



**LEE COUNTY HISTORIC PRESERVATION BOARD
OLD LEE COUNTY COURTHOUSE
EAST ROOM (2ND FLOOR)
2120 MAIN STREET, FORT MYERS, FL 33901**

**WEDNESDAY, DECEMBER 19, 2012
10:00 AM**

AGENDA

- 1. Call to Order/Review of Affidavit of Publication**
- 2. Approval of 11/28/2012 Minutes**
- 3. Public Hearing on Historic Designations**
 - A. HDC2012-00003 Lewis House 15751 N. River Road, Alva, FL 33920 (Back up materials available starting December 12, 2012 at the Riverdale Branch Library, 2421 Buckingham Road, Fort Myers, FL 33905.)**
 - B. HDC2012-00005 Happehatchee (Girl Scout House) 8791 Corkscrew Road, Estero, FL 33928 (Back up materials available starting December 12, 2012 at the South Regional Library, 21100 Three Oaks Parkway, Estero, FL 33928.)**
- 4. Public Hearing on Special Certificates of Appropriateness (COA)**
 - A. COA 2012 -00156 Koreshan State Historic Site: Membership Cottage Rehabilitation 3800 Corkscrew Rd Estero, FL 33928
The proposed project generally entails rehabilitation of the Membership Cottage. (Back up materials available starting December 12, 2012 at the South Regional Library, 21100 Three Oaks Parkway, Estero, FL 33928)**
- 5. Items by the Public; Committee Members; Staff**
- 6. Next Meeting Date: January 16, 2013.**

Any person appealing a decision made at this hearing must ensure a record of the proceedings is made. In accordance with the Americans with Disabilities Act, Reasonable Accommodations will be made upon request. If you are in need of a Reasonable Accommodation or would like additional information, please contact Janet Miller at (239) 533-8583.





HISTORIC PRESERVATION PROGRAM DESIGNATION REPORT FORM AND/OR APPLICATION

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

Date Filed:	November 28, 2012	FSF No.	8LI02621	Designation No.	HDC2012 -00003 LEWIS
-------------	-------------------	---------	----------	-----------------	----------------------

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts pursuant to Lee County Land Development Code, Chapter 22, Historic Preservation.

Name of Property

Historic Name: Lewis House

Other Names/Site Number: _____

Location

Street & Number: 15751 N River Rd

City, State, Zip: Alva FL 33920

STRAP Number: 15 43 26 00 00004 0000

Classification

Ownership of Property	Category of Property	Number of Resources within Property		
		Contributing		Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	1	building(s)	5
<input type="checkbox"/> public-local	<input type="checkbox"/> district		sites	
<input type="checkbox"/> public-state	<input type="checkbox"/> site		structure	
<input type="checkbox"/> public-federal	<input type="checkbox"/> structure		objects	
	<input type="checkbox"/> objects		TOTAL	

Official Actions

Date of Petition for Designation: November 28, 2012

Date Designation Report filed with Historic Preservation Board: November 28, 2012

Date of Historic Preservation Board's written Resolution: _____

Resolution Number: _____

Date Designation was recorded: _____

Initiated by: _____

Designation

- Individual Historic Resource
- Individual Archaeological Site
- Historic District
- Archaeological Zone
- Archaeological District

Staff Recommendation:

Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation, direct it to public hearing and subsequently approve the designation of the subject property under Chapter 22 of the Land Development Code

Statement Attached		ATTACHMENTS
YES	NO	
		Designation Report for Individual Buildings or Sites per Lee County Land Development Code (LDC) Chapter 22 Historic Preservation
X		LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.
X		Photographs (3"x5" or larger)
X		LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.
X		LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.
X		LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.
X		LDC - Sec. 22-202 (1) e - A location map, showing relevant zoning and land use information.
X		Map attached
X		LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Applicable Criteria (check all that apply)

- Section 22-204(a) x 1 2 x3 x4 5
- Section 22-204(b) 1 x2 x3 x4 5
- Section 22-204(c) x1 X 2 3 4 5
- Section 22-204(d) 1 2 3 4 5
- Section 22-204(e) 1 2 3 4 5

**Lee County Land Development Code (LDC)
Chapter 22 - Sec. 22-204. Criteria for Designation.**

(a) Significance generally. The historic preservation board shall have the authority to designate historic resources based upon their significance in the county's history, architecture, archaeology or culture, or for their integrity of location, design, setting, materials, workmanship, or associations, and because they:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric, or architectural history that have contributed to the pattern of history in the community, the county, southwestern Florida, the state, or the nation;
- (2) Are associated with the lives of persons significant in our past;
- (3) Embody the distinctive characteristics of a type, period, style, or method of construction or are the work of a master; or possess high artistic value or represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded or are likely to yield information on history or prehistory; or
- (5) Are listed or have been determined eligible for listing in the National Register of Historic Places.

(b) Historical or cultural significance. A historic resource shall be deemed to have historical or cultural significance if it is:

- (1) Associated with the life or activities of a person of importance in local, state, or national history;
- (2) The site of a historic event with a significant effect upon the town, county, state, or nation;
- (3) Associated in a significant way with a major historic event;
- (4) Exemplary of the historical, political, cultural, economic, or social trends of the community in history; or
- (5) Associated in a significant way with a past or continuing institution which has contributed substantially to the life of the community.

(c) Architectural or aesthetic significance. A historic resource shall be deemed to have architectural or aesthetic significance if it fulfills one or more of the following criteria:

- (1) Portrays the environment in an era of history characterized by one or more distinctive architectural styles;
- (2) Embodies the characteristics of an architectural style, period, or method of construction;
- (3) Is a historic or outstanding work of a prominent architect, designer, or landscape; or

(4) Contains elements of design, detail, material, or craftsmanship which are of outstanding quality or which represented, in its time, a significant innovation, adaptation or response to the south Florida environment.

(d) Archaeological significance. A historic resource shall be deemed to have archaeological significance if it meets one or more of the following criteria:

- (1) There is an important historical event or person associated with the site;
- (2) The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;
- (3) The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;
- (4) The site was the location of historic or prehistoric activities during a particular period of time; or
- (5) The site maintains a sufficient degree of environmental integrity to provide useful archaeological data. Such integrity shall be defined as follows:
 - a. The site is intact and has had little or no subsurface disturbance; or
 - b. The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information.

(e) Properties Not generally eligible. Properties not generally considered eligible for designation include cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, buildings or sites primarily commemorative in nature, reconstructed historic buildings, and properties that have achieved significance less than 50 years prior to the date the property is proposed for designation. However, such properties will qualify if they are integral parts of districts that do meet the criteria described in this section or if they fall within one or more of the following categories:

- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
- (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
- (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
- (5) A property primarily commemorative in nature if design, age, tradition, or symbolic value have invested it with its own historical significance.

(6) A building, structure, site, or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.

LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.

The subject site is located north of North River Road (SR 78) and east of Telegraph Creek, a tributary to the Caloosahatchee River. The property is roughly 1.64 acres and it has a quiet pastoral setting. Historically the property was used for farming and agriculture.

According to the Property Appraiser's web site, the first year the Lewis House was on the tax roll was 1925. However the owners believe the house is much older as they have an abstract of title for the property which dates back to an original land grant (US patent) signed by President Benjamin Harrison on August 12, 1891. It was granted to Jasper Pearce.

Since the applicants bought the house in 2001, they have conducted extensive rehabilitation on the house to make structurally sound and weather tight. This is single story frame vernacular house. The house retains much of its integrity—especially its mass, scale and design. As is the case with most vernacular houses it is additive in form.

The roof material is asphalt shingle and the walls are clad in horizontal aluminum siding. The front elevation features a main gable roof with a secondary, off-center gable roofed wing and an enclosed shed roofed porch with knee walls and supporting ribbons of awning windows. The porch wraps to the west side. The rear elevation features a large rear facing gable roof with an enclosed shed roof porch. There are secondary gable roofs on the west and east elevations. The house retains much of its integrity—especially its mass, scale and design.

Today the site has several outbuildings which are non-contributing including: three sheds, a pump house and a former chicken coop. There is no information about when these buildings were originally constructed; most of these outbuildings have been substantially altered or are in ruinous condition

In 2012 the owners were awarded a \$6,000 grant from the Lee County Historic Preservation Grant assistance program. A requirement of that program is that the house be designated under Chapter 22 – Historic Preservation of the Land Development Code.

LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.

The subject house is an old vernacular house located in Alva in east Lee County, an area of the county with strong ties to agriculture. Like many of the early settlements, the subject house is near a waterway, Telegraph Creek. At the start of the 20th century, early settlers built their homesteads near waterways as most transportation was over water. There were few roads and many of those that existed were in poor condition. Also the lack of bridges spanning the

waterways increased the reliance on over water transportation as a means to get from one area of the county to another. The subject property is typical of the small homesteads that dotted the Caloosahatchee and its tributaries. As the owners continue researching this property it is likely more information will be discovered on the history or even the prehistory of the property.

LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.

The owners report that the house was in poor condition when they purchased it and that they have done substantial work to stabilize the building. Currently the owners are working to rehabilitate the wraparound porch on the front elevation and the west side. Future projects include roof and exterior siding replacement.

LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.

The Lewis house is used as a residence and will continue to be used as such.

LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

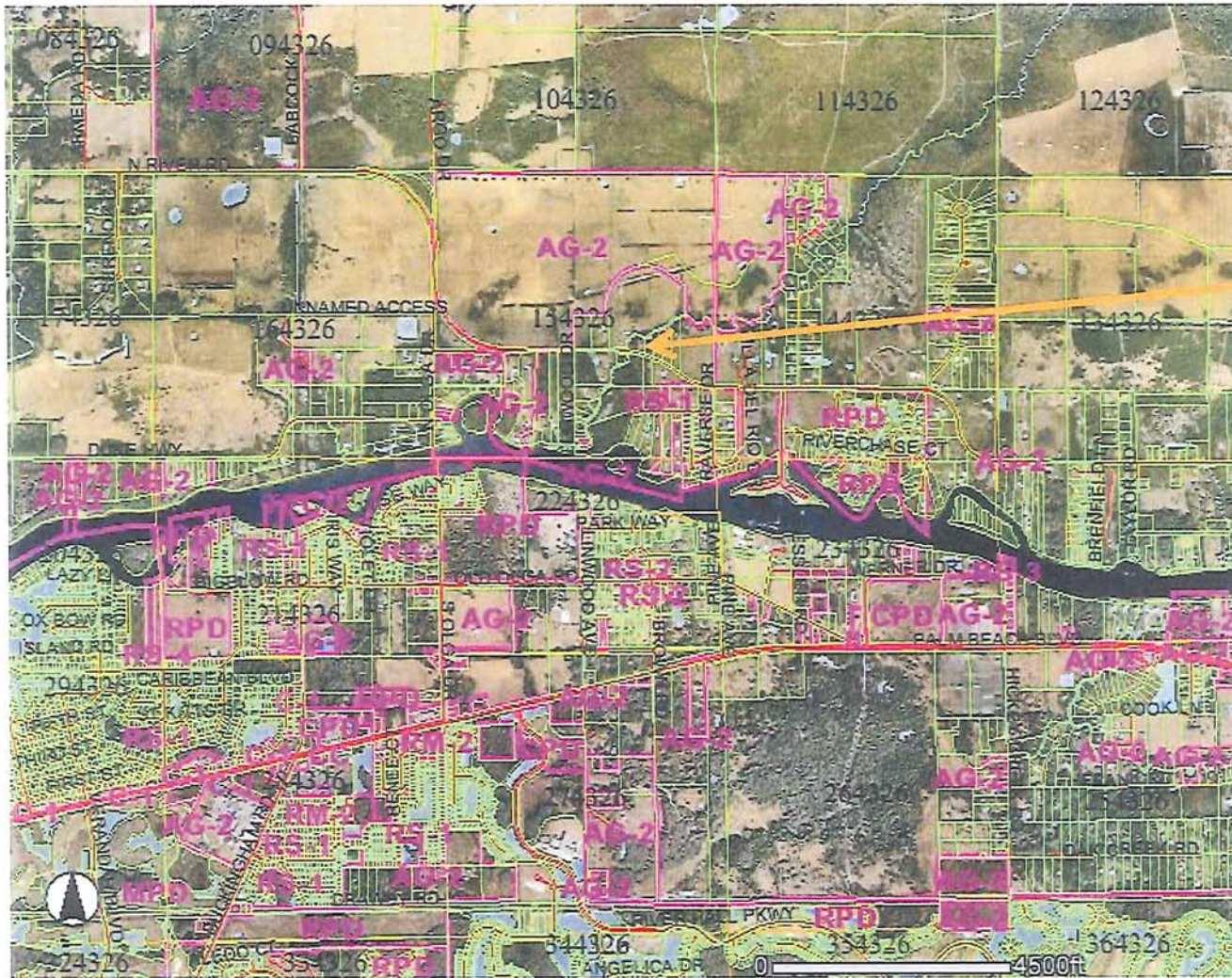
Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation, direct it to public hearing and subsequently approve the designation of the subject property under Chapter 22 of the Land Development Code

HDC2012-0003 – Lewis 15751 N. River Rd. Alva, FL



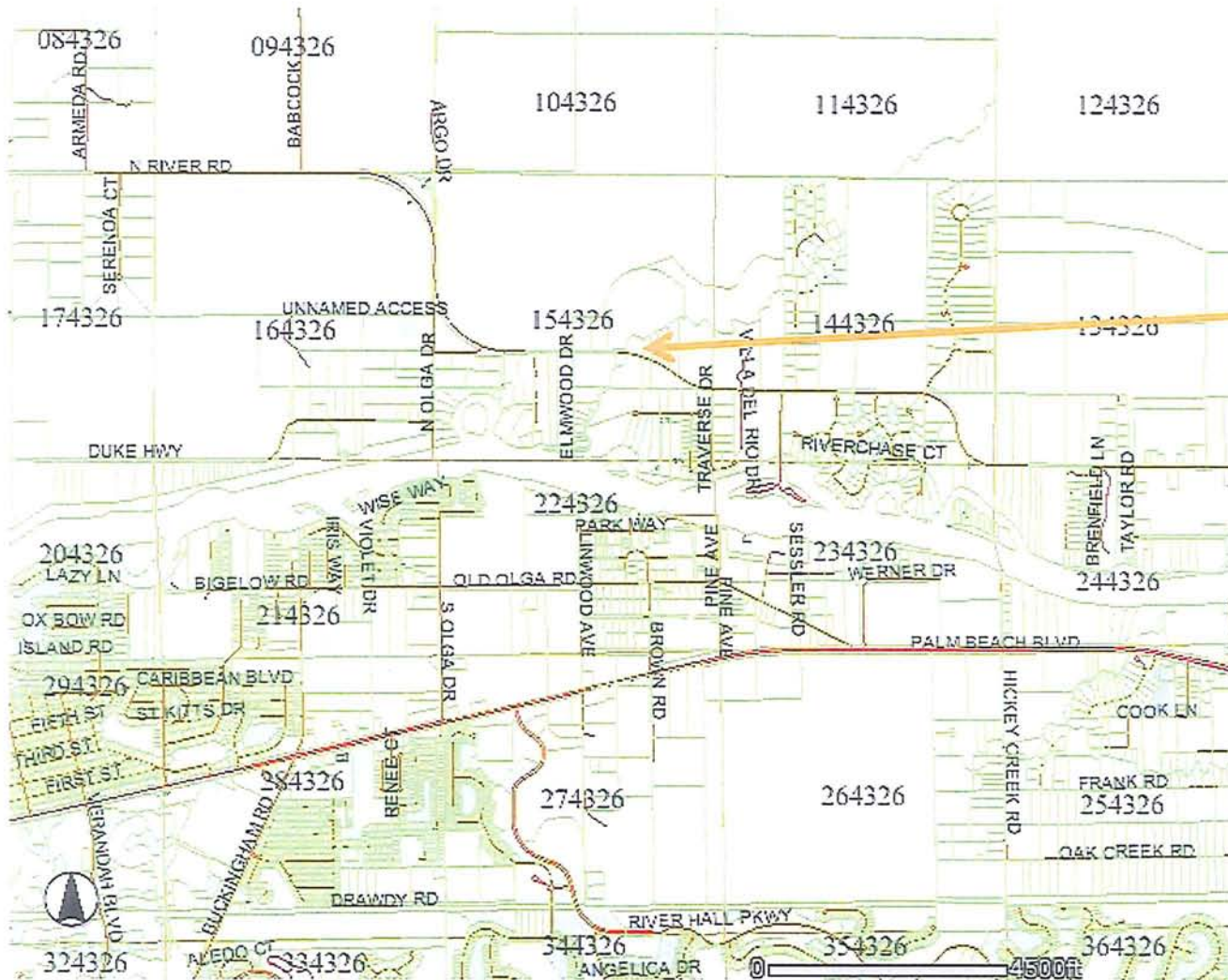
Subject Property
15751 N. River Rd.

HDC2012-0003 – Lewis 15751 N. River Rd. Alva, FL



Subject Property
15751 N. River Rd.

HDC2012-0003 – Lewis 15751 N. River Rd. Alva, FL



Subject Property
15751 N. River Rd.

HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920

FRONT NORTH



Front (North) elevation by N. River Rd



Front (North) elevation by N. River Rd



Front (North) elevation by N. River Rd

Front (North) elevation by N. River Rd



HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920



Side (West) facing Telegraph
Creek

Side (West) facing Telegraph
Creek



Side (West) & partial of rear
South

HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920



Rear South



Rear South



Rear South and partial of side East

Rear South and partial of side East



HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920

SIDE EAST



Side East and partial front North –
note decorative fence wall



Side East



Side East



Side East

HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920

INTERIOR



Fire place by front room

Interior front room



Kitchen looking East

Front wrap around porch to be rehabbed



HDC2012-0003 Lewis – 15751 N. River Rd. Alva, FL 33920

PHOTOS OF THE SITE





Copyright ©2012 Pictometry International Corp.

N
/

SUBJECT HOUSE

SUBJECT HOUSE

N. RIVER RD. SR (78)



Copyright ©2012 Pictometry International Corp.

↓
N



Copyright ©2012 Pictometry International Corp.

SUBSET HOUSE

N →

SUBSEIT
HOUSE



Copyright ©2012 Pictometry International Corp.

← N



Lee County Property Appraiser

Tax Year

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [Tax Estimator](#) [Tax Bills](#) [Print](#)

Property Data for Parcel 15-43-26-00-00004.0000

Owner Of Record

LEWIS MICHAEL B + PAMELA D
1248 MILANO DR
NAPLES FL 34103

Site Address

15751 N RIVER RD
ALVA FL 33920

Legal Description

E 1/2 OF NW 1/4 OF SE 1/4
N OF SR 78 + S + E OF
TELEGRAPH CRK

Classification / DOR Code

SINGLE FAMILY RESIDENTIAL / 01

[Tax Map Viewer]



[Pictometry Aerial Viewer]

Image of Structure



Photo Date May of 2011

Property Values (2012 Tax Roll)

Category	Value	Exemption
Just	103,000	Homestead / Additional
Assessed	103,000	Widow / Widower
Portability Applied	0	Disability
Cap Assessed	70,662	Wholly
Taxable	70,662	Senior
Cap Difference	32,338	Agriculture

Exemptions

Attributes

0 / 0	Land Units Of Measure	AC
0 / 0	Units	1.64
0	Frontage	0
0	Depth	0
0	Total Number of Buildings	1
0	Total Bedrooms / Bathrooms	3 / 1.0
	Total Living Area	1,443
	1st Year Building on Tax Roll	1925
	Historic District	No



Taxing Authorities



Sales / Transactions

Sale Price	Date	OR Number	Type	Description	Vacant/Improved
100.00	07/11/2001	3461/709	01	Sales disqualified as a result of examination of the deed Disqualified (Doc Stamp .70 / SP less th \$100 / Other Disq)	I
100.00	07/11/2001	3451/4405	01	Sales disqualified as a result of examination of the deed	I

123,900.00	02/23/2001	3369/4024	06	Disqualified (Doc Stamp .70 / SP less th \$100 / Other Disq)	
				Sales qualified and included for sales ratio analysis	
0.00	01/01/1900	321/726		Qualified (Fair Market Value / Arms Length / One STRAP #)	I
				Not Classified	



Solid Waste (Garbage) Roll Data



Flood and Storm Information

Storm Surge Zone	Evacuation Zone	Community	Flood Insurance [FIRM Look-up]		Date
A	C	125124	Panel	Version	
			0302	F	8/28/2008



Appraisal Details

Land

Land Tracts

Use Code	Use Code Description	Depth	Frontage	Number of Units	Unit of Measure
110	Single Family Residential, Rural - 6 Acres or Less	0	0	1.64	Acres

Buildings

Building 1 of 1

Building Characteristics

Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
97 - Cottage/Bungalow	1 - single family residential	1.0	3	1.0	1925	1967

Building Subareas

Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	1,443
FEP - FINISHED ENCLOSED PORCH	N	96
FEP - FINISHED ENCLOSED PORCH	N	400
STP - STOOP	N	64

Building Features

Description	Year Added	Units
SHED - FRAME W/FLOOR	1940	392
BARN - WOOD (SOME FLOOR - FINISH)	1940	1,034
SHED - FRAME W/FLOOR	1940	72

