally ... well, I couldn't very well strangle to death, could I?'

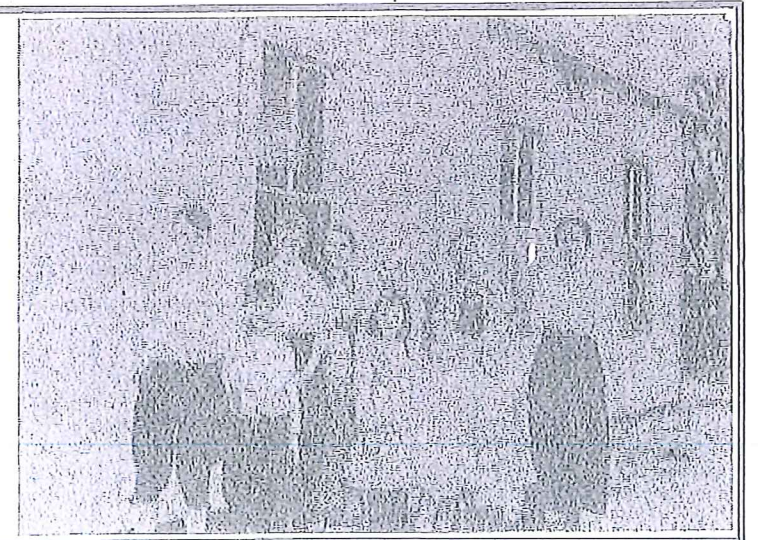
Even though Mrs. Colcord had to teach eight grades in one room, she was grateful that it was not a log cabin, of which there were 207 used by the state as classrooms (in 1903)."

1901: CAPTIVA SCHOOL (also called CAPTIVA-BUCK KEY SCHOOL)

"We are still without a school which is a deplorable condition as there are at Wulfert and Captiva enough children to make a fair-sized school."

(Fort Myers Press, Feb. 5, 1912)

Miss Nell Gould (standing at far right) with her class at the one-room Captiva Island schoolhouse during the 1913-1914 school year. Pictured (but not in order) are Mary Hunter, Wilson and Jesse Bryant; Audrey, Ella, and Thelma Bates; Beulah Brainerd, Chubb Mickle, Vera Brewer, and two Doyle girls. Absent that day were Betty Bryant, Margaret Mickle, and Lucy Mickle.



DEED: None recorded; school located on land of W.H. Binders (halfway between G.W. Carter and G.M. Ormsby's properties). In 1920, W.H. Binder deeded property to the LBPI, but it was sold to the Methodist Church in 1921.

COST: ?

FIRST TEACHER: G.W. Bryant, 1903-1904

NOTABLE TEACHERS: Miss Cordie Nutt, Miss Mary Waldron, Miss Nellie Gould

CLOSED: 1921; schoolhouse was sold to W.J. Bryant for \$500.00. The property was sold to the Methodist Church Trustees for \$400.00. (NOTE: Loveland states in his history that a second school on Captiva may have been held between the years of (circa) 1918 and 1924 on a location near the Gulf. The island has eroded in that area since then, and the exact location would be impossible to locate. He states that the land probably belonged to Mr. Bryant.)

Quotes and Notes

Miss Margaret Mickle attended school at Captiva for several years. She shared some of her memories of those days in a 1987 interview:

1901: PINELAND SCHOOL

"Three roads leading to the schoolhouse have been grubbed out and the problem of communication is gradually being solved. Last Sunday Miss Meta Harrssen gave a zonophone concert at the schoolhouse much enjoyed by parents and children."

(Fort Myers Press, Jan. 23, 1902)

"It was a one-room school. All of us lived a good ways from school; for instance, the Mickles walked 3½ miles to school, and the Bryants and the Carters were only a little closer. On your way to school, you fought a while and went swimming a while and got to school late sometimes, and were chastised in a mild sort of way... Miss Gould wouldn't get mad at you. Everybody was glad to get there and glad to see school out. But we were sorry to see her leave Captiva. She left because she got another school... a better deal I'm sure. She didn't have to deal with mosquitoes and with us.

Mrs. Fadely was another teacher we had at Captiva (1915-1916). She was a German lady, and was kind of hard on you about getting your lessons. But if you got her on to geography, you could just sit back and listen, because that she loved, and she traveled a great deal. I remember her accent as we sang, 'Are There Any Stars in Your Crown?' She had a decided way of pronouncing words.

We had another teacher down there by name of G. Fred Turner. He was mean! Very, very stern man. And he lived in a tent. Some of the kids down there got in that tent, and he must have thought the pirates had been after it when he

saw what they did to it. I guess he lived in a tent because he thought he was a great woodsman. But he wasn't beloved by the kids.

We had tin drinking cups in those days, and if you got where the sun shone on it just right and you wiggled the cup, you could shine it right in someone's eyes. You could get yourself in trouble, and have your cup removed, for instance."

Jan. 26, 1905, (Press) "Captiva School closed because of the sickness of the teacher. We hope for another teacher." (Eva Campbell was appointed in March 1905)

Jan. 24, 1907 (Press) "... patrons and friends of the Captiva School met to celebrate the 100th anniversary of the birth of Robert E. Lee. The schoolhouse was artistically decorated."

Jan. 16, 1912 (Press) "We are looking for a school teacher who has not arrived."

May 6, 1919 (Press) "School closed Friday. Captain Smith's daughter who has been in France as a Red Cross nurse gave a talk and exhibited pictures. At the close of the entertainment, ice cream was served. Mrs. Fadely, our beloved teacher, left Saturday for LaBelle."

1901: PINELAND SCHOOL

DEED: 1901: Ada S. Foster to LBPI

COST: ? Building was 20' x 30'

FIRST TEACHER: Mrs. L.W. Mix

NOTABLE TEACHER: Mrs. Ethel Ross taught at Pineland from 1912 until the school closed in 1925 (14 years).

CLOSED: 1925; School was located too far north on Pine Island, and another, more centrally located school was needed. In 1926, the students joined those of Bokeelia at the Pineland-Bokeelia School.

Quotes and Notes

December 6, 1906 (Press) "We know our school population is scattered over a large territory, and that wild hogs, rattlers, and bad roads are around and perhaps parents are a little negligent and fearful about sending their children to school, and therefore our teachers cannot make a creditable showing; nevertheless, we think that the school authorities ought to give us a school, and we urge upon the people the importance of sending their children to school."

Dec. 11, 1924 (Press) "Miss Georgia McFerron in her report on the condition of the schools states that the 'Pineland School leads the schools in attendance with one pupil losing only two days from having 100% attendance. Pineland is a Grade A school. It has purchased a new Edison talking machine and has a splendid selection of records."

1901: SPARKMAN SCHOOL AND HARRSSENVILLE SCHOOL

Brief attention in the *Fort Myers Press* and the LBPI minutes is given to these two schools. Though petitions were submitted to the LBPI to build both schools, neither was ever constructed.

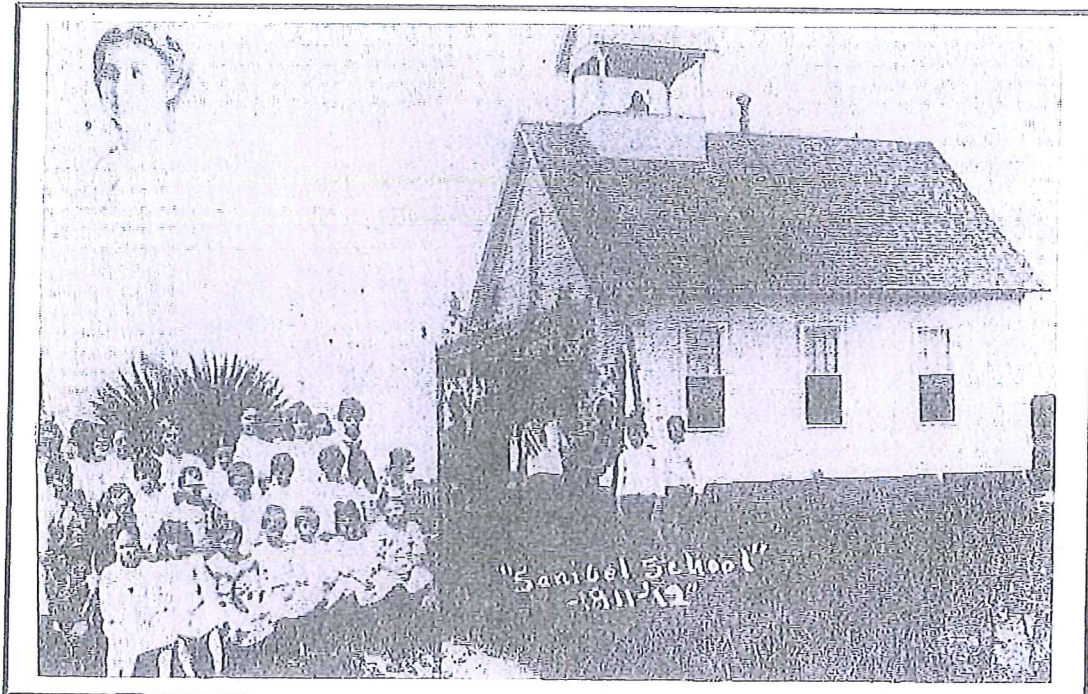
Harrssenville was a community of approximately 10 families living 12 miles north of St. James City, and boasted a sawmill and a grove. The Harrssen family petitioned for the school but no action was taken; children in that district attended the Pineland School.