SHED - FRAME W/FLOOR
FIREPLACE - TYPE B

1958
1967

576
1

Building Front Photo



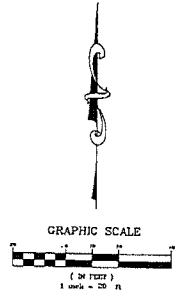
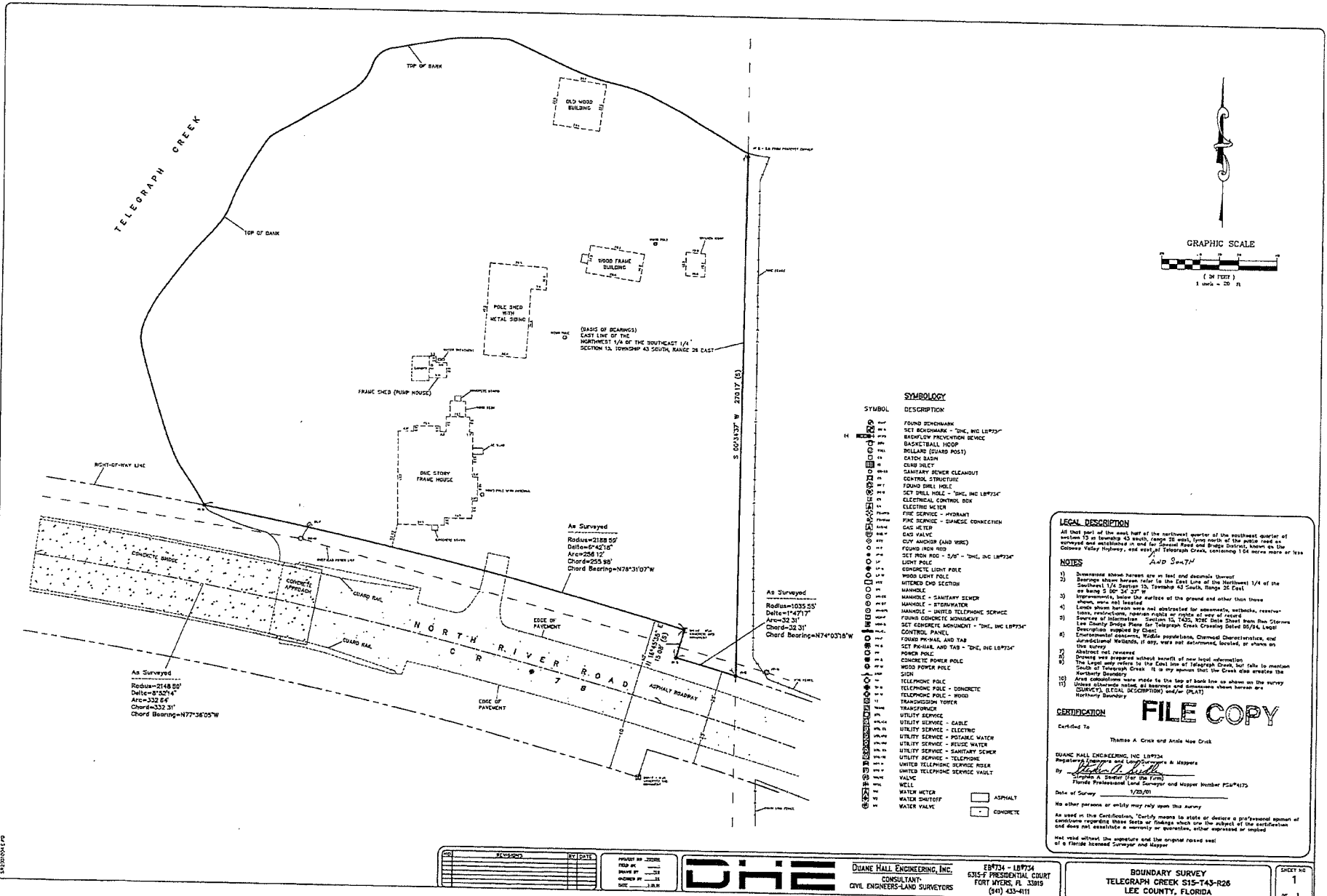
Photo Date : May of 2011

Building Footprint



TRIM (proposed tax) Notices are available for the following tax years
[[2007](#) [2008](#) [2009](#) [2010](#) [2011](#) [2012](#)]

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [New Query](#) [Search Results](#) [Home](#)



<table border="1"> <tr><td>NO.</td><td>ISSUED</td><td>BY DATE</td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	ISSUED	BY DATE				PROJECT NO. 22098 FILE NO. _____ DRAWN BY _____ CHECKED BY _____ DATE 1.18.01	DHE DUANE HALL ENGINEERING, INC. CONSULTANTS CIVIL ENGINEERS-LAND SURVEYORS	F84734 - 187234 6315-F PRESIDENTIAL COURT FORT MYERS, FL 33919 (813) 432-4111	BOUNDARY SURVEY TELEGRAPH CREEK S15-T43-R28 LEE COUNTY, FLORIDA	SHEET NO. 1 OF 1
NO.	ISSUED	BY DATE									



HISTORIC PRESERVATION PROGRAM DESIGNATION REPORT FORM AND/OR APPLICATION

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

Date Filed:	November 28, 2012	FSF No.	8LL02622	Designation No.	HDC 2012 00005 Happehatchee (Girl Scout House)
-------------	-------------------	---------	----------	-----------------	--

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts pursuant to Lee County Land Development Code, Chapter 22, Historic Preservation.

Name of Property

Historic Name: Girl Scout House in Estero – the former location of Camp Caloosa
 Other Names/Site Number: Happehatchee Center

Location

Street & Number: 8791 Corkscrew Rd
 City, State, Zip: Estero FL 33928
 STRAP Number: 33 46 25 00 00008 0000

Classification

Ownership of Property	Category of Property	Number of Resources within Property		
		Contributing		Non-Contributing
<input checked="" type="checkbox"/> private	X building(s)	1	building(s)	4
<input type="checkbox"/> public-local	<input type="checkbox"/> district		sites	
<input type="checkbox"/> public-state	<input type="checkbox"/> site		structure	1
<input type="checkbox"/> public-federal	<input type="checkbox"/> structure		objects	
	<input type="checkbox"/> objects	1	TOTAL	5

Official Actions

Date of Petition for Designation: November 28, 2012
 Date Designation Report filed with Historic Preservation Board: November 28, 2012
 Date of Historic Preservation Board's written Resolution: _____
 Resolution Number: _____
 Date Designation was recorded: _____
 Initiated by: _____

Designation

- Individual Historic Resource
- Individual Archaeological Site
- Historic District
- Archaeological Zone
- Archaeological District

Staff Recommendation:

Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation, direct it to public hearing and subsequently approve the designation of the subject property under Chapter 22 of the Land Development Code

Statement Attached		ATTACHMENTS
YES	NO	
		Designation Report for Individual Buildings or Sites per Lee County Land Development Code (LDC) Chapter 22 Historic Preservation
X		LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs.
X		Photographs (3"x5" or larger)
X		LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.
X		LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.
X		LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.
X		LDC - Sec. 22-202 (1) e - A location map, showing relevant zoning and land use information.
X		Map attached
X		LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

Applicable Criteria (check all that apply)

- Section 22-204(a) x 1 x 2 x3 4 5
- Section 22-204(b) x 1 x2 x3 x4 X 5
- Section 22-204(c) x1 x2 3 4 5
- Section 22-204(d) 1 2 3 4 5
- Section 22-204(e) 1 2 3 4 5

**Lee County Land Development Code (LDC)
Chapter 22 - Sec. 22-204. Criteria for Designation.**

(a) Significance generally. The historic preservation board shall have the authority to designate historic resources based upon their significance in the county's history, architecture, archaeology or culture, or for their integrity of location, design, setting, materials, workmanship, or associations, and because they:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric, or architectural history that have contributed to the pattern of history in the community, the county, southwestern Florida, the state, or the nation;
- (2) Are associated with the lives of persons significant in our past;
- (3) Embody the distinctive characteristics of a type, period, style, or method of construction or are the work of a master; or possess high artistic value or represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded or are likely to yield information on history or prehistory; or
- (5) Are listed or have been determined eligible for listing in the National Register of Historic Places.

(b) Historical or cultural significance. A historic resource shall be deemed to have historical or cultural significance if it is:

- (1) Associated with the life or activities of a person of importance in local, state, or national history;
- (2) The site of a historic event with a significant effect upon the town, county, state, or nation;
- (3) Associated in a significant way with a major historic event;
- (4) Exemplary of the historical, political, cultural, economic, or social trends of the community in history; or
- (5) Associated in a significant way with a past or continuing institution which has contributed substantially to the life of the community.

(c) Architectural or aesthetic significance. A historic resource shall be deemed to have architectural or aesthetic significance if it fulfills one or more of the following criteria:

- (1) Portrays the environment in an era of history characterized by one or more distinctive architectural styles;
- (2) Embodies the characteristics of an architectural style, period, or method of construction;
- (3) Is a historic or outstanding work of a prominent architect, designer, or landscape; or
- (4) Contains elements of design, detail, material, or craftsmanship which are of outstanding quality or which represented, in its time, a significant innovation, adaptation or response to the south Florida environment.

(d) Archaeological significance. A historic resource shall be deemed to have archaeological significance if it meets one or more of the following criteria:

- (1) There is an important historical event or person associated with the site;
- (2) The quality of the site or the data recoverable from the site is significant enough that it would provide unique or representative information on prehistoric or historical events;
- (3) The site was the locus of discrete types of activities such as habitation, religious, burial, fortification, etc.;
- (4) The site was the location of historic or prehistoric activities during a particular period of time; or
- (5) The site maintains a sufficient degree of environmental integrity to provide useful archaeological data. Such integrity shall be defined as follows:
 - a. The site is intact and has had little or no subsurface disturbance; or
 - b. The site is slightly to moderately disturbed, but the remains have considerable potential for providing useful information.

(e) Properties Not generally eligible. Properties not generally considered eligible for designation include cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, buildings or sites primarily commemorative in nature, reconstructed historic buildings, and properties that have achieved significance less than 50 years prior to the date the property is proposed for designation. However, such properties will qualify if they are integral parts of districts that do meet the criteria described in this section or if they fall within one or more of the following categories:

- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
- (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
- (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his productive life.
- (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
- (5) A property primarily commemorative in nature if design, age, tradition, or symbolic value have invested it with its own historical significance.
- (6) A building, structure, site, or district achieving significance less than 50 years from the date it is proposed for designation if it is of exceptional historical importance.

LDC - Sec. 22-202 (1) a - A physical description of the building, structure or site and its character-defining features, accompanied by photographs

The subject building, the Girl Scout House and the headquarters for the Happehatchee Center, is located on a long narrow parcel in the Estero Community of unincorporated Lee County. The parcel is rectangular in shape and has roughly 89-ft frontage on Corkscrew Rd and extends northward for roughly 1253 ft

While most of the parcel lies south of the Estero River, it also incorporates a small area north of the river. This area north of the River is accessed by a pedestrian swing bridge and is the location of Ellen Peterson's "River House" which was constructed circa 1980. (Both the swing bridge and the River House are considered non-contributing resources).

The site south of the river includes the contributing Girl Scout House and the non-contributing: large gazebo/meeting hall, composting toilet and shed.

The contributing building, the Girl Scout House (and the contemporary headquarters for the Happehatchee Center), consists of two long and narrow Army barracks buildings. These were originally located at the Buckingham Army Air Field and were probably constructed in approximately 1943. Subsequently in 1947 these two buildings were moved to their current location and joined together creating intersecting gable roofs resulting in a T-shaped building plan.

The building is a low, single story building featuring metal roofs, horizontal wood siding and awning windows. Maintaining the traditional design of the original barracks, the wings are long and narrow and many of the awning windows appear to be in their original locations – across from each other to maximize cross ventilation. The "top of the T" is the north wing; it is the larger of the two wings—measuring roughly 78-ft long and 20-ft wide. The "leg of the T" is the south wing; it is the smaller of the two wings – measuring roughly 50-ft long and 20-ft wide.

The "top of the T" is the north wing. It accommodates areas used by the Happehatchee Center and the Girl Scouts. It includes a screen porch, a large meeting room, bathrooms, an office, closets and a small meeting room. It is the larger of the two wings—measuring roughly 78-ft long and 20-ft wide.

- The front (west) gable end features an incised screen porch which is accessed from the building by a single front door.
- The rear (east) gable end features a ribbon of three awning windows (3 lights each).
- The long north side features a series of awning windows and roughly at the center of the north elevation is a pair of French doors which open to a handicap ramp. Starting from the east and going west, this north side features a pair of awning windows (2 lights each), a pair of French doors with side lights, a ribbon of three awning windows (3 lights each) a single awning window and a ribbon of three awning windows (3 lights each).
- The south side is where the two wings connect. Towards the west the south side features two pairs of awning windows (3 lights each), and towards the east the south side features a door, and a ribbon of three awning windows (3 lights each).

The "leg of the T" is the south wing. It accommodates a kitchen used by the Happehatchee Center and the caretaker's residence which includes a living/kitchen area, a bedroom and a bathroom. It is the smaller of the two wings – measuring roughly 50-ft long and 20-ft wide.

- The front (west) side features a side gable roof with a front door and three pairs of awning windows (3 lights each). The front door opens to a non-historical flat roofed screen porch
- The rear (east) side features a pair of sliding glass doors, a pair of awning windows, a door and a single awning window.
- The south gable end features a pair of awning windows (3 lights each).

LDC - Sec. 22-202 (1) b - A statement of the historical, cultural, architectural, archaeological, or other significance of the building, structure, or site as defined by the criteria for designation established by this chapter (see Sec 22-204 Criteria for Designation). The statement could include discussion of specific topics such as, but not limited to period of significance, significant dates, cultural application, architect/builder, significant person.

The subject contributing building, the Girl Scout House and the headquarters for the Happehatchee Center, is associated with two significant institutions that have had broad historical and cultural impacts in Lee County: the Buckingham Army Air Field and the Girl Scouts of the USA. It is also associated with a person who is significant to our past in Lee County: Ellen Peterson a well known advocate for the environment and in 2006 the founder of the Happehatchee Center, a contemporary eco-spiritual center.

Buckingham Army Air Field

The current building originally was composed of two buildings that served as barracks at the Buckingham Army Air Field (BAAF) Base in Buckingham. In 1942 the federal government acquired large tracks of lands in the interior of Lee County which became the BAAF. This event had a huge impact on every facet of life in Lee County. During WWII more than 70,000 servicemen from around the country and their families were stationed in Lee County.

Because the United States military had no organized flexible gunnery training program prior to 1942, a unique aspect of the Buckingham Army Air Field was the establishment of a flexible gunnery training program. In 1942, Colonel Delmar T. Spivey was issued \$10 million to build a Flexible Gunnery Training School at the Buckingham Army Air Field. When it was established it was the fourth of a total of seven flexible gunnery training facilities in the United States, and the Buckingham AAF was the only facility to support an expanded instructor training program.

At the close of the war in 1945, the Buckingham Flexible Gunnery Training School had graduated over 50,000 gunners. "While the Buckingham AAF was an important training ground for WWII personnel, the establishment of the base also served as a turning point in the social and economic future of Lee County. The base not only brought thousands of military service personnel to the region, it also brought thousands of non-military jobs associated with the construction, service, and hospitality industries. Many new residents moved to Lee County to fill these positions. After the war and the decommissioning of the base, many military and non-military immigrants to Lee County remained, making the region their home." (*Reconnaissance Level Cultural Resource Survey and WWII Feature Inventory for the Buckingham Trail Preserve Property, Lee County, Florida May 2011* Suncoast Archaeological Consultants, Inc-- FMSF report 18475-- page 47).

The BAAF base was meant to be a temporary operation and was dismantled at the end of the war. According to local Girl Scout representatives, two barracks were moved to the subject property in Estero. This would have been in keeping with the disposition of other buildings at the base. For example, "After Tommy Doyle was discharged from the army in 1949, he returned to the Fort Myers area. The old Buckingham AAF property was being dismantled and Doyle got into the business with Charlie Flint. Their new endeavor was moving buildings. They bid on contracts with the army and ended up transporting many of the base's buildings elsewhere." (*Images of America Buckingham Army Air Field*" by Chris Wadsworth, Matt Johnson and the Southwest Florida Museum of History Arcadia Publishing 2010 Page 100).

Girl Scouts of the USA

The subject parcel was acquired by the local Girl Scouts in 1947. This organization was part of the Girl Scouts of the USA, a national organization founded in 1912. Its mission is to empower girls and to help teach values such as honesty, fairness, courage, compassion, character, sisterhood, confidence, and citizenship through activities including camping, community service, learning first aid, and earning badges by acquiring practical skills.

An entry from the Girl Scout Camp Caloosa Fort Myers Scrap Book # 2 1947 states: "Undated Article G.S. Week Opens Sunday, October 2nd Mrs. Carl Michael Commissioner: 'The Girl Scouts have recently acquired a camp site at Estero and have purchased two buildings from Buckingham which have already been moved to the camp. Funds are now needed to supply the camp with necessary equipment.'"

An entry from the same scrap book states "News Press September 3, 1947 'A camp is being made at Estero under the direction of Ernest P. Raymond, Camp Chairman, for those who enjoy camping and out-of-door life.'"

These two names referenced above: Michael and Raymond also appear on one of the early deeds which states that on November 1st 1954 Dorothy S. Michael and E. P. Raymond, as trustees for the Fort Myers Council of Girl Scouts, an unincorporated association of Fort Myers, deeded over the subject parcel to the Lee County Council of Girl Scouts, a non-profit Florida Corporation.

On February 26, 1960 the Lee County Council of Girl Scouts Inc. changed its name to the Caloosa Council of Girl Scouts, Inc.

On August 15, 1962 the Caloosa Council of Girl Scouts, Inc., as successor to the Lee County Council of Girl Scouts 2225 Broadway, City of Fort Myers, deeded over the parcel to the Gulfcoast Girl Scout Council Inc., a non-profit Florida corporation, 881 General Spaatz, City of Sarasota.

Initially the facility was called a Girl Scout Camp but by 1950 it was known as Camp Caloosa. An entry from the Girl Scout Camp Caloosa Scrap Book #2 states the first reference to the Girl Scout Camp as Camp Caloosa in Estero was in a January 1950 article in the News Press. For years the girl scouts have camped and held meetings and ceremonies at the subject property. The Girl Scout House and the subject site have been linked to the Girl Scouts since it was moved there in 1947.

(However In 1963 the Gulfcoast Girl Scout Council Inc. sold the subject property to Herman and Catherine Polhamus. In 1971 the Gulfcoast Girl Scout Council Inc acquired 80 acres in near SR 31 in North Fort Myers and named that site Camp Caloosa.)

Ellen Person and Happehatchee Center

In November 6, 1972 Ellen Peterson acquired the subject property from Herman and Catherine Polhamus and made it a private retreat used often by small groups, including the Girl Scouts.

Ellen Peterson (December 5, 1923 – October 14, 2011) was a person significant in our past in Lee County principally for her work as an advocate for the environment. Peterson served on several boards and advisory committees among them: the Agency on Bay Management, the Environmental Confederation of Southwest Florida, Save Our Creeks, the Responsible Growth Management Coalition, the Everglades Committee, the Environmental and Peace Education Center and the Calusa Group of the Sierra Club. She founded the Calusa Group in the 1980s and remained its chair until her death. In 2008 she received the John Kaber award from the Everglades Coalition. Also in 2008 Florida Wildlife Federation named her outstanding environmentalist. In 2006 she established the Happehatchee Center on the subject property as a non-profit eco-spiritual center for the Lee County community. In the Seminole language Happehatchee means happy river.

LDC - Sec. 22-202 (1) c - A description of the existing condition of the building, structure, or site, including any potential threats or other circumstances that may affect the integrity of the building, structure, of site.

The Girl Scout House is in good condition. The Happehatchee Center owns the house and is responsible for its maintenance. Members of the Happehatchee Center are eager to preserve its historic integrity and have retained an architect to improve handicap accessibility in its bathrooms.

LDC - Sec. 22-202 (1) d - A statement of rehabilitative or adaptive use proposals.

The Happehatchee Center plans to continue using the Girl Scout House as a meeting place for Girl Scouts and other organizations including the Happehatchee Center. Also the building will continue to house a caretaker's residence and the offices of the Happehatchee Center.

The Happehatchee Center has retained an architect to bring the entire site into compliance with Lee County regulations.

LDC - Sec. 22-202 (1) f - The staff's recommendations concerning the eligibility of the building, structure, or site for designation pursuant to this chapter, and a listing of those features of the building's structure or site which require specific historic preservation treatments.

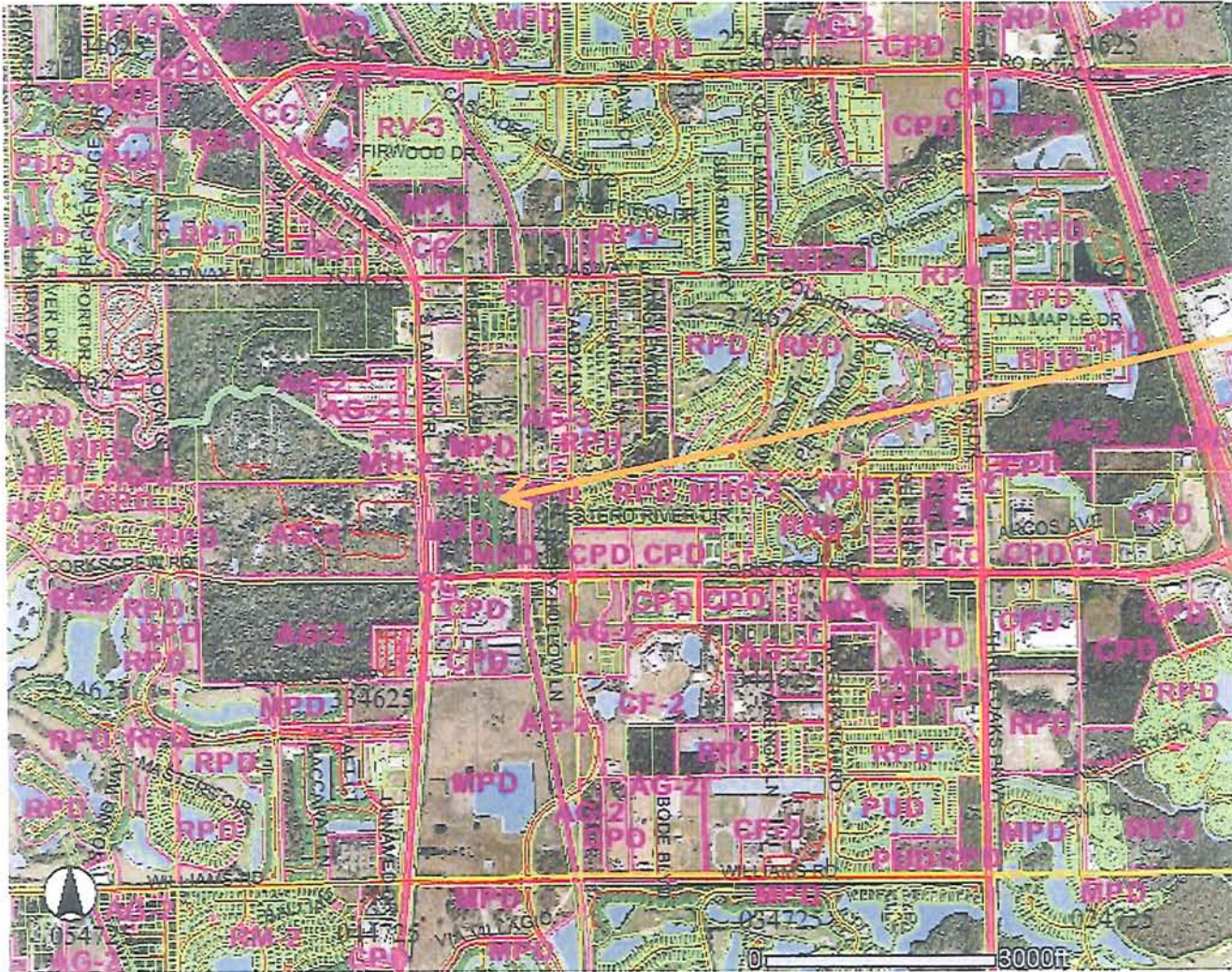
Staff has reviewed property and on the basis of the attached documentation recommends the LCHPB vote to file the attached designation, direct it to public hearing and subsequently approve the designation of the subject property under Chapter 22 of the Land Development Code