In a similar situation was Sparkman, a community located near Estero. The children in the Sparkman area were transported to Estero in 1908; in 1910 the board explored possibilities of their attending the same school as students from Mound Key.

1896: EAST SANIBEL SCHOOL

"My father sold the acre of land for the school to the school board. I don't know what the price was, but it couldn't have been much as land didn't go for much then. If we had been smart . . ."

(From a 1987 interview with Louise Riddle Waldron, a teacher in Lee County for 26 years.)

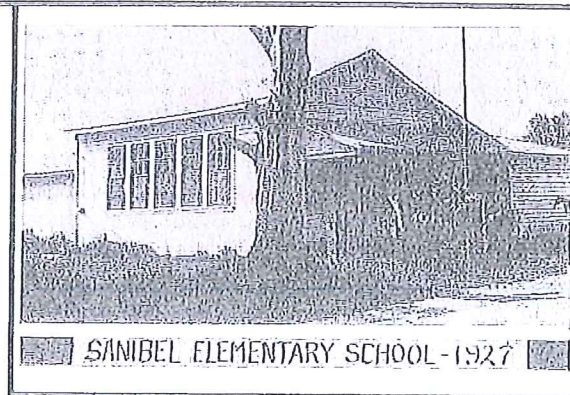


Two of the early schools on Sanibel Island are shown here. There is some confusion as to the dates of origin and identification of these schools, as there were several schoolhouses on Sanibel and Captiva Islands during the late 1800's and early 1900's.

Mrs. Louise Riddle Waldron identifies the picture above as the school in which Mary A. Waldron taught in 1911 - 1912 (Mary Waldron's picture is inset). The belfry of this school was later blown away during a hurricane. She identifies the students as Myrtis Swint, Ione Swint, Bertha Daniels, Haskell Daniels, Florence Reed, Carrie Reed, Hazel Reed, Monroe Adkins, Katie Adkins, Irene Riddle, Louise Riddle, George Riddle, and Clyde Riddle, Blanche Bronson, Ray Johnson, Belton Johnson, Fred Johnson, Bert Waldron, Baxter Young, and two Turner children.

In the larger picture, standing by the pole, are Baxter Young, Myrtis Swint, Haskell Daniels, and Monroe Adkins.

The second picture (right), labeled "Sanibel Elementary School 1927" certainly appears to be the building which is now the Pirates Playhouse on Periwinkle Drive on Sanibel.



DEED: H.D. Rose and H.B. Shelby in 1896 to LBPI

COST: \$539.00 paid to F.M. Parks

MOVED: in 1902 to a more favorable location, the land of Mr. and Mrs. George N. Riddle

DEED: Mr. and Mrs. G.N. Riddle to the LBPI in 1903 *(Another deed was recorded in 1896 from J. Vanaker to LBPI. Loveland feels that this deed may have been the land for the West Sanibel School later moved to Buck Key.)*

Quotes and Notes

This schoolhouse is still standing, serving the Sanibel community as the "Pirates Playhouse." Mrs. Louise Riddle Waldron remembers well attending the school on her father's land (she later taught at Pine Island and Buckingham schools). She attended school on Sanibel in 1906, endured the hurricane of 1910, and finally left the island with her family in 1915. Her memories of her days on Sanibel follows:

"When I started school, I was six years old and they started us learning the ABC's. They didn't teach printing at all; the children were taught cursive writing from the very beginning. They had a big chart, more than a yard wide, and when the teacher would have us copy one page, she would turn the next and just keep us going.