HDC2012-0005 – Happehatchee Center 8791 Corkscrew Rd. Estero, FL



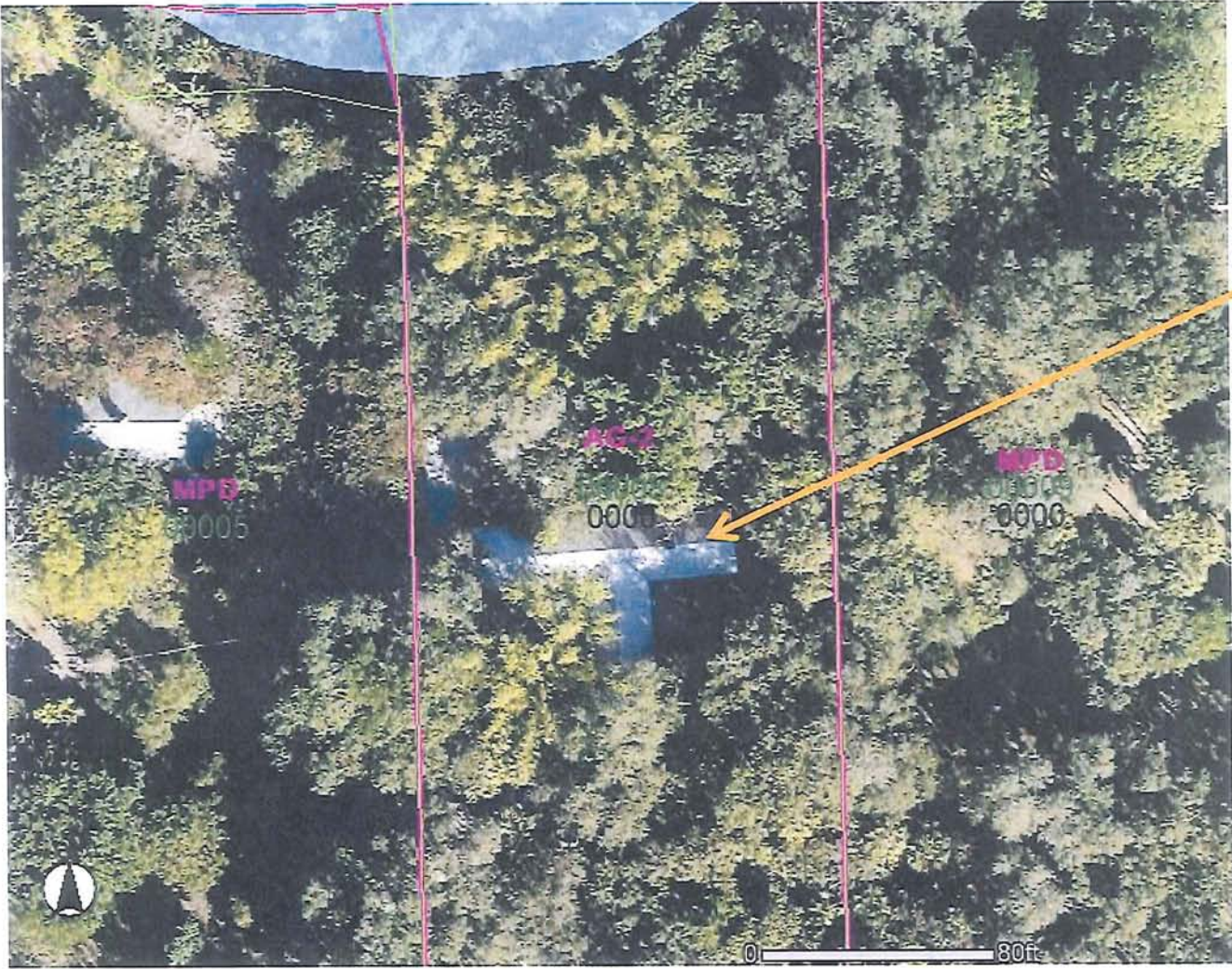
Subject Property
8791 Corkscrew Rd.

HDC2012-0005 – Happehatchee Center 8791 Corkscrew Rd. Estero, FL



Subject Property
8791 Corkscrew Rd.

HDC2012-0005 – Happehatchee Center 8791 Corkscrew Rd. Estero, FL



Subject Property
8791 Corkscrew Rd.

ADJACENT PARCEL 28-46-25-00-00016.0040 FCM N 88°54'25"E 165.09' FCM ADJACENT PARCEL 28-46-25-00-00016.0050

ADJACENT PARCEL 33-46-25-00-00003.0000

DECK AND STAIRS

ADJACENT PARCEL 33-46-25-00-00005.0000

1 STORY BUILDING #8791

RESTROOM

CONG (TYP)

SHED

RAMP

GAZEBO

EARTH DRIVE

ADJACENT PARCEL 33-46-25-00-00006.0000

POND

APPROX. PARKING AREA

Line	Direction	Distance
L1	S 83°53'22"W	37.40'

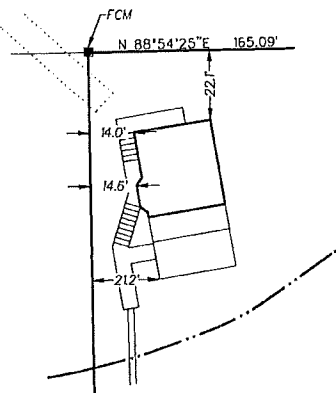
SW CORNER OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33

SIR SIR SIR S 89°35'54"W 127.79' 1/4-1/4 section line

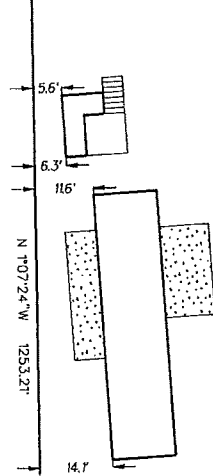
CORKSCREW ROAD RIGHT OF WAY

BOUNDARY SURVEY

BEGIN AT A POINT 165 FEET EAST OF THE SOUTHWEST (SW) CORNER OF THE NORTHEAST (NE) QUARTER OF THE NORTHEAST (NE) QUARTER OF SECTION 33, TOWNSHIP 46 SOUTH, RANGE 25 EAST, THENCE EAST 165 FEET, THENCE NORTH 1320 FEET, THENCE WEST 165 FEET, THENCE SOUTH 1320 FEET TO THE POINT OF BEGINNING.



STILT HOUSE DETAIL
(NOT TO SCALE)



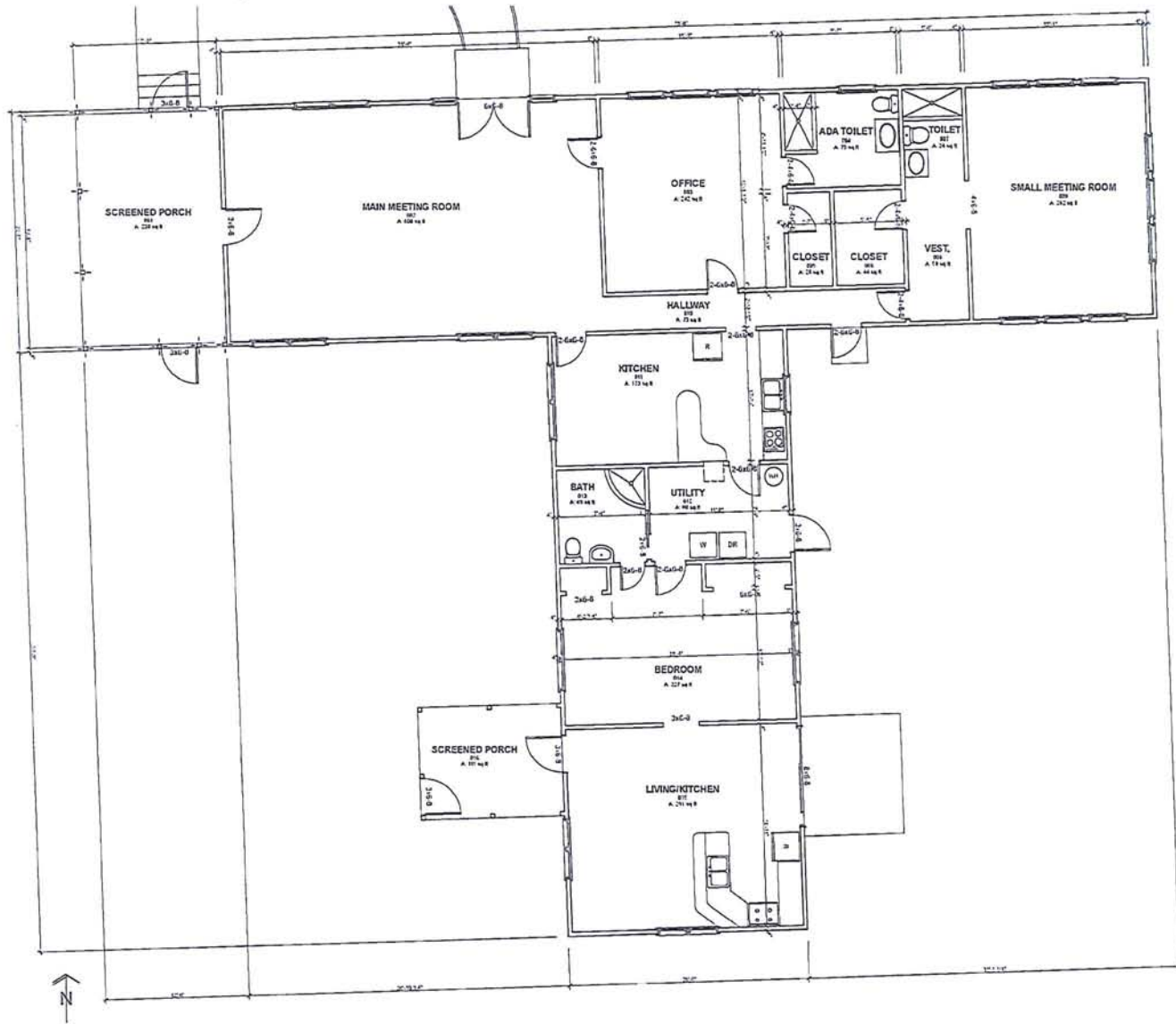
SHED & RESTROOM DETAIL
(NOT TO SCALE)

CERTIFIED TO:
MARK EBELLIN
HAPPEHATCHEE CENTER INC.

BASIS FOR BEARINGS: EAST LOT LINE--ASSUMED BEARING		SCALE: 0 100	SURVEY DATE: 9/20/12
COMMUNITY NUMBER 125124	MAP & PANEL NUMBER 12071C0591	SUFFIX F	DATE OF FIRM INDEX 8/28/08
FIR = FOUND IRON ROD	LEGEND	THIS SURVEY IS HEREBY CERTIFIED CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM FROM ENCUMBRANCES.	FIRM ZONE AE
FRP = FOUND IRON PIPE	+0.0 = EXISTING ELEVATION	NO UNDERGROUND STRUCTURES HAVE BEEN LOCATED BY THIS SURVEY. ANY REFERENCE TO UNDERGROUND STRUCTURES IF ANY IS APPROXIMATE.	BASE FLOOD ELEVATION 12
FDH = FOUND DRILL HOLE	U = UTILITY RISER	UNLESS OTHERWISE SHOWN ALL FIELD MEASURED DIRECTIONS AND DISTANCES ARE IN SUBSTANTIAL AGREEMENT WITH THE DIRECTIONS & DISTANCES OF RECORD FOR THE PARCEL SURVEYED.	9/20/12
FCM = FOUND CONCRETE ENCUMBRMENT	U = UTILITY POLE	THIS SURVEY MAY NOT BE USED BY OTHER THAN THE CERTIFIED TO PARTIES. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL BASED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.	CE. DAVIS, CERTIFICATE 140, 4839
SPI = SET IRON ROD 1/2 LB #7075	⊕ = FIRE HYDRANT		-OR- ERIC G. DAVIS, FSM # 3544
PUE = PUBLIC UTILITY EASEMENT	⊕ = CATCH BASIN		LB #7075
FU & DC = PUBLIC UTILITY & DRAINAGE EASEMENT	(P) = PLAT		
SH&D = SET NAIL & DISK LB #7075	(F) = FIELD		
FRI = FERRARI/ITTI REFERENCE MONUMENT	(D) = DCD		
FND = FOUND NAIL & DISK	(C) = COMPUTED		
POB = POINT OF BEGINNING	—X— = WIRE FENCE		
TC = CORNER CORNER	—X— = WOOD FENCE		
CONC = CONCRETE	HAND-NORTH AMERICAN VERTICAL DATUM OF 1988		
# = HOLE FIELD MEASURED			
LINE = LINE VARIANCE EASEMENT			
DC = DRAINAGE EASEMENT			

DAVIS SURVEYING INC.
WWW.DAVISLANDSURVEYS.COM
4536 SE 16TH PLACE SUITE 3
CAPE CORAL, FLORIDA 33904
TEL (239) 549-6454
FAX (239) 549-2548
CONTACT@DAVISLANDSURVEYS.COM

12-0828



ron sebring, architect

2005 Mountain View Drive
 Suite 100, Orlando, FL 32825
 Phone: 407.254.1414 Fax: 407.254.1420

COPYRIGHT NOTICE:
 An investment of money, time and effort has been made in the preparation of this drawing and the information contained herein is for the specific use, project, and location intended. Any other use of this drawing without the written approval of Ron Sebring, Architect is prohibited. All drawings are made by professional architectural engineers who are licensed by their state and employed only when accompanied by their license and seal. Any reproduction or use of this drawing without the written approval of Ron Sebring, Architect is prohibited. This drawing is the property of Ron Sebring, Architect. © 2011 Ron Sebring, Architect

IMPROVEMENTS TO:

**HAPPEHATCHEE
 CENTER**
 8721 Corkscrew Road
 ESTERO, FLORIDA

DESIGN DEVELOPMENT

project #: 5003
 date: 5-6-02
 revision date:

SHEET #:
A-101
 OF 5 SHEETS

1 GIRL SCOUT HOUSE FLOOR PLAN
 A-101

HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House



North wing – front (west)
screened porch incised under the
main roof

North wing – north side
elevation



North wing – north side elevation

HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House



North wing – front screened porch
incised under the main roof

North wing – South side and front
screened porch incised under the
main roof



Intersection of North and South
wings

HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House



South wing: west side elevation with flat roofed porch (caretaker's residence)



South wing – gable end

HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House



South wing: south gable end and east elevation

Visible T – intersection of North and South wings (east side)



North wing (south side)



North wing gable end, which is the east elevation



HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House



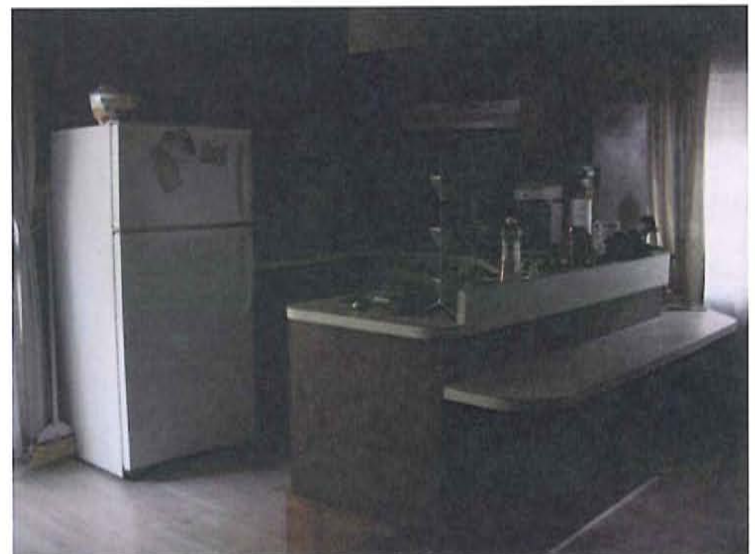
Interior – Large Meeting Room in the north wing

Interior – Small Meeting Room in the north wing



Interior – Kitchen in the south wing

Interior – Kitchen in the caretaker's residence south wing



HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL



Vegetation on the site

Outdoor plant nursery



Entrance from Corkscrew Rd

Parking area at the front near
Corkscrew Rd



HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL
Non-Contributing Structures



Composting toilet facility

Gazebo / Meeting Hall



Gazebo / Meeting Hall

Shed



HDC2012-0005 Happehatchee (Girl Scout Camp)
8791 Corkscrew Rd. Estero FL – Girl Scout House
Non-Contributing Structures



Swinging pedestrian bridge across Estero River

“Ellen’s River House” - Single family house across and north of the Estero River





Lee County Property Appraiser

Tax Year

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [Tangible Accounts](#) [Tax Estimator](#) [Tax Bills](#) [Print](#)

Property Data for Parcel 33-46-25-00-00008.0000

Owner Of Record

HAPPEHATCHEE CENTER INC
PO BOX 305
ESTERO FL 33929

Site Address

8791 CORKSCREW RD
ESTERO FL 33928

Legal Description

N 1320 FT OF E 165 FT OF W
329 FT OF NE 1/4 OF NE 1/4
LESS CORKSCREW RD

Classification / DOR Code

ORPHANAGES, NON-PROFIT SERVICE / 75

[Tax Map Viewer]



[Pictometry Aerial Viewer]

Image of Structure



< Photo Date April of 2012 >

Property Values (2012 Tax Roll)

Just	300,004	Homestead / Additional
Assessed	300,004	Widow / Widower
Portability Applied	0	Disability
Cap Assessed	300,004	Wholly
Taxable	0	Senior
Cap Difference	0	Agriculture

Exemptions

Attributes

0 / 0	Land Units Of Measure	AC
0 / 0	Units	4.82
0	Frontage	0
0	Depth	0
0	Total Number of Buildings	2
0	Total Bedrooms / Bathrooms	4 / 3.0
	Total Living Area	3,996
	1st Year Building on Tax Roll	1941
	Historic District	No



Taxing Authorities



Sales / Transactions

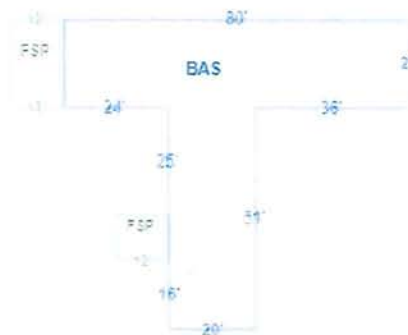


Building/Construction Permit Data

+ Solid Waste (Garbage) Roll Data						
+ Flood and Storm Information						
- Appraisal Details						
Land						
Land Tracts						
Use Code	Use Code Description	Depth	Frontage	Number of Units	Unit of Measure	
800	Multi-Family, Less than 10 Units	0	0	4.82	Acres	
Buildings						
Building 1 of 2						
Building Characteristics						
Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
97 - Cottage/Bungalow	1 - single family residential	1.0	2	2.0	1941	1941
Building Subareas						
	Description		Heated / Under Air			Area (Sq Ft)
	BAS - BASE	Y				2,620
	FSP - FINISHED SCREEN PORCH	N				240
	FSP - FINISHED SCREEN PORCH	N				120
Building Features						
	Description		Year Added			Units
	SHED - POLE		2000			432
	Building Front Photo					Building Footprint



Photo Date : April of 2012



Building 2 of 2

Building Characteristics

Improvement Type	Model Type	Stories	Bedrooms	Bathrooms	Year Built	Effective Year Built
103 - Split Entry/Raised Ranch	1 - single family residential	1.8	2	1.0	1980	1980

Building Subareas

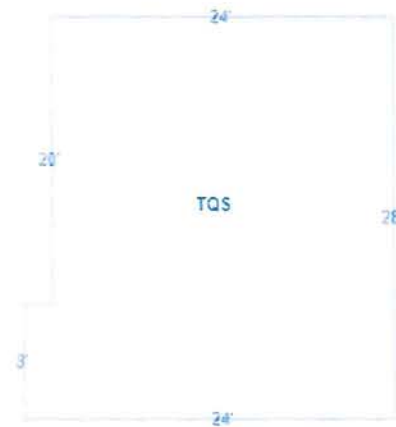
Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	688
STP - STOOP	N	168
TQS - THREE QUARTER STORY	Y	688

Building Front Photo

Building Footprint

✘ Front Photo

Photo Date : April of 2012



TRIM (proposed tax) Notices are available for the following tax years
[[2007](#) [2008](#) [2009](#) [2010](#) [2011](#) [2012](#)]

[Next Lower Parcel Number](#) [Next Higher Parcel Number](#) [New Query](#) [Search Results](#) [Home](#)

HAPPEHATCHEE CENTER Aerial 1953



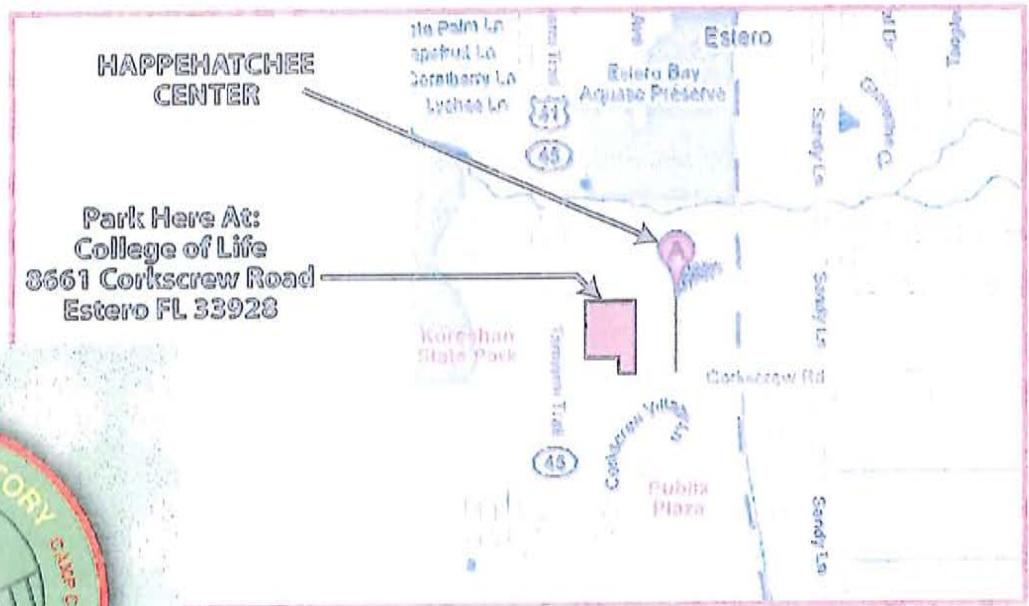
Bridging History

1947 - 2011



Yesterday

& Today



with Them

Girl Scouts

Camp Caloosa

NEWS PRESS

* MARCH 11, 1956 *



OUT OF DOORS: National Girl Scout Week will be observed today through Saturday in United States by more than two million members. Organization was founded 44 years ago. Here, practicing on buddy burners and tin can stoves for weekend camping trip to Camp Caloosa, Estero; are (left to right) Faye Johnson, Clara Johnson, Georgia Mae Williams and Barbara Daniels, Tice Troop 6.