We began the day with a reading from the Bible, the Lord's Prayer, and a few songs. The songs came out of a composition book we wrote ourselves by copying songs we all knew, such as 'America.'

The school was located centrally on the island, and children came from all directions. Some came from Woodring's Point, a peninsula all by itself, and they had to come through water to school. The men built a boardwalk that was at least 2-3 miles over the sandflats and water that enabled them to get to school.

We had a patriotic program for Robert E. Lee's birthday. Those teachers (the Nutt sisters) were so good about it. They were Southerners, but you would have never known it from the way they taught history. We were taught to respect the officers on both sides—the teachers handled it so nicely!

Inside the schoolhouse, we had a table for the teacher and a straight chair. In front of her, there was a recitation bench, and she'd call class by class up to recite. There was a table in the back of the room with a bucket and a dipper. We had a pump right outside. We didn't bother about separate cups; we all drank out of the same dipper.

Sanibel was a farming section. Oh my land! We grew all types of crops: peppers, tomatoes, eggplants, cucumbers, watermelons, and all kinds of greens and vegetables. My father had 140 acres, and we farmed that and all of us eight children worked. Those vegetables were shipped out by Kinzie's steamboat line in the morning, and you'd be surprised at the number of vegetables that left that island each morning. We packed tomatoes . . . I was an expert and could pack 80 crates a day by myself. We got paid 4 cents for every crate we packed . . . that was pretty good money then."

1896: ESTERO CREEK SCHOOL

DEED: None recorded until 1901, by F.M. and Elinor Hendry to LBPI

COST: ? LBPI provided no building for many years, "deferring" action on construction in 1900, and later renting space for the school. Rent in 1900 was \$6.00 per month.

FIRST TEACHER: J.J. Williams (paid \$25.00 per month in 1896)

CLOSED: 1904. LBPI provided a building.

end of Banyan Street - after scraping handfuls of mosquitoes from our exposed skin as we ran the gauntlet of those beautiful but infested trees. And on Saturdays, the big event of the week was the

early afternoon arrival of the train from Murdock.

Somehow, in spite of primitive equipment and my lack of experience, the children accepted my love and efforts at face value

and they did learn what they were supposed to learn."

1929: J. COLIN ENGLISH SCHOOL

DEED: 1928; J.W. McWilliams Company deeded 5 acres to the LBPI.

COST: \$28,580.00

CONTRACTOR: C. Franklin Wheeler

ARCHITECT: N.G. Walker

FIRST PRINCIPAL: Harry F. Hendry

NOTABLE PRINCIPAL: Mrs. Isadore Claville served as principal from 1937 - 1961 when she retired (24 years). She was involved with the school 32 years as a bus driver, teacher, and then principal.

FIRST TEACHERS: Mrs. D.L. Claville, Mrs. C.H. Rosser

RENOVATIONS: A cafeteria was added in 1946. Two classrooms were added in 1947-48. In 1950, 10 acres were purchased and a four-room wing added. Three more identical wings were built in 1953, 1955, and 1957. A new cafeteria was added in 1958-59. Library and office renovations made in 1970.

Quotes and Notes

Dec. 28, 1928 (LBPI) "The Board voted on naming the new school (at New Prospect) the 'J. Colin English School.'"

Aug. 7, 1929 (LBPI) "A contract was made for the purchase of 79 oak trees for the new J. Colin English School at \$1.00 each, and

to be placed on the back part of the school field secured from J.E. Hendry."

1929: SANIBEL COLORED SCHOOL

DEED: 1929; Trustees of the First Baptist Church to the LBPI. The site was the corner of Tarpon Bay Road and the Island Inn Road. (The same land was deeded in 1929 to the LBPI by Elmer Fetrow, and John and Minnie Bryan...the need for both transactions is unclear.)

COST: The LBPI paid \$1500.00 for the land and church building.

FIRST TEACHER: Angelita Stafford Swain George (she taught on Sanibel in 1924, but the first teacher in the building was Miss Hazel Hammond.)

OTHER NOTABLE TEACHERS: Helen V. Goodman and Agnes Thompson (1933-1934); Ernestine Mims in 1934-1935; Wardell Salters; Lossie Pearson in 1947-1948.

CLOSED: ?

Quotes and Notes

Feb. 5, 1930 (LBPI) "The Board confirmed the allowance of an extra room at the Sanibel colored

school building, but will not carry insurance on the colored school because of the high rates charged."