Camp Caloosa

Estero FMSB Denotes Fort Myers Scrap Book

FMSB #2

1947 Undated Article G.S. Week Opens Sunday, October 2nd

Mrs. Carl Michael Commissioner

"The Girl Scouts have recently acquired a camp site at Estero and have purchased two buildings from Buckingham which have already been moved to the camp. Funds are now needed to supply the camp with necessary equipment."

- G.S. Drive begins Sun. October 26th. First time the girl scouts have put on an independent drive. House to house canvas during the week and personal canvas booths set up by Senior Troop and Mariners.

FMSB #2

1947 News Press – September 3, 1947

A camp is being made at Estero under the direction of Ernest P. Raymond, Camp Chairman, for those who enjoy camping and out-of-door life.

FMSB #2

Dec.

1947 First Troop to Visit Estero Campsite

G.S. Troop 6 visited their new camp at Estero yesterday spending most of the day exploring the grounds and cooking their dinner.

G.S. attending: Betty Lou Bobbitt, Lyn Mary Cox, Marlene Ennis, Shirley Harden, Bonnie Holmes, Charlene Hopper, Trudy Mills, Nancy Wiltshire, Louise Wolcott, Nancy Young. Leaders: Mrs. Walter Ennis, Mrs. Wayne McKill, Margaret Tucker, 1st class scout helped.

FMSB #2

Sept. 16

1948 News Press – Camp Training For Leaders

27 leaders taking training. Today marks final day. "Tomorrow an all day session of camp training will be held at the Girl Scout Camp at Estero."

FMSB #2

Dec. 5

1948 News Press Fund Drive Article

Budget for 1948

\$600 Maintenance and equipment at 5 acre Estero camp.

FMSB #2

10/30

1949 News Press – Girls Scout Week Activities

Nov. 5, 1949 Camporee at Estero camp.

FMSB #2

Jan.

1950 News Press

1st Mention of Name: "Leaders will also enjoy outdoors at Camp Caloosa. The group will leave for Camp Caloosa at Estero."

FMSB#2

1950

2/2/50 News Press

The camp committee reported a successful camp licensing course at Camp Caloosa held last weekend. The camp is located at Estero River.

FMSB#2

1950

3/12/50 News Press

All troops in Lee County G.S. Council sold cookies. The money earned is to be used for the troop camp fund.

FMSB#2

1950

12/9/50 News Press

Miss Martha Kurtz, who acted as delegate for the council at the Juliette Low Regional Conference held in November in Miami, met with Miss Marion Barrett, National Camp Advisor, who made recommendations as to the use and development of the Scout Camp at Estero. Among them were the planting of the hedge along both property lines from road to river and the breakdown of the camp quarters into smaller units.

FMSB#4

1953

1/30/53 News Press – Fri. Jan. 30, 1953

At the G.S. Council dinner, President Charlotte Kinzie, presented certificates of appreciation from the council to Hugh Wilby for faithful service in taking care of Camp Caloosa.

FMSB#3

1954 3/54 News Press – March 31, 1954 Board Meeting

Mrs. Singleton, Camp Chairman, said about 100 girls had used the camp at Estero during the last month. Mrs. O'Kelley (Lee Staff) reported that the camp was now filled until the 2nd week in May. Extensive repairs to the building and purchase of four portable tables were voted by the board. Facilities for washing and showers are being improved.

FMSB#3

1954 News Press – Aug. 1954 Kiwanis Club Aids Girl Scouts

Kiwanis clubbers Wednesday built a new shower stall, mowed grass, cleared and cleaned up Camp Caloosa, the Lee County Council of Girl Scouts camp near Estero. Ray Tipton and Abbott Kagan were in charge of the work details.

1954

Aug. 27

The Scout Board voted to investigate the cost and possibility of further cleaning land around the Estero G.S. Camp which the Kiwanis Club cleaned up last week. The work will be attempted one acre at a time.

FMSB#3

1954 Oct.29 – News Press

At the fall meeting of Lee County G.S. Council, Dr. Abbott Kagan reported that a new area at the G.S. camp at Estero has been cleared and was ready for tent camping.

FMSB#3

1955 2/22 Estero 1955
Camp Caloosa
Open House

Girl Scout Camp Has Open House

Children and adults gathered at the Girl Scout Camp on Sunday to spend a few happy hours on the banks of the Estero River. The occasion was the open house of the Girl Scout Camp Caloosa for leaders, board members and their families.

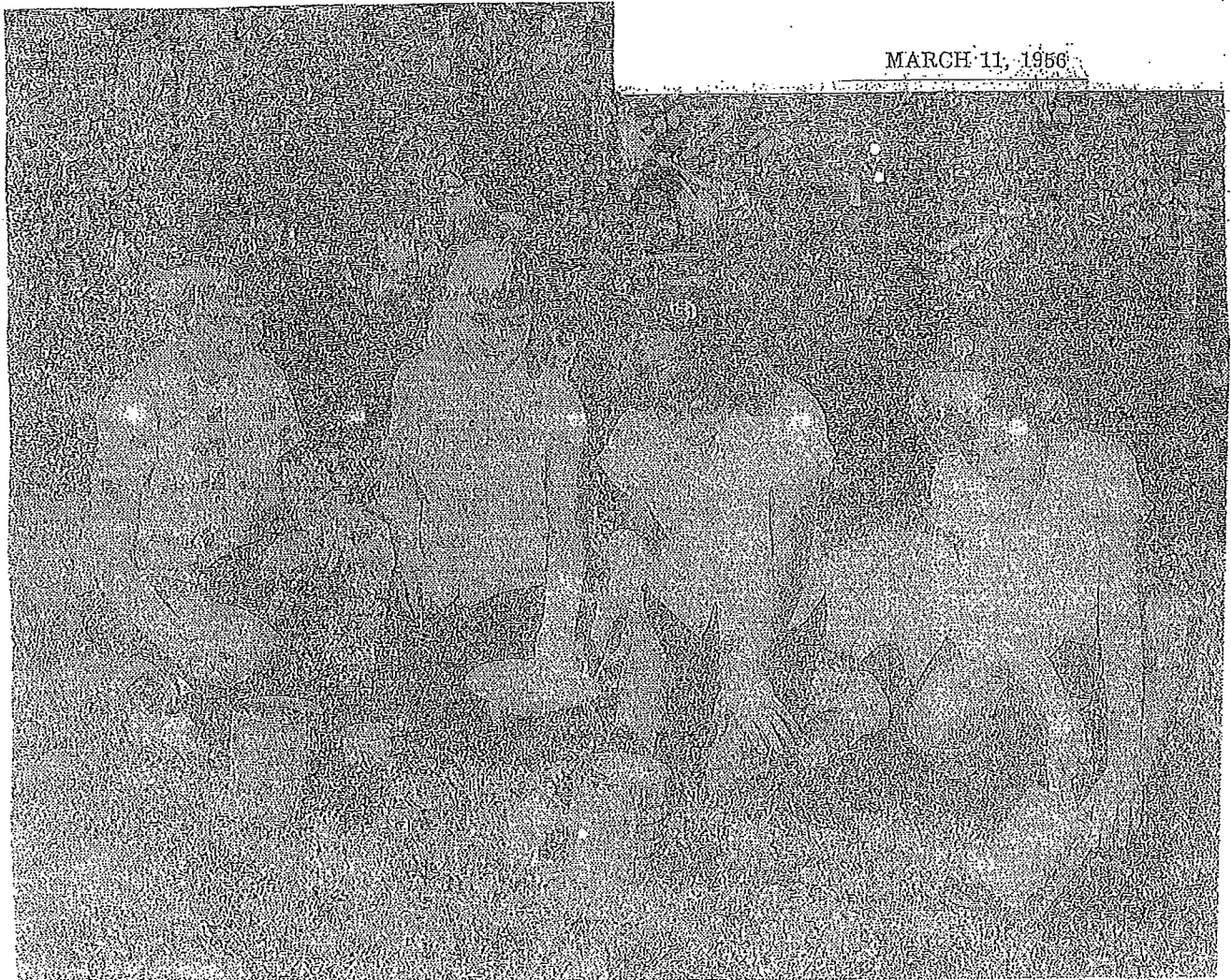
The fund drive now on covers among other things the expense of maintaining the camp and improvements. The building which will house over 25 girls for overnight camping and over 50 for day activities on the five acres owned by the council were shown to visitors.

Following the inspection and camp fire, refreshments were enjoyed. Those present were Mr. and Mrs. Wilburn Leonhardt and daughter Wendy, Mr. and Mrs. Robert Clapper and daughter Gail, Mr. and Mrs. Robert Whitehouse and daughter Janice, Mr. and Mrs. Leroy Zimmerman and children Barby and Dick, Mr. and Mrs. G. Rose and Susan, Mr. and Mrs. L. S. Bohannon and Larry and Patty, Mrs. J. M. Ewton and daughter Judy, Mr. and Mrs. Z. T. Milsap and children Minna, Zack, Millinda and Marlett, Mrs. A. O'Kelly and sons Edward, Tommy and Jackie, and Mrs. G. L. Singleton and Sandy Pickering.

Handwritten notes:
1955
2/22
1955

FMSB#4
1956 3/11 News Press

1956 Camp Caloosa FMSB#4
News Press



OUT OF DOORS: National Girl Scout Week will be observed today through Saturday in United States by more than two million members. Organization was founded 44 years ago. Here, practicing on buddy burners and tin can stoves for weekend camping trip to Camp Caloosa, Bstero, are (left to right) Faye Johnson, Clara Johnson, Georgia Mae Williams and Barbara Daniels, Tice Troop 6

FMSB#4

1957 News Press – April 19, 1957

Troop #1 of Immokalee Girl Scouts went on a camping trip over the weekend at Camp Caloosa at Estero.

Master File

BOD Minutes

1963 2/14/63

An offer has been received for \$9,500, which in Mr. Ellis's opinion, should be accepted. Due to the lack of a quorum, no action was taken.

Master File

BOD Minutes

4/11/63

Mrs. Vernon Peoples read a resolution concerning the sale of the Estero property for \$9,500. Motion Passed.

G.S. Camp at Estero


Happehatchee

Center

www.happehatchee.org

- [Home](#)
- [About Us](#)
- [History](#)
- [Classes & Circles](#)
- [Volunteers](#)
- [Happe Blog](#)
- [Online Community](#)
- [Photos](#)
- [Links We Love](#)
- [Donations](#)
- [Directions](#)
- [Contact Us](#)

Happehatchee History



Happehatchee is a Seminole word for Happy River (hatchee—means "river.") The land that Happehatchee occupies was originally part of the Koreshan settlement—a sect that arrived in Estero in the early 1900's.

The Koreshan's believed that the human population lived on the inside of a great sphere. The land was originally occupied with citrus groves situated along the river to take advantage of the possibility of shipping citrus crops through the Florida waterways to different markets.

The Koreshan's were followed by a series of small farmers, and eventually the five acres were purchased by the Girl Scout Council in the 1940's. When Page Field was dismantled at the end of WWII the Council purchased two barracks and moved them on to the land to establish the Girl Scout Camp.

[About Happehatchee](#)

Buckingham Army Air

Nature Angels

Each season we honor people who have contributed their time and talents to the Happehatchee Center.

Our Volunteers

Contact Us

8791 Corkscrew Rd.
Estero, FL 33928

Call 239 206 4393

[Email Us](#)
[Map & Directions](#)

The Girl Scouts by commercial eventually sold the property in the 1960's to move it to a larger location in North Ft Myers. The property was then purchased by a family from Key West who wanted to have a "northern retreat." That family then sold the property to Ellen Peterson (pictured right) in 1972. It remained a private retreat used often by small groups for celebrations of nature.



In 2005 Ellen began to conceive of Happehatchee as being worthy of preservation for use by groups who were environmentally and spiritually friendly. It became apparent because of the intense development in the vicinity and the imminent danger of being swallowed up by those interests. The decision was made to gather like-minded people together to discuss the future use of the property, and decision was made to form a non-profit corporation designed to further eco-spiritual endeavors.

Camp Caloosa

A Board was established which consists of five officers:

President: Ellen Peterson

First Vice President: Genelle Grant

Second Vice President: Ann Smith

Secretary: Ruth Fotovat

Treasurer: Lesa Hansen

Member: Bobbielee Gruninger

Member: Caroline Ravelo

It is organized exclusively for charitable, religious, literary, educational, and scientific purposes. Happehatchee's main focus is to establish and operate an educational and environmental conference center to achieve charitable aims.

Here at Happehatchee we will sponsor or host activities such as meditation and healing groups, instructional groups, workshops and seminars (like Native American sweat lodges, Gather the Women Groups, Magnificence of Circle Learning groups, research on environmental sustainability and healing methods, leadership training, educational and psychological counseling and training, and activities for children focused on nature.

In addition, Happehatchee Center plans cooperative involvements with organizations such as the Coalition of Immokalee Workers, interfaith alliances and other similar social justice activities.

No portion of the net earnings will go to benefit or be distributed to its Directors, Officers, or other private persons. It will be authorized to pay reasonable compensation for services rendered and make payments only to pursue our activities.

Click to find out more information [About Happehatchee.](#)



175
.18

This Indenture,

Made this 1st day of November, A. D. 1954.
Between DOROTHY S. MICHAEL and E. P. RAYMOND, as trustees for the use and benefit of Fort Myers Council of Girl Scouts an unincorporated association of Fort Myers, of the County of Lee, in the State of Florida parties of the first part, and THE LEE COUNTY COUNCIL OF GIRL SCOUTS, a non-profit Florida corporation, of the County of Lee, in the State of Florida, part y of the second part,

Witnesseth, that the said parties of the first part, for and in consideration of the sum of Ten Dollars and other valuable consideration ~~Dollars~~, to them in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said party of the second part, its successors ~~heirs~~ and assigns forever, the following described land, situate, lying and being in the County of Lee, State of Florida, to wit:



Beginning at a point 165 feet East of the Southwest corner of the Northeast quarter of the Northeast quarter of Section 23 Township 46 South Range 25 East and from thence run East 165 feet thence North 1320 feet thence West 165 feet and South 1320 feet to the point of beginning.

This conveyance is made pursuant to a certain TRUST by which the grantors herein hold title, as designated and set forth in a certain deed dated July 16, 1947, and recorded in Deed Book 181 at page 340 in the office of the Clerk of the Circuit Court, Lee County, Florida.

*
*
*
*
*
*
*
*
*
*

And the said parties of the first part do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.
In Witness Whereof, the said parties of the first part have hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered in Our Presence:

Ruth M. Kaler
Cliff Gay

Dorothy S. Michael
E. P. Raymond

State of Florida,
County of Lee,

I HEREBY CERTIFY, That on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, DOROTHY S. MICHAEL and E. P. RAYMOND, to me well known and known to me to be the individuals described in and who executed the foregoing deed, and they have acknowledged before me that each executed the same freely and voluntarily for the purposes therein expressed.
WITNESS my hand and official seal at Fort Myers, County of Lee, and State of Florida, this 1st day of November, A. D. 1954.



STATE OF FLORIDA, COUNTY OF LEE
FILED FOR RECORD
THIS 7th DAY OF 1955
RECORD IN DEED BOOK 247
PAGE 195 AND RECORD VERIFIED
D. T. FARABEE, CLERK CIRCUIT COURT
DEPUTY CLERK

T. A. [Signature]
Notary Public
My Commission Expires [Date]
NOTARY PUBLIC'S SEAL FOR FLORIDA AMPLARGE
MY COMMISSION EXPIRES NOVEMBER 16, 1957

State of Florida

County of Lee

I HARRY CHANDLER, That on this 15th day of August, A. D. 1962, before me personally appeared ANITA MARTIN and HARRIS B. ROSS, President and Secretary respectively of CALOOSA COUNCIL OF GIRL SCOUTS, INC., a non-profit Florida corporation, to me known to be the persons described in and who executed the foregoing conveyance to GULFCOAST GIRL SCOUT COUNCIL, INC.; a non-profit Florida corporation

and severally acknowledged the execution thereof to be their free act and deed for the uses and purposes therein mentioned.

WITNESS my signature and official seal at Fort Myers in the County of Lee and State of Florida, the day and year last aforesaid.

My Commission Expires

Notary Public, State of Florida at Large
Exp. May 15, 1968

Notary Public,
State of Florida At Large.

Harry Chandler
Notary Public,
State of Florida At Large.

Document Book

TO CORPORATION

CALOOSA COUNCIL OF GIRL SCOUTS, INC.

TO

GULFCOAST GIRL SCOUT COUNCIL, INC.

Date August 15, 1962

ASSISTANT OF REGISTRATION

TRAVIS A. GRESHAM, JR.
ATTORNEY AT LAW
FORT MYERS, FLORIDA

Mr. Gresham & Partners
3195T Goodway
Fort Myers, Fla.

STATE OF FLORIDA, COUNTY OF LEE
FILED FOR RECORD
This 16th Day of Sept. 1962, recorded in
Book 176 Page 176 and listed in
H. T. FARRAR
by [Signature]

REC. 20

PAGE 1

292282

TOTAL TAX RECOVERED IN THIS OFFICE
THIS LAW PRINT PUBLISHED BY THE D.P.

Quit Indenture

Made this 15th day of August A. D. 1962

Lee
202

Between CALOUSA COUNCIL OF GIRL SCOUTS, INC., a non-profit Florida corporation, as successor to THE LEE COUNTY COUNCIL OF GIRL SCOUTS, a non-profit Florida corporation, of 2225 Broadway, City of Fort Myers, of the County of Lee and State of Florida party of the first part, and GULF COAST GIRL SCOUT COUNCIL, INC., a non-profit Florida corporation, of 881 General Spartz, City of Sarasota, a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Sarasota and State of Florida party of the second part,

Witnesseth, that the said party of the first part, for and in consideration of the sum of TEN DOLLARS AND OTHER VALUABLE CONSIDERATIONS... to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, excused, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, excuse, convey and confirm unto the said party of the second part and its successors and assigns forever, all that certain parcel of land lying and being in the County of Lee and State of Florida, more particularly described as follows:

Beginning at a point 165 feet East of the Southwest corner of the Northeast Quarter of the Northeast Quarter of Section 33, Township 46 South, Range 25 East, and from thence run East 165 feet; thence North 1320 feet; thence West 165 feet and South 1320 feet to the point of beginning.

This conveyance is made pursuant to a certain Final Decree dated August 15, 1962; Lee County Chancery Case No. 15134.

Together with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, dower and right of dower, reversion, remainder and easement thereto belonging or in anywise appertaining.

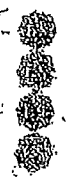
To Have and to hold the same in fee simple forever, And the said party of the first part does covenant with the said party of the second part that it is lawfully seized of the said premises, that they are free of all incumbrance, and that it has good right and lawful authority to sell the same, and that said party of the first part will hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said party of the first part has hereunto set its hand and seal the day and year above written.

Signed, Sent and Delivered in Our Presence
(Corporate Seal) CALOUSA COUNCIL OF GIRL SCOUTS, INC.

Attest: *[Signature]* Secretary, BY: *[Signature]* as its President.

[Handwritten signatures and notes]



This Indenture.

Made this 30th day of April, A. D. 19 63,

Wherever used herein, the term "party" shall include the heirs, personal representatives, successors and assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular, the use of any gender shall include all genders.

Between GULF COAST GIRL SCOUT COUNCIL, INC., a non-profit corporation existing under the laws of the State of Florida having its principal place of business in the County of Sarasota State of Florida party of the first part, and

HERMAN T. POLHAMUS and CATHERINE B. POLHAMUS, husband and wife, 1600 Riverview Drive, Melbourne party of the second part, and State of Florida

Witnesseth, that the said party of the first part, for and in consideration of the sum of NINE THOUSAND FIVE HUNDRED (\$9500.00) Dollars, to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part forever, the following described land, situate, lying and being in the County of Brevard State of Florida, to wit:

Beginning at a point 165 feet East of the Southwest corner of the Northeast Quarter of the Northeast Quarter of Section 33, Township 46 South, Range 25 East, and from thence run East 165 feet; thence North 1320 feet; thence West 165 feet to the point of beginning.

FILED FOR RECORD
This 13th day of May 1963, Record in Book 190 Page 297 and Record Verified by T. FARABEE By D. T. Barlette
Clerk Circuit Court Deputy Clerk

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever

In Witness Whereof, the said party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary the day and year above written.

Treasurer and its corporate seal to be affixed, attested by its Secretary the day and year above written. GULF COAST GIRL SCOUT COUNCIL, INC., a non-profit corporation
By Frances B. Letson as its President
Signed, Sealed and Delivered in Our Presence: By Herman T. Polhamus as its Treasurer

State of Florida, County of SARASOTA
I HEREBY CERTIFY, that on this 30th day of April, A. D. 19 63, before me personally appeared ALICE E. HERRALD, STEPHEN D. SPARKMAN and FRANCES B. LETSON, President, Treasurer and Secretary respectively of GULF COAST GIRL SCOUT COUNCIL, INC., a non-profit corporation under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing conveyance to HERMAN T. POLHAMUS and CATHERINE B. POLHAMUS, husband and wife,

and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned, and that they affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal at Sarasota and State of Florida, the day and year last aforesaid.

Notary Public My Commission Expires August 1, 1966



1-108
1-05-00
4-50

693418

WARRANTY DEED — Moseley Title & Abstract Co., 1802 Broadway, Fort Myers, FL 33901 OFF. 881 42528 DP FORM NO. 1

This Indenture, Made this 6th day of November A. D. 1972

between Herman T. Polhamus and Catherine B. Polhamus, his wife

parties of the first part and Ellen W. Peterson
whose address is C/O Edison Community College, Ft. Myers, Fl. 33901

party of the second part.

Witnesseth, That the said parties of the first part, for and in consideration of the sum of TEN DOLLARS and O.G.V.C.

to them in hand paid by the said party of the second part the receipt where of is hereby acknowledged do, es. by these presents Grant, Bargain, Sell, Remise, Release and Convey unto the said party of the second part, and to her heirs and assigns, forever, all the following described land situated in the County of Lee, State of Florida and known and described as follows, to wit:

Begin at a point 165 feet East of the Southwest corner of the Northeast (NE) quarter of the Northeast Quarter (NE 1/4) of Section 33, Township 46 South, Range 25 East, thence east 165 feet, thence north 1320 feet, thence west 165 feet, thence South 1320 feet to the point of Beginning.

PLACE STAMP HERE



DOCUMENTARY SUR-TAX FLORIDA 38.50
FLORIDA IMP. TAX 6.00
FLORIDA AMP. TAX 198.00

This instrument prepared by GEORGE F. HOLD, Notary Public, MOSELEY TITLE AND ABSTRACT CO., 1802 Broadway, Fort Myers, FL 33901 in connection with the sale of the above described land.

To Have and to Hold the Same, together with all the hereof and appurtenances thereto belonging or in anywise appertaining, to the said party of the second part, her heirs and assigns forever, and the said parties of the first part do hereby fully warrant the title to said land and will defend the same against the lawful claim of all persons whomsoever. Party of the second part assume the payment of taxes for the year 1973 and subsequent years.

In Witness Whereof, The said parties of the first part have hereunto set their hand and seal the day and year above written.

Herman T. Polhamus (SEAL)
Catherine B. Polhamus (SEAL)

State of FLORIDA County of LEE

I Hereby Certify, that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Herman T. Polhamus and Catherine B. Polhamus, his wife.

to me well known to be the person as described in and who executed the foregoing instrument and acknowledged before me that they executed the same freely and voluntarily for the purposes therein expressed. WITNESS my hand and official seal this 6 day of November A. D. 1972

Notary Public

My Commission expires July 6, 1973

Address:

This Instrument Prepared by: Ellen W. Peterson
P O Box 345
Address: Estero, Fl. 33928

Property Appraiser's Parcel Identification (Folio Number(s)):

Grantor(s) S.S. # (s)

Continental Paper & Printing Co., Inc. 1187

4435240

OR2 989 RRD 0617

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

6.000

This Warranty Deed, Made the 20th day of JULY, 19 98 by Ellen W. Peterson

hereinafter called the Grantor, to Ellen W. Peterson Revocable Trust
whose post office address is P O Box 345
hereinafter called the Grantee, Estero, Fl. 33928

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the Grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land, situate in LEE County, State of Florida, viz:

Begin at a point 165 feet East of the Southwest (SW) Corner of the Northeast (NE) Quarter of the Northeast (NE) quarter of Section 33, Township 46 South, Range 25 East, thence east 165 feet, Thence north 1320 feet, thence west 165 feet, thence 1320 feet to the Point of Beginning
33-46-25-00-00008.0000

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 19

In Witness Whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness Signature (as to first Grantor)

Myrtle Tolone
Printed Name

[Signature]
Witness Signature (as to first Grantor)

[Signature]
Printed Name

[Signature]
Witness Signature (as to Co-Grantor, if any)

[Signature]
Printed Name

[Signature]
Witness Signature (as to Co-Grantor, if any)

[Signature]
Printed Name

[Signature]
Grantor Signature
Ellen W. Peterson

Printed Name

Post Office Address

Co-Grantor Signature, if any

Printed Name

Post Office Address

CHARLIE GREEN, CLERK
LEE COUNTY, FL
98 JUL 21 AM 9 24

STATE OF Florida)
COUNTY OF Lee)

Ellen W. Peterson

known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, and an oath was not taken. (Check one: Said person(s) is/are personally known to me. Said person(s) provided the following type of identification: Personally known

NOTARY RUBBER STAMP SEAL

OFFICIAL NOTARY SEAL
KAREN C DELISLE
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC62347
MY COMMISSION EXP. FEB. 19, 2001

Witness my hand and official seal in the County and State last aforesaid this 20th day of July, A.D. 19 98

[Signature]
Notary Signature

Printed Notary Signature

ELLEN SALISBURY PETERSON



ELLEN SALISBURY PETERSON

October 14, 2011

Ellen Peterson nee Salisbury 87, of Estero, Florida passed away on Friday, October 14, 2011. She was born in Georgia on December 5, 1923. She is survived by a niece, Rhonda Romano (Thomas) of St. Petersburg, Florida, a nephew, James Davis (Barb) of Grand Rapids Michigan, and Grand nieces Megan and Michelle. She was predeceased by a sister Mary Alice Davis.

She graduated from the [University of Georgia](#) in 1945 with a degree in Chemistry and she received her Masters in counseling in 1963 from Appalachia State. She came to Southwest Florida shortly afterwards, and served as the Director of the Counseling Center at Edison College for many years. She also became a fierce advocate for our wildlife and wild places.

Ellen was a warrior when it came to the environment; she cared deeply and devoted her life to saving the planet and protecting Mother Earth. She served on many boards and advisory committees such as: the Agency for Bay Management, the Environmental Confederation of Southwest Florida, Save Our Creeks, the Responsible Growth Management Coalition, The Everglades Committee, the Environmental Peace and Education Center and the Sierra Club's Calusa Group. Ellen founded the Calusa group over 30 years ago and remained the chairperson until her death.

The Agency for Bay Management was formed as a result of a lawsuit about where FGCU would be built; Ellen was the only member who refused to sign off on the settlement agreement.

Ellen spoke at countless county commission hearings, and her presence was powerful, always intelligently informed, and unrelenting. She was responsible for saving one of the most beautiful places in all of Southwest Florida, Fisheating Creek. At a Water Management District annual meeting, after a video about the creek and Ellen's speech, there was not a dry eye in the audience.

Ellen fought to save the Florida panther, heritage trees, and many other listed and endangered species. She succeeded in obtaining outstanding Florida waterways designations for many of our local rivers and streams, providing them higher levels of protection. With the help of several environmental groups, Ellen fought and won the battle to stop a coal-fired power plant from going into Glades County.

She protested and picketed against nuclear plants and was arrested for civil disobedience. She created a presentation to save the Imperial River and was successful in preventing the Water Management District from eliminating the oxbows, an action which could have destroyed much of the river, such as killing off fish hatcheries during flood events.

Ellen fearlessly attended meetings to speak out against those who threatened the Big Cypress National Preserve, even when her opponents showed up on swamp buggies and carrying guns.

Ellen herself was threatened on many occasions, and at least one attempt was made on her life. Even so she pressed forward and continued her good works. She continually fought to protect several of our local beaches and islands. With the backing of several local environmental groups, Ellen filed suit against the developers who wanted to overbuild and destroy our density-reduction ground water resource area. She was responsible for involving a scientist whom Lee County would later hire to do water quality testing. This scientist discovered that our red tides were directly linked to the releases from the Caloosahatchee River and Lake Okechobee.

Ellen led the efforts to investigate the minimum flows and levels for our ground water, and the research showed a sustained level of harm. She also sat on a Committee for the Route 951 Extension, because some of the proposed alignments invaded listed and endangered species habitat.

Ellen received the 2008 John Kaber award from the Everglades Coalition and the Florida Wildlife Federation named Ellen outstanding environmentalist of 2008, and she has received numerous other grateful recognitions. Ellen lived to see her biggest goal realized: the creation of the Happehatchee center in Estero. Ellen turned her beautiful property and home into an eco-spiritual center for all in the community to enjoy. The center offers many different types of classes and workshops. Happehatchee is a sacred place, a place where anyone in the community can come to find personal growth by attending some of the seminars featured there, or to just get in touch with nature while enjoying the beautiful natural setting. Anyone who enters through the gates immediately feels the peace and energy of this very special place.

Ellen Peterson was a fierce, protective voice for all living creatures on Earth: human, animal, and plant. She championed many social causes, such as equal rights for women and fair wages for farm workers. She advocated for those who could not speak for themselves. Her absence is profound. She will be grieved for and missed. While the environmental community has suffered a great loss with her passing, we are inspired by her courage, her bright sense of humor, her compassion and her absolute dedication to service. Ellen is our hero!

Ellen wanted two going-away celebrations to be held: one in Estero and one at Fisheating Creek. Public invitations to these celebrations will be announced as soon as all of the arrangements have been made.

In lieu of flowers, donations may be made to Happehatchee Center, P.O. Box 345 Estero, Florida 33929-0345 or Save Our Creeks, P.O. Box 135, Palmdale, Florida 33944.

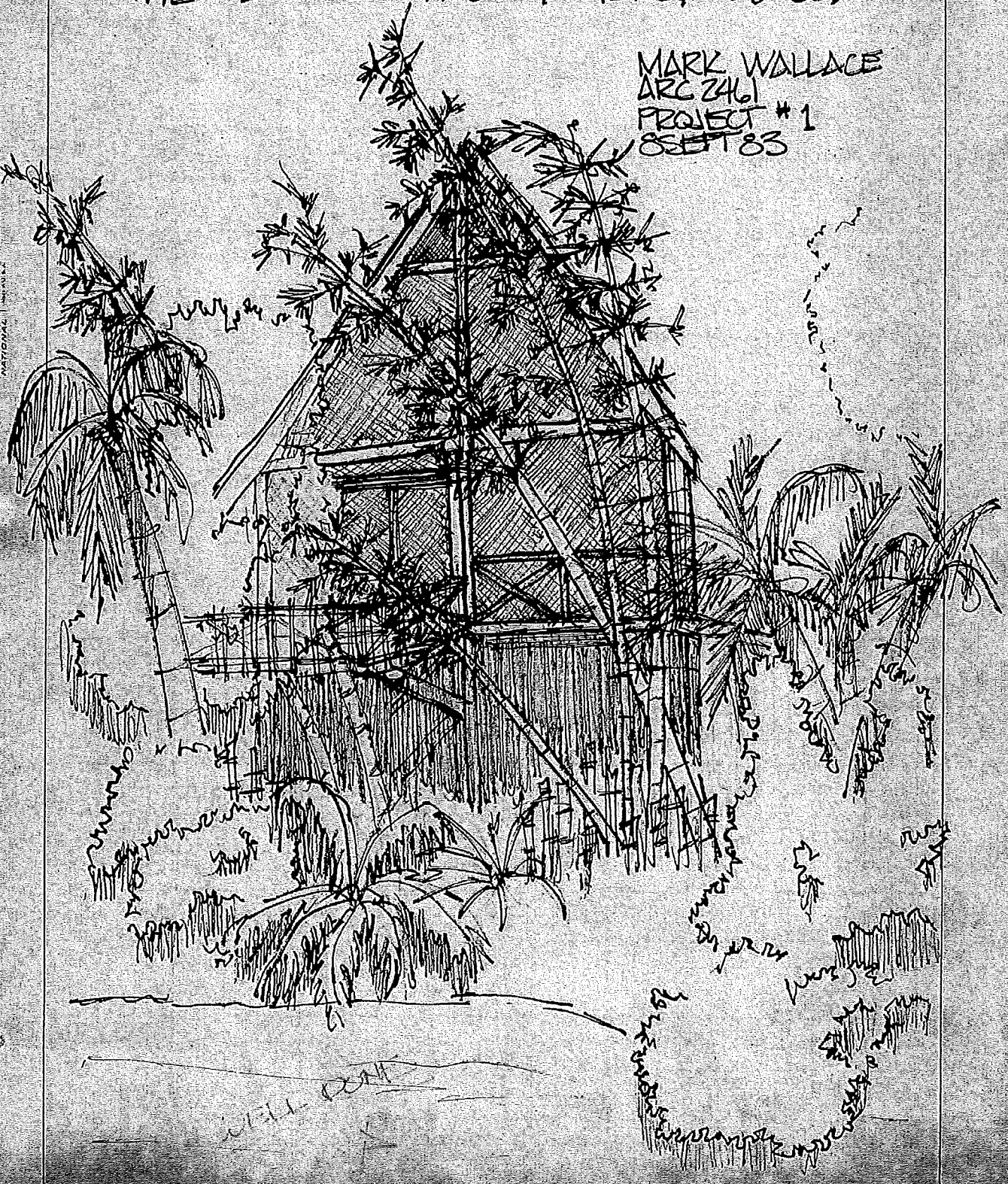
Published in The News-Press on October 16, 2011

Descriptive Plan for "Ellen's River House" on the North Side of the River built in 1980
(non-contributing) and accessed by a pedestrian swing bridge.

THE PETERSON HOUSE, ESTERO, FL. (1983)

MARK WALLACE
ARC 2461
PROJECT # 1
SEPT 83

42-381 40 SHEETS 4 SQUARE
42-382 100 SHEETS 5 SQUARE
42-383 200 SHEETS 5 SQUARE



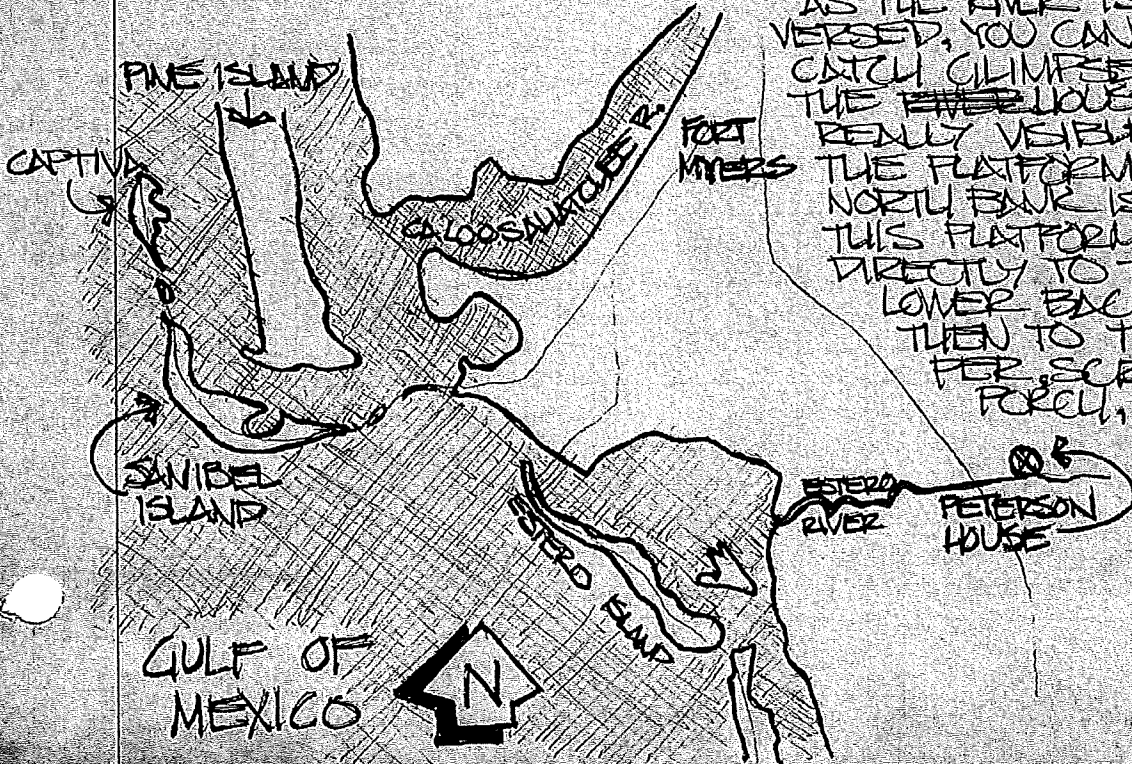
HIDDEN AMONG BAMBOO AND OAK TREES, THE PETERSON HOUSE STANDS ON THE NORTH BANK OF THE ESTERO RIVER. ALTHOUGH IT IS A HYBRID OF SORTS, IT IS BEST DESCRIBED AS A CROSS BETWEEN A FLORIDA VERNACULAR AND A POLE HOUSE. IT IS BASICALLY RECTANGULAR IN PLAN, SETTING AN AVERAGE OF FIFTEEN FEET OFF THE GROUND WITH A STEEPLY PITCHED TIN ROOF.



ORIGINALLY THERE WERE TWO APPROACHES TO THE HOUSE BUT FRONT ACCESS WAS ELIMINATED BY THE NEIGHBORING FARMER WHO ILLEGALLY FENCED IN HIS PROPERTY LINE AND CLOSED IN THE ROAD. ACTUALLY, THIS WAS QUITE FORTUNATE BECAUSE IT REQUIRES ONE TO DRIVE AROUND TO THE SOUTH SIDE OF THE RIVER AND CROSS THE OWNER'S HAND BUILT SUSPENSION BRIDGE.

THE BRIDGE WAS CONSTRUCTED BY STRETCHING STEEL CABLE OVER EIGHT PINE POLES (FOUR ON EACH SIDE OF THE RIVER). THE TOP TWO CABLES ACT AS LIND RAILS WHILE THE BOTTOM TWO ARE CONNECTED BY FIVE 2X6'S. THE 2X6'S ARE REPLACED AS THEY ROT OUT.

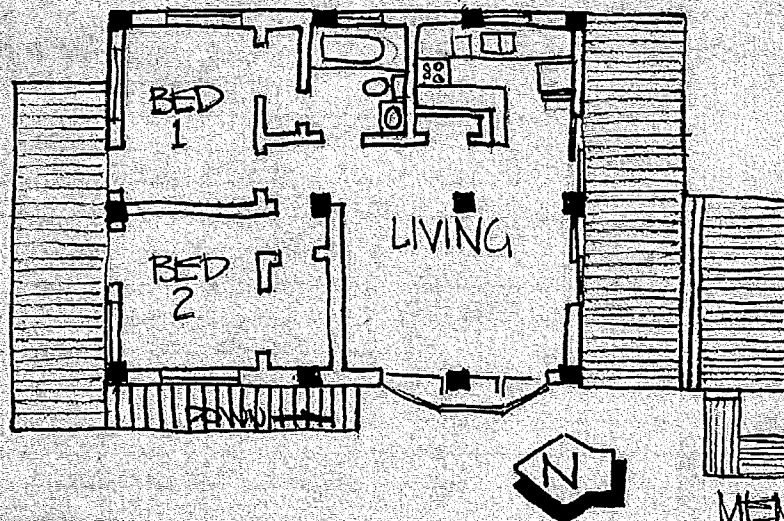
AS THE RIVER IS TRANSVERSED, YOU CAN ONLY CATCH GLIMPSES OF THE HOUSE. IT ISN'T REALLY VISIBLE TILL THE PLATFORM ON THE NORTH BANK IS REACHED. THIS PLATFORM CONNECTS DIRECTLY TO THE LOWER BACK PORCH, THEN TO THE UPPER SCREENED PORCH, THEN



50 SHEETS 1 SQUARE
42 SHEETS 1/2 SQUARE
28 SHEETS 1/4 SQUARE
22 SHEETS 1/8 SQUARE



ART TO GO



INTO THE HOUSE. THE LIVING AREA IS ABOUT 20 X 20 WITH A BAY WINDOW ON THE WEST AND KITCHEN ENTRANCE ON THE EAST. THE AREA EXTENDS ALL THE WAY TO THE ROOF WHERE THE STRUCTURAL MEMBERS ARE

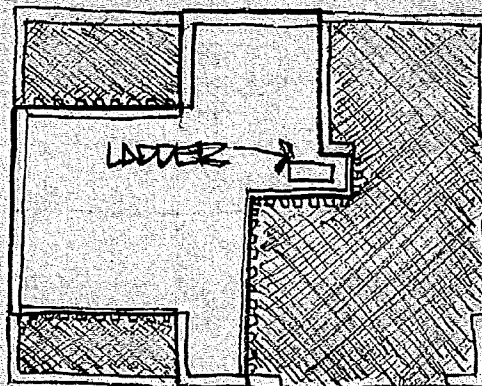
EXPOSED.

THE KITCHEN IS QUITE SMALL AND CRAMPED, BUT SINCE IT IS ONLY MEANT FOR ONE PERSON, IT IS FAIRLY AD-EQUATE. IN ORDER THAT CORNER SPACE MAY BE USED, LAZY SUSAN'S WERE PUT NEXT TO THE REFRIGERATOR AND STOVE. ALSO, TO ALLOW CORNER CABINETS TO OPEN, THEY ARE HINGED IN THE MIDDLE. THE COUNTER TOP IS A BEAUTIFUL, DEEP RED CERAMIC TILE.

SINCE MISS PETERSON IS A RATHER TALL LADY, THE BATHROOM IS FITTED WITH A SLIGHTLY HIGHER COUNTER SO SHE WOULDN'T HAVE TO BEND OVER AS FAR TO WASH HER FACE. ANOTHER FEATURE OF THE BATHROOM IS THE REACH-THRU CLOSET. IT IS FITTED WITH SHELVES WHICH CAN BE REACHED FROM BEDROOM 1 AS WELL AS THE BATH. A SIMILAR ARRANGEMENT IS FOUND IN BEDROOM 2.

ALSO INTERESTING ABOUT THE HOUSE IS THAT EACH BEDROOM HAS A FRONT DOOR. IF MISS PETERSON IS TO TAKE ON A TENANT, THEY WOULDN'T BOTHER EACH OTHER COMING IN THE FRONT AT NIGHT.

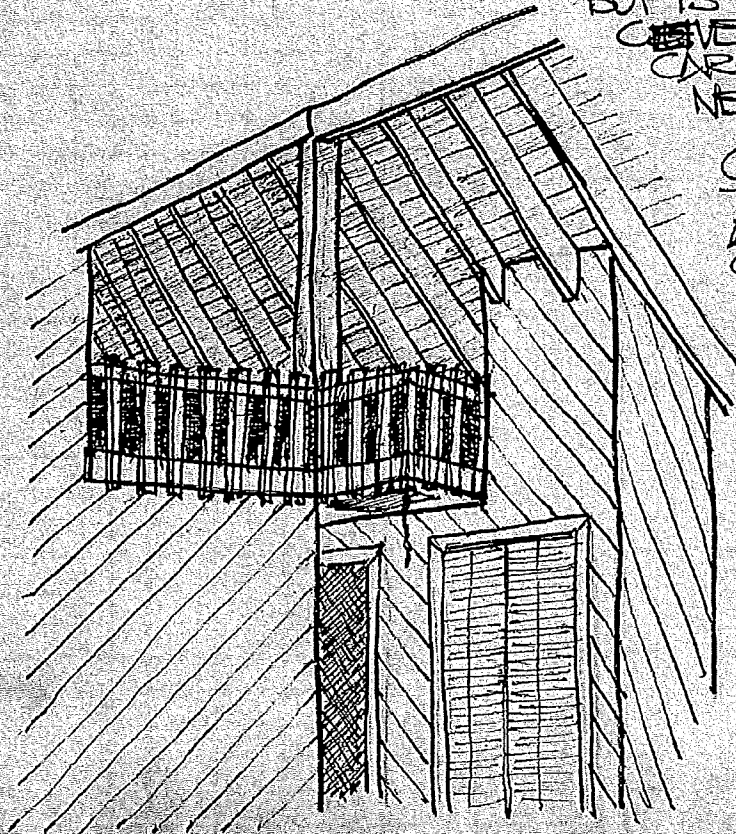
ENTERED BY WAY OF A FULL DOWN LADDER IN THE HALLWAY, THE LOFT RESTS ABOVE THE TWO BEDROOMS AND IS BORDERED ON THE SOUTH BY A WOLF RAILING AT THE LIVING ROOM WALL. LOOKING OVER THIS RAIL, YOU CAN SEE THE RIVER THROUGH A GREAT PICTURE WINDOW



IN THE ROOF PITCH. WITH TWO 8'-0" SLIDING GLASS DOORS BELOW, THE SOUTH ELEVATION IS ALMOST ENTIRELY GLASS. THROUGH THE FRONT DOORS LIES THE FRONT PORCH, WHICH EXTENDS OFF THE END FOR THE STAIRCASE - PRESENTLY THE ONLY ACCESS TO THE GROUND.