Records indicate that teachers were employed by the LBPI as early as 1927 for the Sanibel Colored School; Mae Ola Nickson remembers that her mother began the school at Sanibel in 1924. However, the LBPI provided no building for the school until 1929.

Mrs. Sarah Leitner Burke, who taught at the Sanibel School for white children in the middle 1940's, relates some of her memories of working with the teacher at the Sanibel Colored School and of the children's travels on the bus:

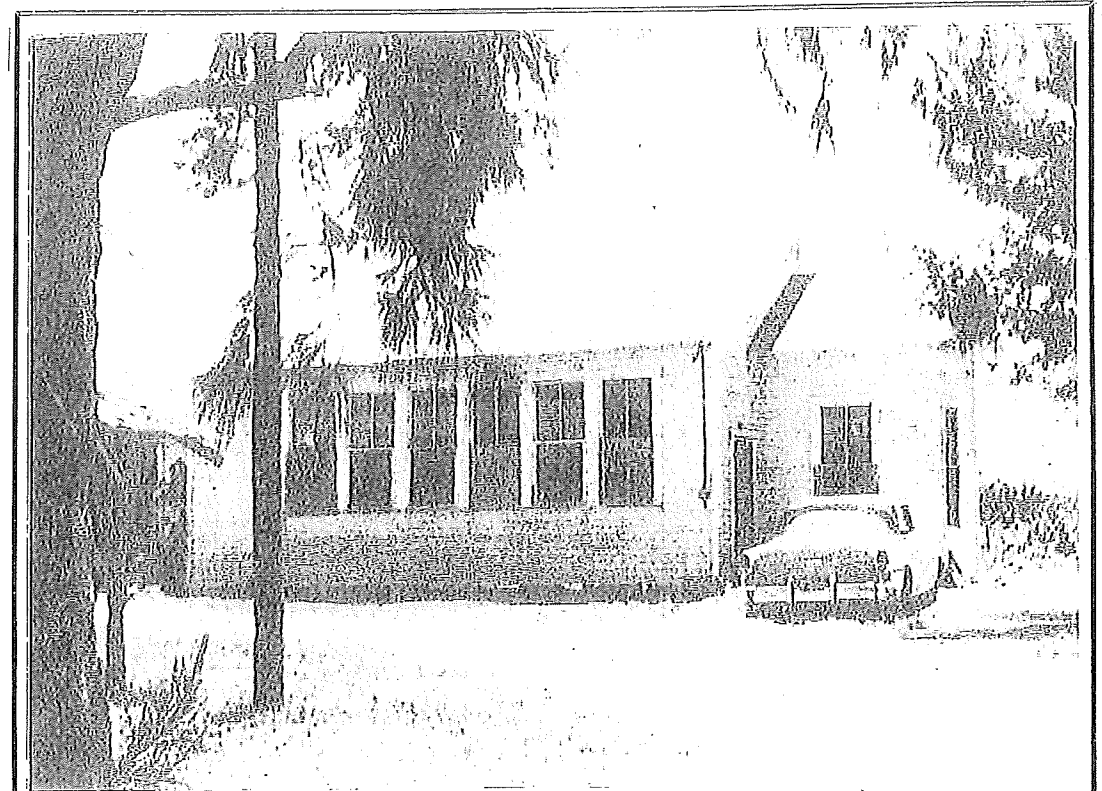
"They brought all the Wulfert and Captiva children to our school by bus, and there was a little colored school right out there on Tarpon Bay Road. Most of the time I was out there, they did not have a black teacher, but I remember asking Mr. Hendry (Supt.) if it would be better if he could send them a black teacher. He did, and I helped her with books and gave her some of mine.

One year, I got some new sets of readers, and that poor teacher didn't even have a reading book...so I gave her some new ones. I helped her with her monthly record because she had not taught before.

A little later, we'd see the black

children walking almost three miles toward Captiva from school. So I asked the mothers and fathers of the white children whether they had any objections to the black children riding the buses with the white children, and of course they didn't. So we got permission from

Mr. Hendry for them to ride the bus together. They had a great time together, talking about baseball games and how they'd played that day, and so on."



The school for colored children on Sanibel Island. Sanibel may have been slightly ahead of its time in effecting integrated busing, as related by Mrs. Sarah Leitner Burke. During the years that she taught on Sanibel, she says that the black children were often allowed to ride the bus with the white children, though they attended different schools. This 1964 photograph of the colored school was taken by E.H. Loveland.