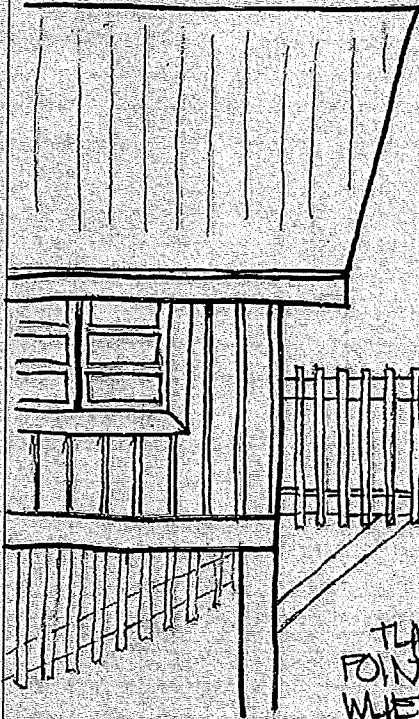
STARTING FROM GROUND UP, THE HOUSE IS BUILT ON TWELVE 8x8 SQUARE POLES TO WHICH 2x8 PINE FLOOR BRACING IS BOLTED AND NAILED @ 16" O.C. UN-LIKE MOST POLE HOUSES, THE POLES STOP HERE RATHER THAN CONTINUING UP TO THE ROOF. SO, LIKE THE FLORIDA VERNACULAR STYLE, THE PETERSON HOUSE HAS LOAD BEARING WALLS, THE ROOF BEING HELD BY PINE 2x4'S @ 16" O.C. THE ROOF IS PITCHED AT 12 AND IS TIN COVERED.

10 ABOVE THE JOISTS LIES THE ROUGH FLOOR OF 1/2" FLYWOOD. THIS IS COVERED BY ANOTHER 1/2" OF FLYWOOD FOR THE FINISHED FLOOR. AT PRESENT, DUE TO LACK OF FUNDS, THE FLOOR IS NOT COVERED, BUT IS EXPECTED TO RECEIVE SHORT-SHAG CARPETTING IN THE NEAR FUTURE.



AS YOU MAY HAVE GUESSED BY NOW, THE HOUSE IS BUILT ALMOST COMPLETELY OF GLASS AND WOOD - MY TWO FAVORITE MATERIALS. EXCEPT WHERE IT IS PURELY STRUCTURAL AND WEAR (SUCH AS THE FLOORING) THIS WOOD IS CYPRESS. THE EXTERIOR OF THE HOUSE IS CHARACTERIZED BY VERTICAL SIDING - 1x10 CYPRESS WITH 1x3'S OVER EACH SEAM.

35 SHEETS 36x48
42-382 100 SHEETS 36x48
42-389 200 SHEETS 36x48
NATIONAL



THIS IS CURRENTLY A BROWNISH COLOR, BUT WILL SOON TURN GRAY WITH WEATHERING.

THE INTERIOR WALLS ARE OF 1X5 DIAGONAL SHEATHING, BUT THESE WALLS ARE LIGHTLY SIDINGED.

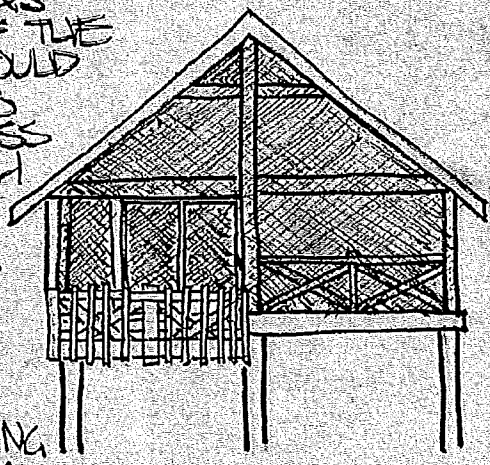
THE PORCHES, BOTH FRONT AND BACK, ARE UNIQUE IN THAT ALL OF THE RAILINGS AND POSTS ARE OF ROUGH CUT CYPRESS - I.E., THE 2X4'S ARE A FULL 2" BY 4", NOT 1 1/2" BY 3 1/2". IF YOU'VE NEVER SEEN THIS, I MUST SAY IT MAKES A VERY IMPRESSIVE STATEMENT. IT GIVES YOU A FEELING OF MASSIVENESS AND STRUCTURAL SOUNDNESS - MUCH THE SAME THAT COREY PRODUCED BY RUSTICATING HIS PILOTES.

THERE ARE A COUPLE OF INTERESTING POINTS CONCERNING THE BACK PORCH: WHEN THE BUILDING INSPECTOR CHECKED THE HOUSE HE SAID THAT THREE FEET OF THE BACK PORCH WOULD HAVE TO COME OFF BECAUSE IT WAS TOO CLOSE TO THE RIVERBANK. HE ALSO SAID THAT PICKETS MUST BE ADDED TO THE PORCH RAILINGS NO GREATER THAN SIX INCHES APART. IN COMPLIANCE WITH THE INSPECTOR'S WORDS, MISS PETERSON IMMEDIATELY ADDED THREE FEET OF FILL AND SOIL TO THE BANK AT THE POINT IN QUESTION, AND ALSO ADDED THE PICKETS - IN THIS CASE, ROUGH CUT CYPRESS 2X2'S.

THE INSPECTOR WAS SUMMONED AGAIN (LUCKILY A DIFFERENT ONE) AND THE HOUSE WAS OK'ED. LATER, MISS PETERSON DECIDED TO SCREEN IN THE UPPER BACK PORCH, AND THOUGH I STRONGLY ADVISED AGAINST IT (BECAUSE (1) IT WOULD BREAK THE VOID SPACE AND THE FLOWING PLAN, (2) I WOULD BE THE ONE WHO HAD TO DO IT), SHE PREVAILED AND IT WAS SCREENED. DURING THIS PROJECT, THE PICKETS WERE REMOVED.

DUE TO THE WEIGHT IN THE PITCH OF THE ROOF, AS WELL AS THE HEIGHT FROM THE GROUND, IN MOST PLACES IT WAS IMPOSSIBLE TO USE A LADDER TO DO THE SCREENING. THE ONLY OPTION WAS TO CLIMB INTO THE RAFTERS WITH THE SCREENING AND STAPLE GUN. IT WAS A TWO MAN JOB. ONE PERSON HAD TO HOLD THE SCREENING WITH ONE HAND WHILE HOLDING ONTO THE RAFTERS WITH THE OTHER. SIMILARLY, THE OTHER

PERSON HAD TO STAPLE AND HOLD ON. THE BIGGEST PROBLEM WAS PUTTING THE MOULDING FOR THE SCREEN ON. SINCE THE SCREEN WAS STAPLED TO THE OUTSIDE OF THE CROSS MEMBERS, THERE WOULD BE NO PLACE TO STAND TO PUT THE MOULDING UP, UNLESS YOU PUT YOUR FEET THROUGH THE SCREEN. SO WE HAD TO WORK OUR WAY DOWN, STAPLING IN SCREEN AND HAMMERING MOULDING AS WE WENT. AFTER THE ROOF PITCH WAS IN, THE REST WAS RELATIVELY EASY. THE ONLY PROBLEM WAS PUTTING IN THE BOTTOM MOULDING WHICH WAS ACCOMPLISHED BY THE GROUND WITH A LADDER AGAINST THE BASE BOARD. HANGING THE SCREEN DOOR PROVED EQUALLY AS INTERESTING BECAUSE IT MISSED IN HEIGHT BY ONLY 1/4". AFTER ATTEMPTING TO FLOOR DOWN AND SAND FLOORBOARDS, WE FINALLY CUT A PIECE OF WOOD WHICH WAS 3/8" TOO TALL AND POUNDED IT IN, RAISING THE BEAM UP. THIS ALSO SERVED AS THE BACK DOOR JAMB. SINCE THE SCREEN WAS GRAY, IT MATCHED PRETTY WELL WITH THE WEATHERED CYPRESS.



THOUGH I LIKE THE HOUSE A LOT, THERE STILL ARE SEVERAL THINGS I WOULD CHANGE IF IT WERE MINE. FIRST, I'D PUT A STAIRWELL ON THE BACK PORCH FOR ACCESS TO THE GROUND. SECOND, I'D PUT A STAIRWELL ALONG THE LIVING ROOM WALL TO THE LOFT. THIRD, THE KITCHEN WOULD JUST HAVE TO BE BIGGER. I'M ONE WHO REALLY LIKES TO COOK AND THEN SIT AROUND THE KITCHEN TALKING AND EATING. LAST, OF COURSE, I WOULD NOT SCREEN THE BACK PORCH. BUT I MUST SAY, FOR A HOUSE DESIGNED BY THE HEAD COUNSELOR AT A COMMUNITY COLLEGE, IT'S NOT TOO BAD.

IN THE END HOWEVER, MORE THAN I LIKE THE MATERIALS, THE DESIGN, AND THE CONSTRUCTION, I LIKE TO SIT ON THE BACK PORCH AND LOOK OVER THE RIVER WITH THE SMELL OF CYPRESS IN THE AIR AND A GENTLE SWAY OF THE HOUSE IN THE WIND.

42 SHEETS 3 SQUARE
42 SHEETS 4 SQUARE
42 SHEETS 5 SQUARE
42 SHEETS 6 SQUARE
42 SHEETS 8 SQUARE
42 SHEETS 10 SQUARE
42 SHEETS 15 SQUARE
42 SHEETS 20 SQUARE
42 SHEETS 30 SQUARE
42 SHEETS 40 SQUARE
42 SHEETS 50 SQUARE
42 SHEETS 60 SQUARE
42 SHEETS 70 SQUARE
42 SHEETS 80 SQUARE
42 SHEETS 90 SQUARE
42 SHEETS 100 SQUARE
42 SHEETS 150 SQUARE
42 SHEETS 200 SQUARE
42 SHEETS 300 SQUARE
42 SHEETS 400 SQUARE
42 SHEETS 500 SQUARE
42 SHEETS 600 SQUARE
42 SHEETS 700 SQUARE
42 SHEETS 800 SQUARE
42 SHEETS 900 SQUARE
42 SHEETS 1000 SQUARE





HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No.	Designation No. 2000 06 01	Date Filed: December 3 2012
---------	----------------------------	-----------------------------

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
--	---	---	---

Name of Project: Koreshan State Historic Site: Membership Cottage Rehabilitation

Location: 3800 - 3860 Corkscrew Rd Estero Fl 33928

STRAP No.: 33 46 25 00 00001 0020

Name of Applicant or Agent*: Linda Stevenson Architects Inc

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 417 12th St W

City, State, Zip: Bradenton Fl 34205

Phone Number: 941 747 3696 Fax Number: _____

Email Address: stevensonarchitects@yahoo.com

Name of Historic District (if applicable): Koreshan State Historic Site

Check all that apply: Building Archaeological Site Object Landscape Feature

Project Description (describe all work proposed):

Alteration Demolition New Construction Reconstruction Rehabilitation Relocation

Narrative: Repairs to the Membership Cottage at the Koreshan State Historic Site

Change in Use: No Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? No Yes

If yes, explain. _____

Has a development order or exemption been applied for prior to or concurrent with this application? No Yes

If yes, explain. _____

***** FOR STAFF USE ONLY *****			
Date Issued:		<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by:			
<i>*Explanation attached</i>			

LEE COUNTY HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness
CASE NUMBER: COA 2012-00156 Koreshan State Historic Site: Membership Cottage
Rehabilitation 3800 Corkscrew Rd., Estero Fl 33928
HEARING DATE: **December 19, 2012**

SUMMARY: The request is for the rehabilitation of the Membership Cottage a contributing building in the locally designated Koreshan State Historic Site (District) HD 2000 06 01. The Membership Cottage is also a contributing resource to the Koreshan Unity Settlement Historic District which is listed on the National Register of Historic Places. Staff analyzed the proposed project for compliance with Chapter 22 of the Land Development Code and the Secretary of the Interior's Standards for Rehabilitation. The STRAP number 33 46 25 00 00001 0020; the address is Koreshan State Historic Site 3800 Corkscrew Rd Estero Fl 33928.

STAFF ANALYSIS:

BACKGROUND: The subject structure is a pioneer cottage at the Koreshan State Historic Site -- a state park located at the intersection of US 41 and Corkscrew Rd in Estero, Lee County, Florida. The Koreshan Unity (Unity) was a communal, utopian society that established a community in Estero.

In 1894 the Unity purchased land for a settlement in Estero and began construction various buildings. Over the years the buildings were linked by clearly delineated paths that were part of an intricate landscape plan incorporating decorative elements as such urns and mounds. During 1904 to 1907 the community reached a population of 200; these were the "Golden Years" of the settlement. However, in 1908 the Unity's leader Dr. Cyrus Teed died and the community began a gradual but irreversible decline. By 1961 the State of Florida had accepted a donation from the Unity of the area encompassing the main settlement grounds for the purpose of establishing a state park.

The Membership Cottage is a small, single story wood frame building. The main portion of the cottage has a footprint of roughly 30-ft 11-in by 12-ft 8-in. It features a principal front facing metal gable roof with two small secondary shed roofs: one over a front porch and one over a small bathroom addition towards the rear of west side. The building features board and batten vertical siding except for horizontal lap siding on the front gable end and on the bathroom addition.

The significance of the Membership Cottage is its association with the early settlers and their pioneer life ways. Architect Linda Stevenson, Stevenson Architects, Inc. authored "**The Membership Cottage, Koreshan State Historic Site: A Restoration Approach & Preservation Plan July 30, 2004**". This document provides an analysis of the historical and architectural significance of the membership cottage and sets forth a preservation plan which identifies the architecturally significant features of the building, evaluates their condition and then sets forth a restoration approach. The plan was funded by the Florida Department of Environmental Protection Division of Recreation and Parks and reviewed and approved by the Division of Historical Resources of the Florida Department of State.

The Membership Cottage's construction date and its original location are uncertain. "Since the provenance of the Membership Cottage is not clear, this report recommends preserving all of the pieces of the extant cottage. This structure can be interpreted as the development of a dwelling over time." (Stevenson; Page IV-5)

The preservation plan notes that

The Membership Cottage was constructed as a simple rectangular wood frame one-story building with a 'shot-gun' plan. The Cottage is an assembly of three distinct parts. It is apparent that the north and south sections were joined by 1940s and the bathroom wing on the west side was added just prior to the 1962 appraisal report. (Stevenson; Page: I-4).

The Membership Cottage.... is an amalgamation of three separate structures. Over time, these structures were "cobbled" together to provide the resident with more comforts, as the community entered the modern era. (Stevenson; Page II 1)

The restoration approach for the Membership Cottage set forth in the plan calls for a preservation treatment. "Since the Membership Cottage reflects the continuous uses of a cottage over time, including later alterations and additions, it is appropriate to use the standards for Preservation treatment." (Page IV-4) The plan notes that according to the Secretary of the Interior Standards, Preservation places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies and the changes and alterations that are made.

CURRENT PROPOSAL:

Due to severe funding constraints the restoration of the Membership Cottage will have to be phased. The current phase calls for repairs to exterior wood siding and wood trim and for minor repairs to existing wood windows and doors including repair of damaged areas and adjust sash to fit..

The applicant submitted a set of plans "Repairs to the Koreshan Membership Cottage" dated 12/3/2012. Page 3/6 of these plans sets forth the implementation method for the siding repairs.

"General Repair Notes

1. Shore up exterior walls before working in an area.
2. Carefully remove the base band around the facades and conserve the materials. Each vertical siding board to be examined for selection of repair method.
Method A uses epoxy consolidants to repair damaged edges of boards.
Method B allows for replacement of damaged section with a "Dutchman" repair using in-kind materials. Conserve materials wherever possible. Same methods apply to horizontal lap siding.
3. Battens where missing or damaged to be repaired. If damage is too extensive, replace with new batten to match the existing in profile and width.

Overall staff believes that this is an extremely well thought out project and the applicant submitted a plan that clearly calls for the restoration of the siding in a manner that retains as much historic fabric as possible.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the Secretary of the Interior's Standards also refer to the discussion above.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The Membership Cottage will continue to be used for the interpretation of the daily life of a Member of the Koreshan Unity.

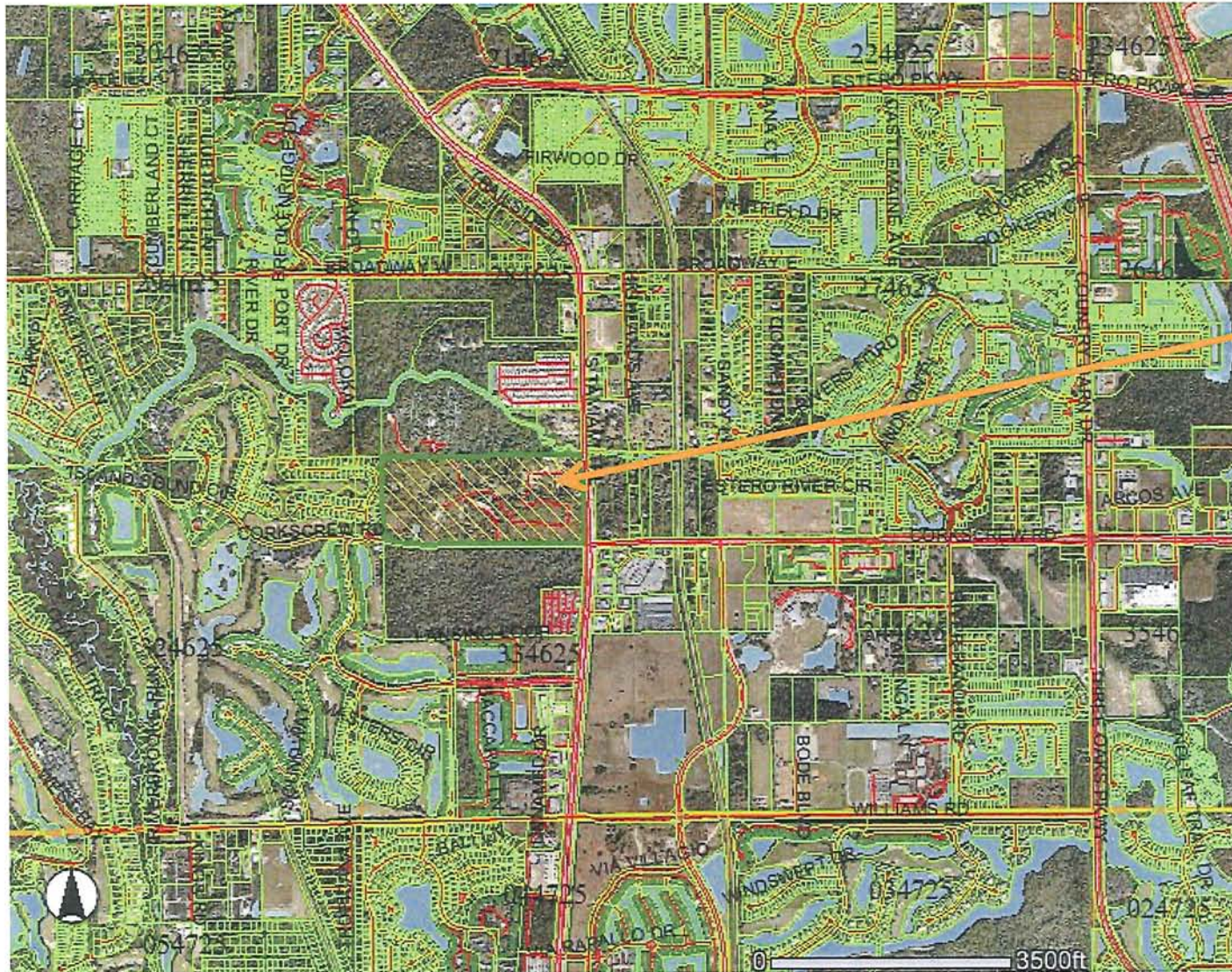
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The historic character of the property will be retained and preserved. There are no changes proposed to the design of the building. The existing building materials will be repaired or replaced in-kind.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
Not Applicable
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
Not Applicable
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
The distinctive features of the building will be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
The proposal calls for the repair of the existing building materials to the greatest extent feasible.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
Not Applicable
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
Not Applicable
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
Not Applicable
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
Not Applicable

STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

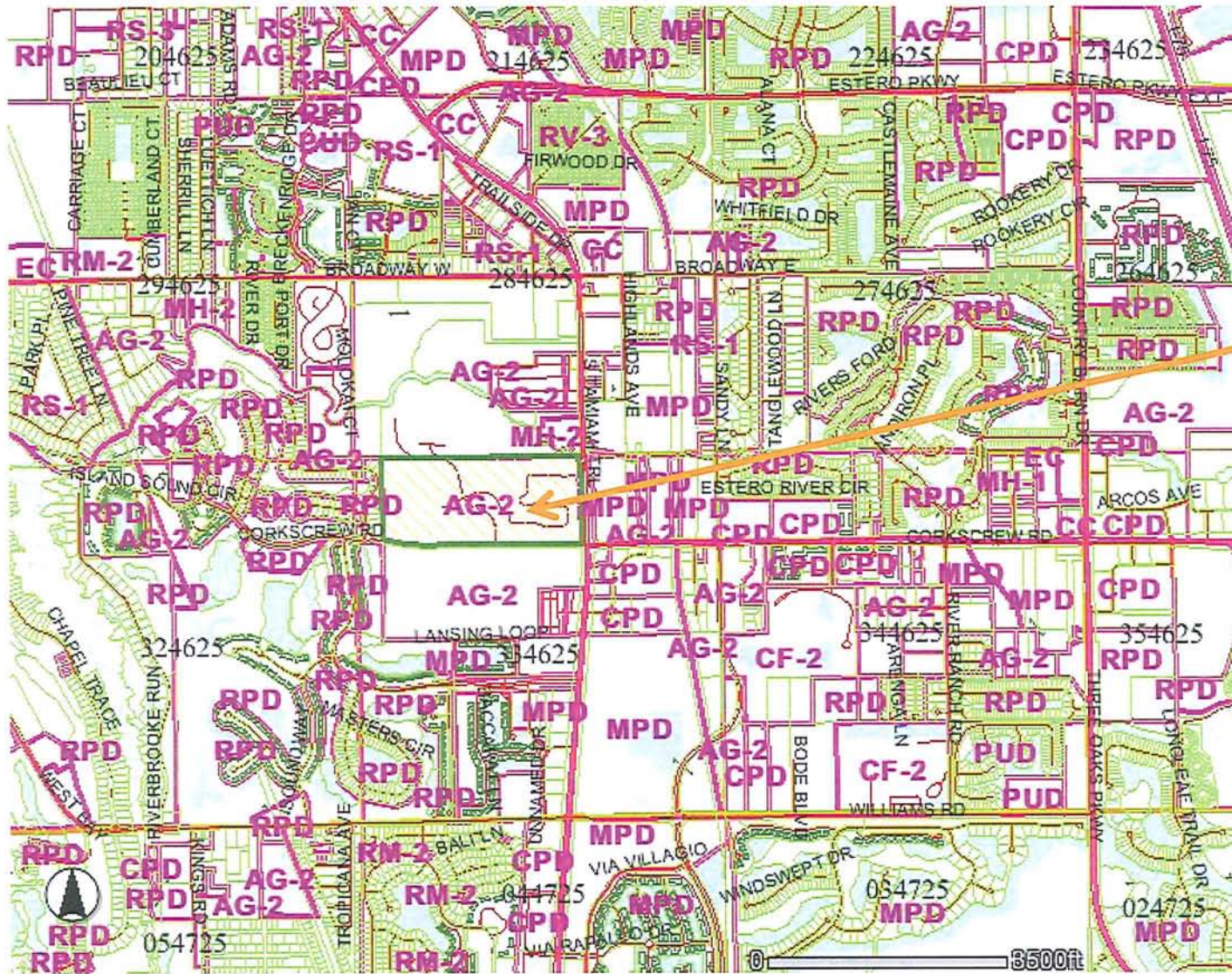
- 1) Approve the project as presented by the applicant;
- 2) Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the LDC.

COA2012-00156 – Koreshan State Historic Site –
Membership Cottage Rehab 3800-3860 Corkscrew Rd. Estero, FL



Subject Property

COA2012-00156 – Koreshan State Historic Site –
Membership Cottage Rehab 3800-3860 Corkscrew Rd. Estero, FL



Subject Property

REPAIRS TO THE KORESHAN MEMBERSHIP COTTAGE

Scope of Project Work

- Repairs to the exterior of a one story wood frame historic building at the Koreshan State Historic Site.

Work includes:

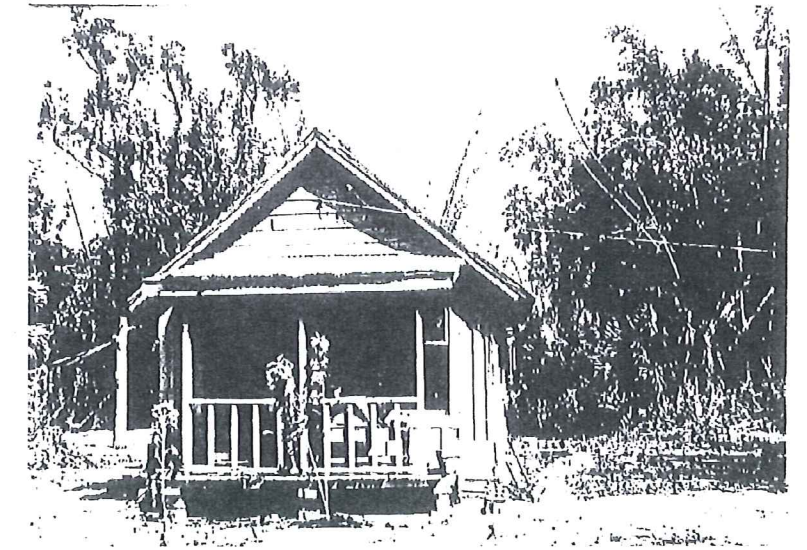
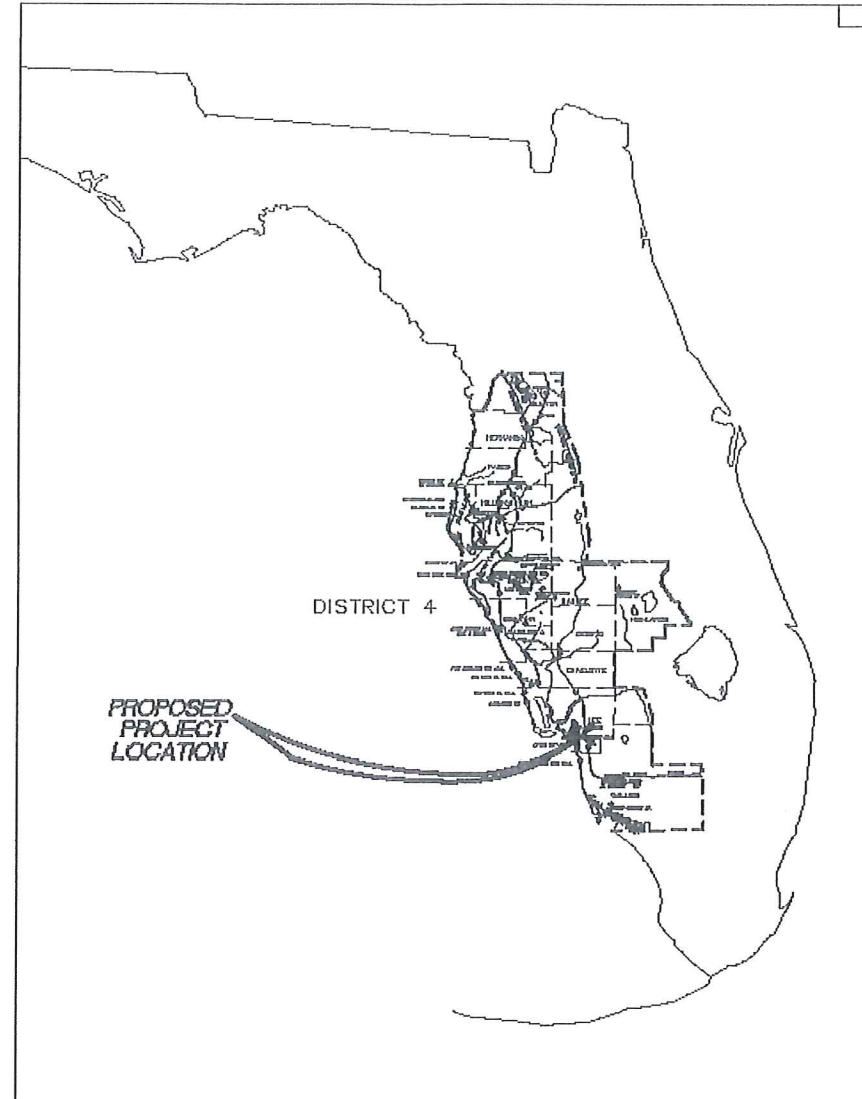
- Consolidation and repairs to exterior wood siding and wood trim.
- Minor repairs to existing wood windows and doors, repair damaged frame areas, adjust sash to fit.

Standards

- All work shall comply with *The Secretary of the Interior's Standards and Guidelines for Preserving and Restoring Historic Buildings*.

Codes:

- Florida Building Code (FBC) 2010
 - Florida Existing Building Code (FEBC) 2010
- "Historic Building meeting the definition of FEBC Section 1102 (2010 edition), case 2 A contributing property in a National Register District. All work shall be in conformance with Appendix B, *the Secretary of the Interior Standards for Rehabilitation*. Classification of work for this contract meets the definition of FEBC Section 502- Repairs for the exterior restoration.
- Section 502.2 **Exception:** Repairs to a historic building shall be permitted using original or like materials. Materials shall comply with Sections 502.2, 502.3 and 502.4.

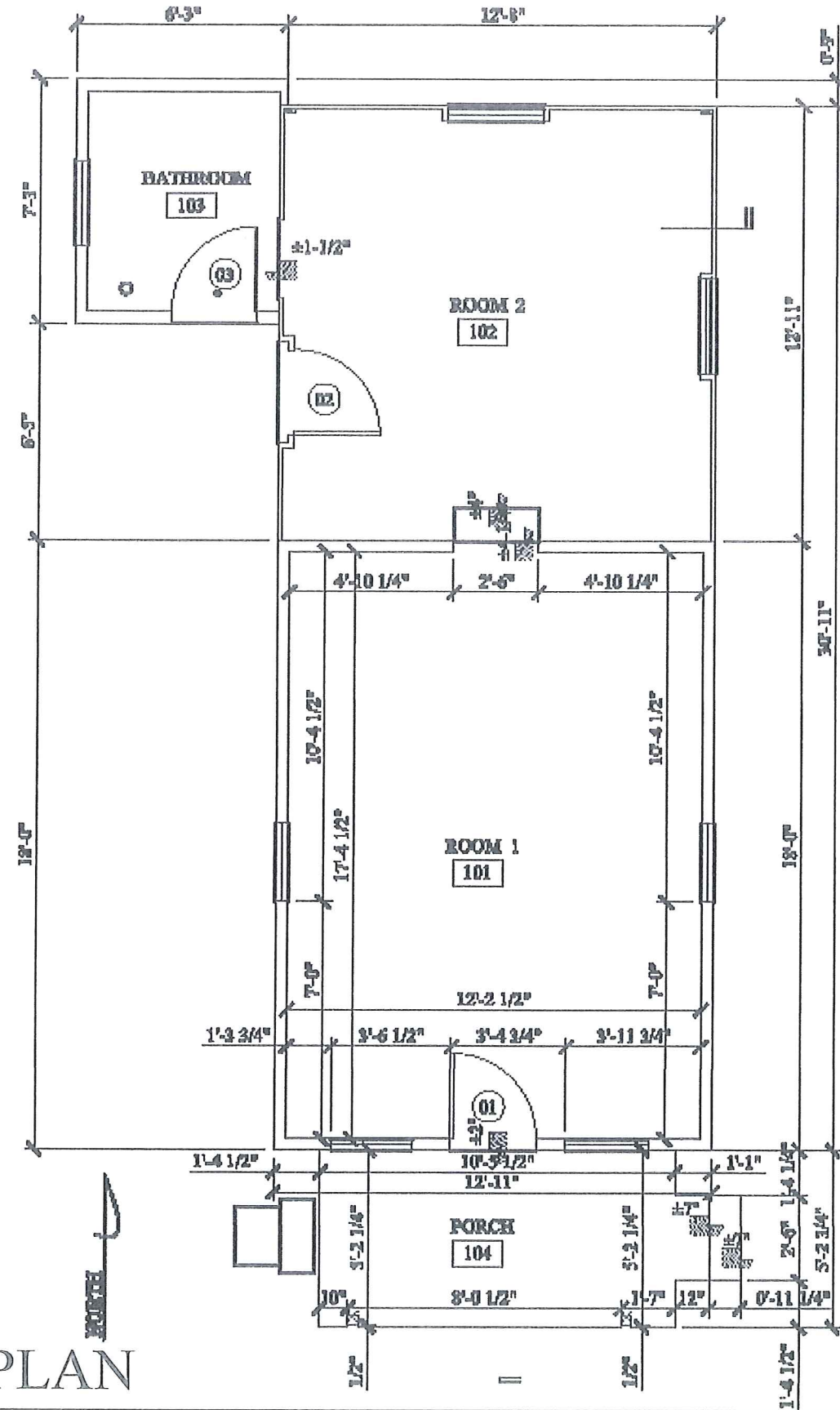
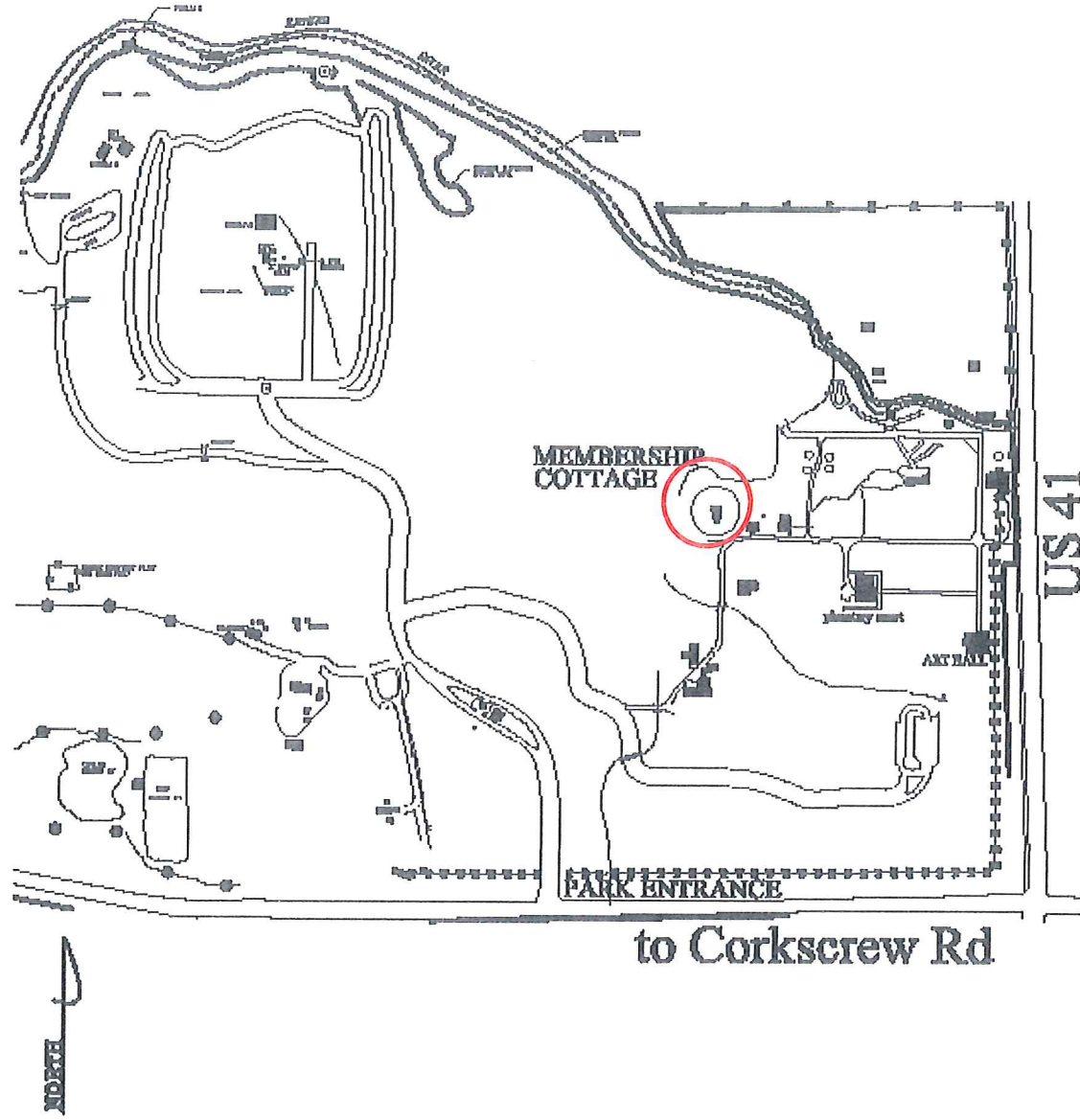


Index of Drawings

- 1 – Cover sheet & Scope of project work
- 2 – Site Plan, Existing Floor Plan
- 3 – South and North elevations
repair notes
- 4 - East elevation repair notes
- 5 - West elevation repair notes
- 6 – Elevations and repair notes

SITE PLAN

NTS



EXISTING FLOOR PLAN

STEVENS ON ARCHITECTS INC.
 License AAC 002131
 417 12TH ST W.,
 Bradenton, FL 34205
 © Copyright 2012

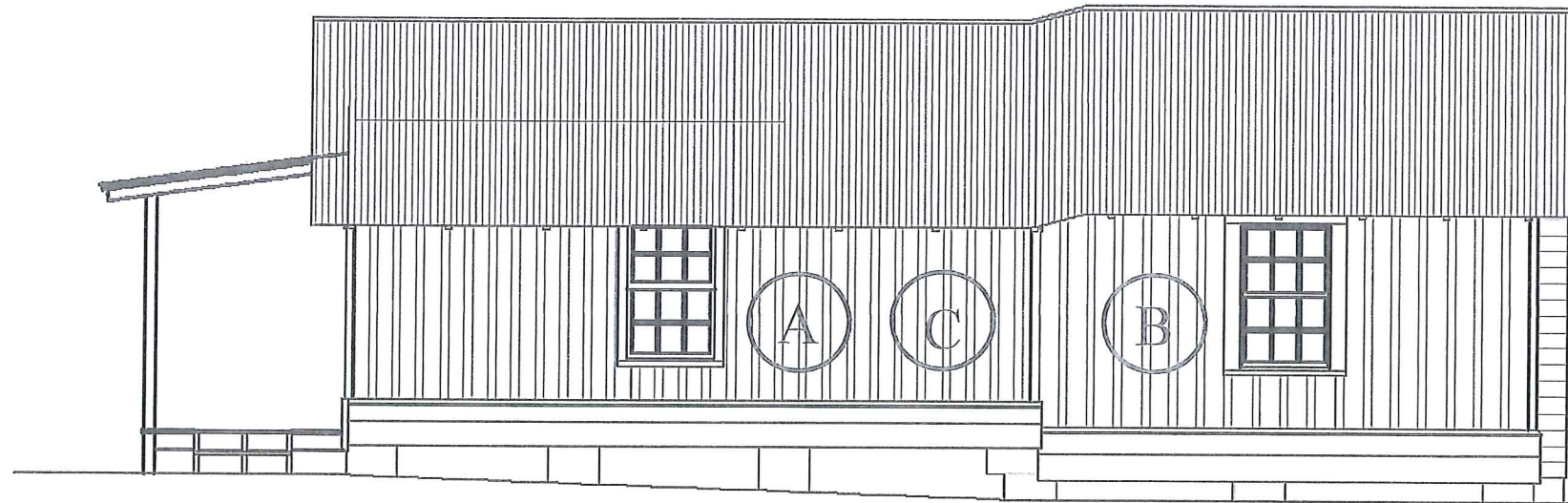
REPAIRS TO THE KORESHAN MEMBERSHIP COTTAGE

Koreshan State Historic Site, Estero, Lee County, Florida

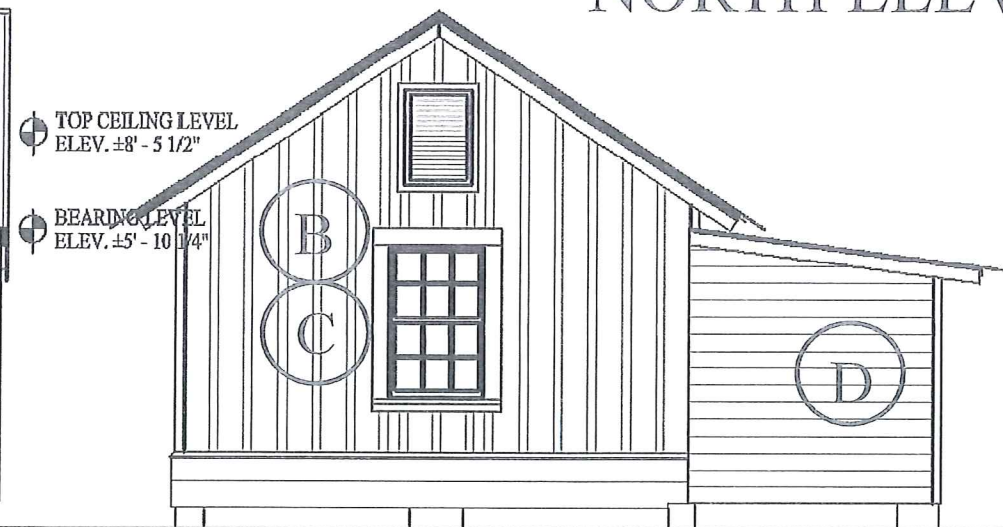
DATE: 12//03/2012

REVISION:

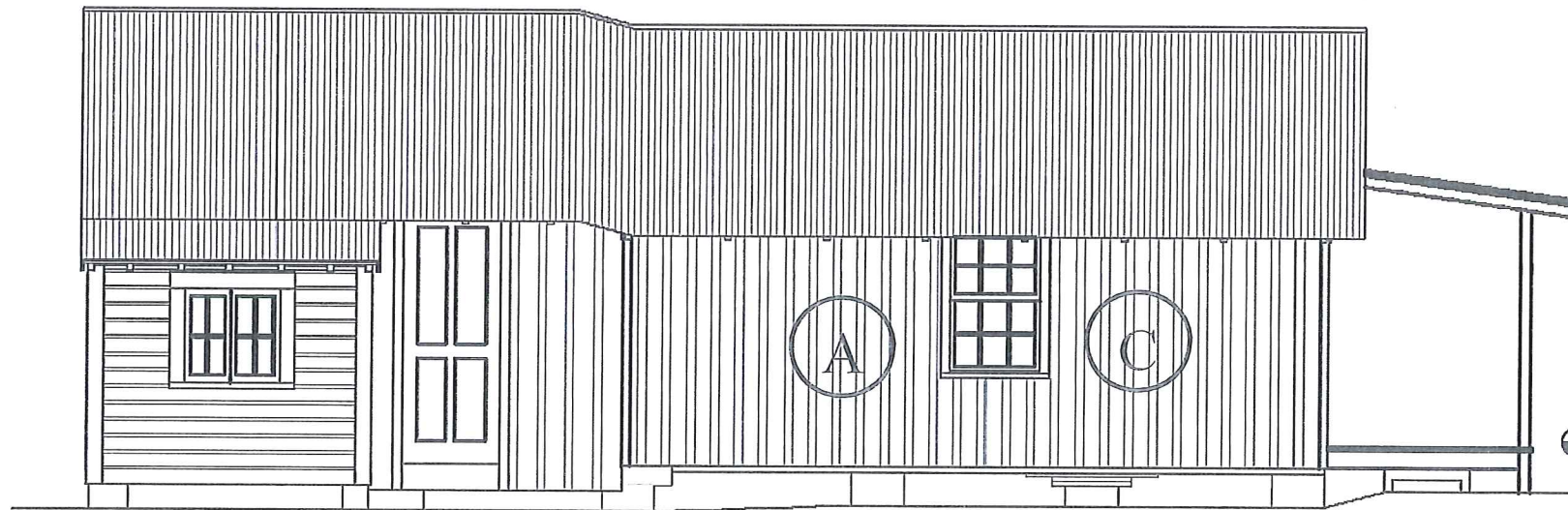
EAST ELEVATION



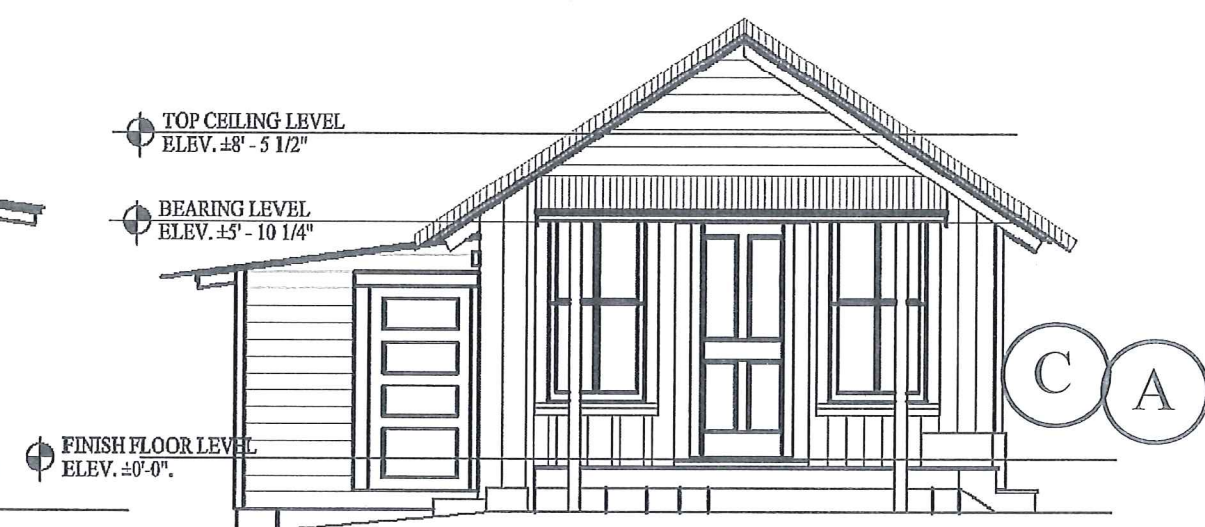
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



REPAIR MATERIALS:

- A. BATTENS TYPE "A" 3/4" X 2-7/8", REPLACE MISSING SECTIONS
- B. BATTENS TYPE "B" 3/8" X 2-1/2" REPLACE MISSING SECTIONS
- C. VERTICAL BOARD SIDING – REPAIR DAMAGED SECTIONS, ANY REPLACEMENT PIECES TO MATCH EXISTING
- D. DROP LAP SIDING , MINOR REPAIRS, AND REPLACEMENT PIECES TO MATCH EXISTING
- E. EXISTING PAINT COATINGS TO REMAIN, IF EPOXY REPAIR IS VISIBLE, APPLY FINISH TO MATCH ADJACENT EXISTING FINISHES.

GENERAL REPAIR NOTES

1. SHORE UP EXTERIOR WALLS BEFORE WORKING IN AN AREA.
2. CAREFULLY REMOVE THE BASE BAND AROUND THE FACADES AND CONSERVE THE MATERIALS. EACH VERTICAL SIDING BOARD TO BE EXAMINED FOR SELECTION OF REPAIR METHOD. METHOD A USES EPOXY CONSOLIDANTS TO REPAIR DAMAGED EDGES OF BOARDS. REPAIR METHOD B ALLOWS FOR REPLACEMENT OF DAMAGED SECTION WITH A "DUTCHMAN" REPAIR USING IN-KIND MATERIALS. CONSERVE MATERIALS WHEREVER POSSIBLE. SAME METHODS TO APPLY TO HORIZONTAL LAP SIDING
3. BATTENS WHERE MISSING OR DAMAGED TO BE REPAIRED. IF DAMAGE IS TOO EXTENSIVE, REPLACE WITH NEW BATTEN MATCH THE EXISTING IN PROFILE AND WIDTH.

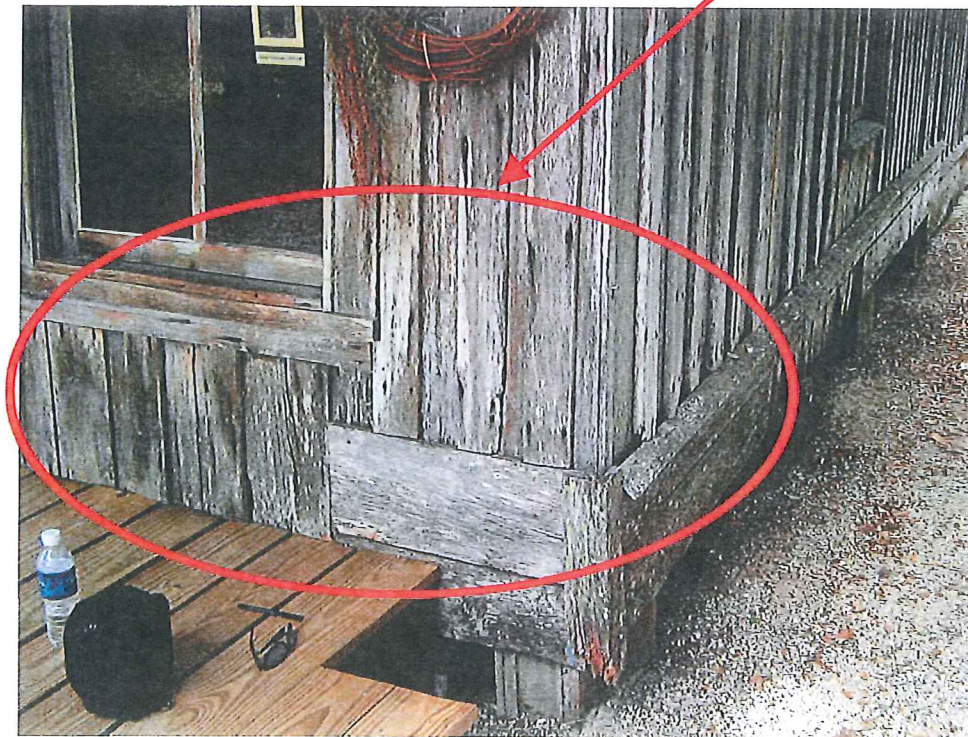
STEVENSON ARCHITECTS INC.
 License AAC 002131
 417 12TH ST W.,
 Bradenton, FL 34205
 © Copyright 2012

REPAIRS TO THE KORESHAN MEMBERSHIP COTTAGE
 Koreshan State Historic Site, Estero, Lee County, Florida

DATE: 12/03/2012

REVISION:

3/6



AREAS OF SPECIAL CONCERN - NOTES

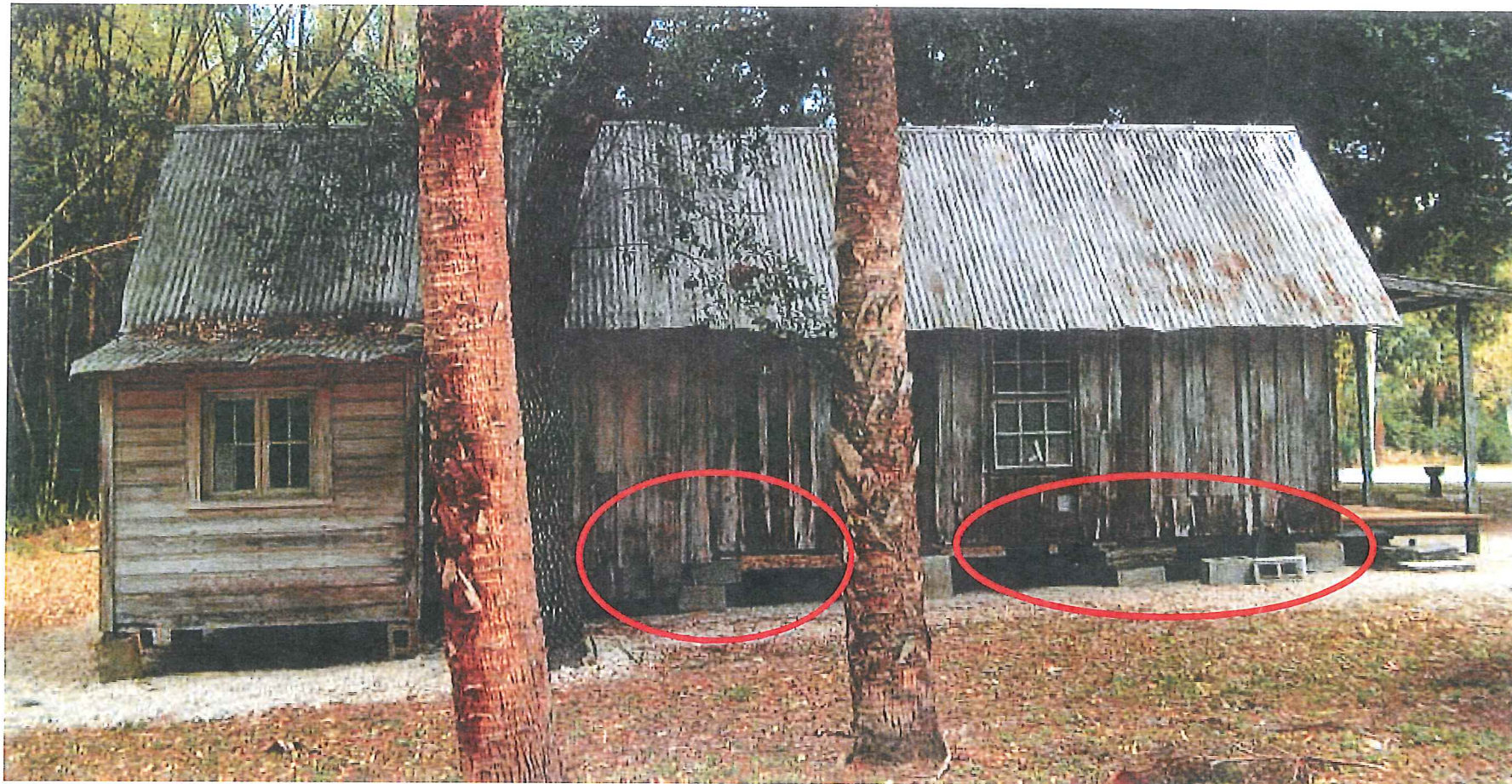
1. SEE NOTES ON SHEET 6

MATERIALS:

WOOD: SALVAGED OR RECYCLED HEART PINE, MATCH EXISTING MATERIALS IN SIZE AND PROFILE.

EPOXY CONSOLIDANTS: ABATRON OR EQUAL "LIQUID WOOD & WOOD EPOX."

FASTENERS (CONCEALED): HOT-DIPPED GALVANIZED NAILS



AREAS OF SPECIAL CONCERN - NOTES

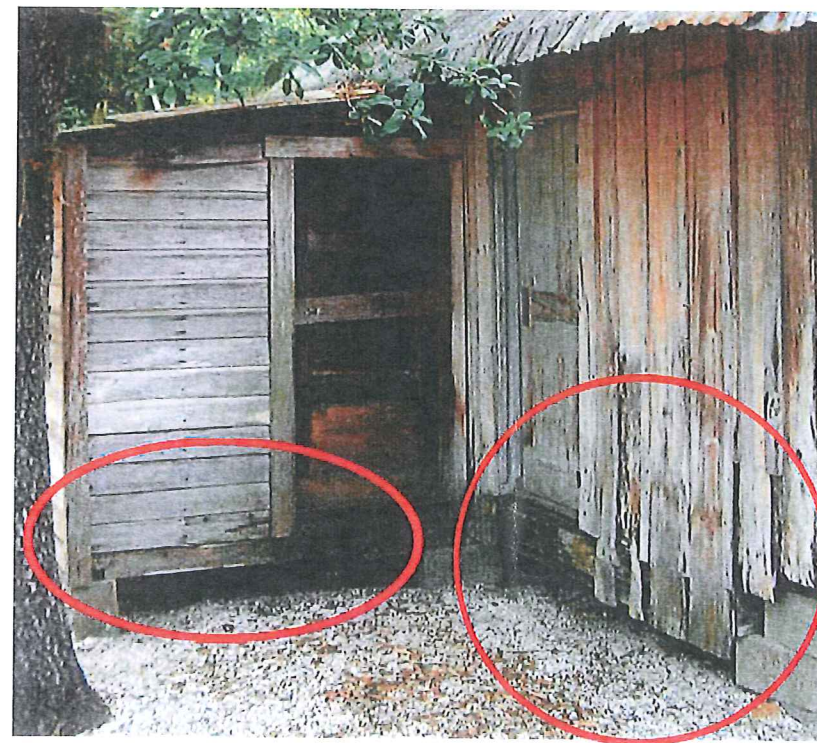
1. SEE NOTES ON SHEET 6

MATERIALS:

WOOD: SALVAGED OR RECYCLED HEART PINE, MATCH EXISTING MATERIALS IN SIZE AND PROFILE.

EPOXY CONSOLIDANTS: ABATRON OR EQUAL "LIQUID WOOD & WOOD EPOX."

FASTENERS (CONCEALED): HOT-DIPPED GALVANIZED NAILS





MATERIALS:

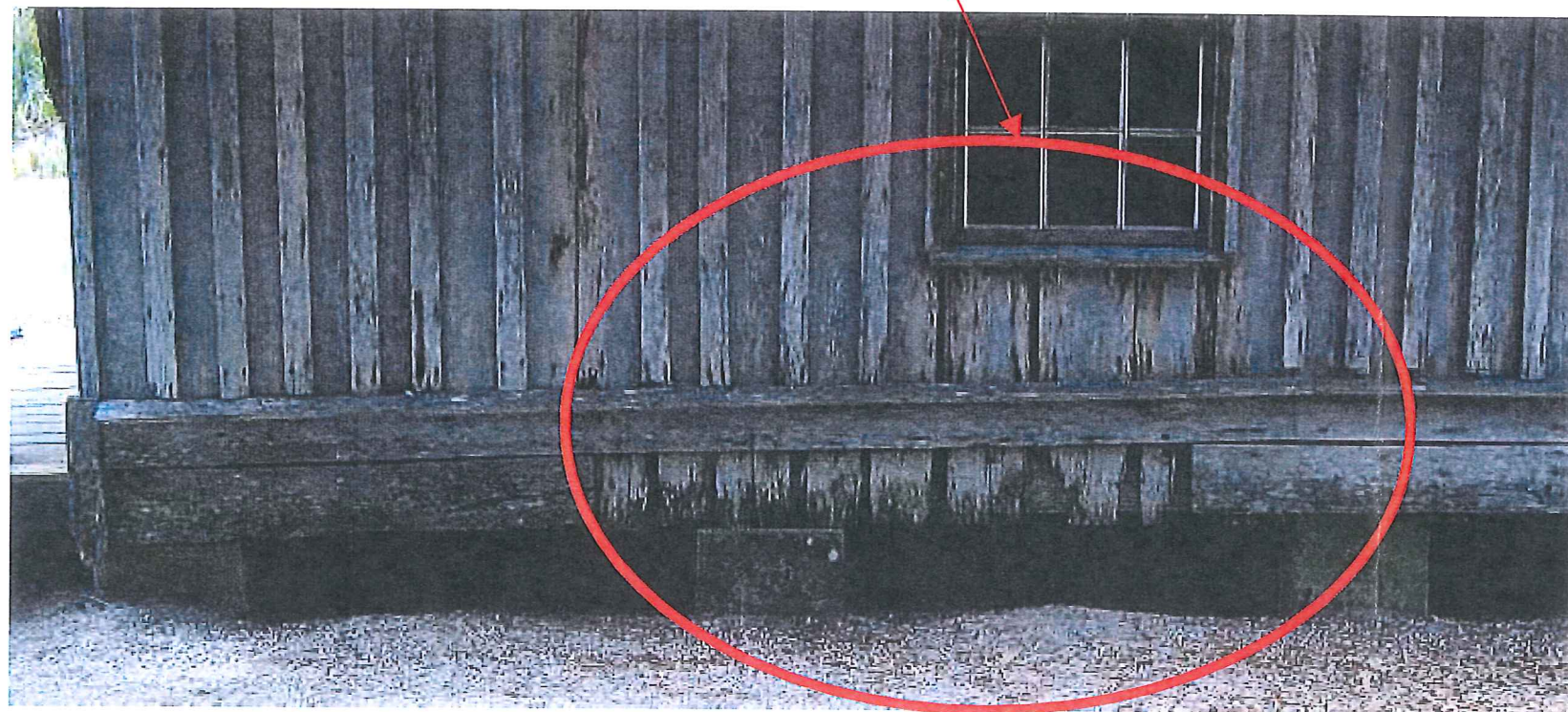
WOOD: SALVAGED OR RECYCLED HEART PINE, MATCH EXISTING MATERIALS IN SIZE AND PROFILE.

EPOXY CONSOLIDANTS: ABATRON OR EQUAL "LIQUID WOOD/ & WOOD EPOX."

FASTENERS (CONCEALED): HOT-DIPPED GALVANIZED NAILS.

AREAS OF SPECIAL CONCERN

1. HOLES IN VERTICAL BOARDS AT FLOOR LINE.
2. REMOVE THE HORIZONTAL BAND BOARDS AND CONSERVE. EXAMINE EACH BOARD FOR SELECTION OF REPAIR METHOD.
3. CONSOLIDATE WITH EPOXIES. IF BOARD SECTION IS TOO DAMAGED, REPLACE WITH A "DUTCHMAN" SECTION THAT MATCHES THE EXISITNG BOARD, WHERE THE JOINT WILL BE CONCEALED BY THE BASE BAND.
4. IF BOARD IS TOO DAMAGED FOR REPAIR AND/OR JOINT AT A NEW PATCH WILL BE EXPOSED TO THE WEATHER, REPLACE THE ENTIRE BOARD SECTION WITH BOARD THAT MATCHES THE ORIGINAL IN SIZE, PROFILE AND MATERIALS.
5. FINISH BOARD TO MATCH THE ADJACENT FINISH, A WASH OF GREY PAINT TO SIMULATE THE APPEARANCE OF THE AGED PAINT.
6. ALL FASTERNERS ARE TO BE CONCEALED UNDER THE BATTEN STRIPS AND THE FLOOR BASE BAND. FASTENERS SHOULD BE HOT-DIPPED GALVANIZED NAILS.



THE MEMBERSHIP COTTAGE
KORESHAN STATE HISTORIC SITE
Estero, Lee County, Florida

A RESTORATION APPROACH
&
PRESERVATION PLAN



Figure #1 – The Membership Cottage

STEVENSON ARCHITECTS, INC.
529 13th Street West
Bradenton, FL 34205
(941) 747-3696

Final Report
July 30, 2004

TABLE OF CONTENTS

ii	LIST OF FIGURES
iii	ACKNOWLEDGEMENTS
iv	INTRODUCTION TO THE PROJECT
I.	HISTORY OF THE MEMBERSHIP COTTAGE
II.	ARCHITECTURAL ANALYSIS
III.	EXISTING CONDITIONS DRAWINGS
IV.	RESTORATION APPROACH & PRESERVATION PLAN
V.	DESIGN DEVELOPMENT DRAWINGS
VI.	OUTLINE SPECIFICATIONS
VII.	PROBABLE COST OF CONSTRUCTION
VIII.	APPENDICES
	A. HISTORY OF THE KORESHAN UNITY SETTLEMENT
	BIBLIOGRAPHY & SOURCES
	REFERENCES & RELATED REPORTS
	A. LIMITED ARCHAEOLOGICAL TESTING FOR THE MEMBERSHIP COTTAGE, SUBMITTED BY SOUTHARC, INC., GAINESVILLE, FLORIDA 32606,

LIST OF FIGURES¹

Cover	The Membership Cottage, c. 1940s (KSHS Archives photograph) (Figure 1)
Figure 2.	Current site plan
Figure 3.	Preliminary General Development Plan 1961
Figure 4a.	Historical Photograph, circa 1940s (KSHS Archives photograph).
Figure 4b.	Historical Photograph, circa 1960s (Appraisal report 1962) KSHS Archives.
Figure 5.	South Facade
Figure 6.	East façade
Figure 7.	Window detail
Figure 8.	East façade at floor level connection
Figure 9.	North façade with septic tank cap
Figure 10.	West facade
Figure 11.	Detail of siding and casement window
Figure 12.	Paint traces on west façade, south of bathroom
Figure 13a.	Exterior door on south façade
Figure 13b.	Interior door on south facade
Figure 14.	Detail of rim lock
Figure 15a.	West door - exterior
Figure 15b.	West door – interior
Figure 16.	Detail of roof at south façade and front porch with layering of roofs
Figure 17a.	East wall of north section
Figure 17b.	North wall of bathroom section with plastic wall covering

¹ All contemporary photographs by Stevenson Architects, Inc. unless noted otherwise. Other sources of photographs as noted in the credits.

LIST OF FIGURES²

Figure 18a. Foundation system

Figure 18b. Foundation system

Figure 19. View of site, c. 1915 (Koreshan State Historic Site Archives, PH-000249)

² All contemporary photographs by Stevenson Architects, Inc. unless noted otherwise. Other sources of photographs as noted in the credits.

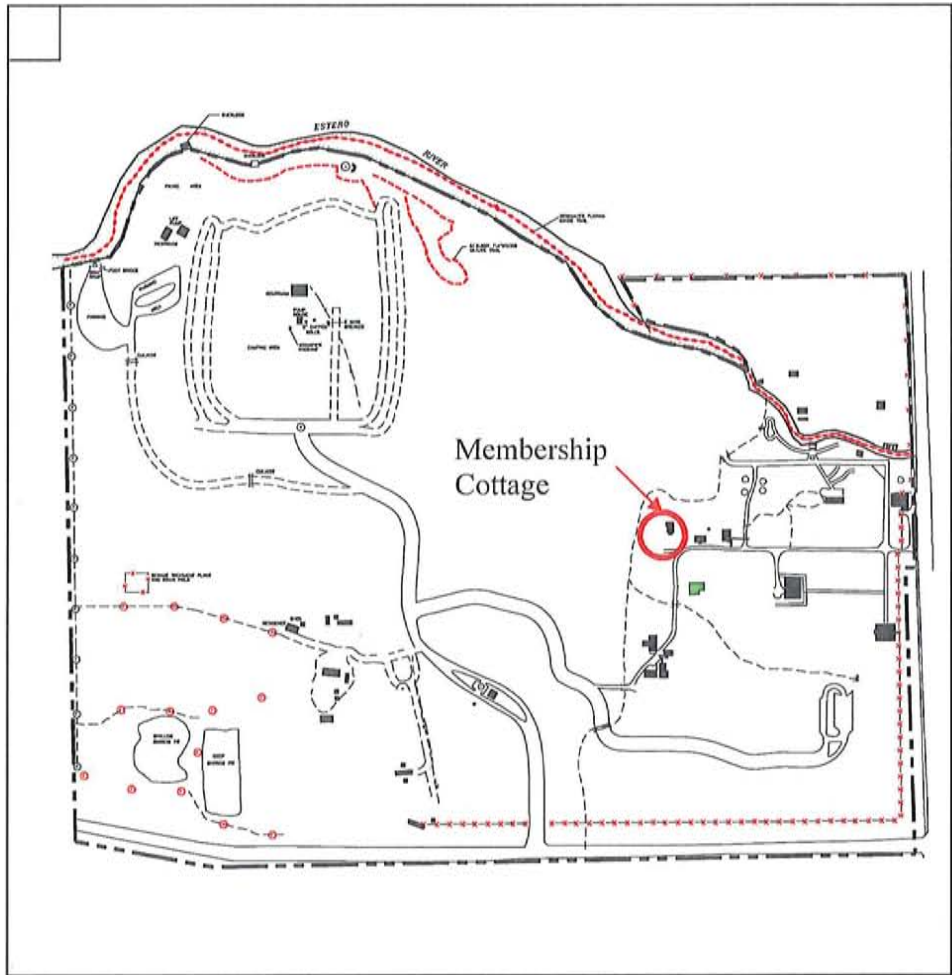


Figure 2 – Current Site Plan

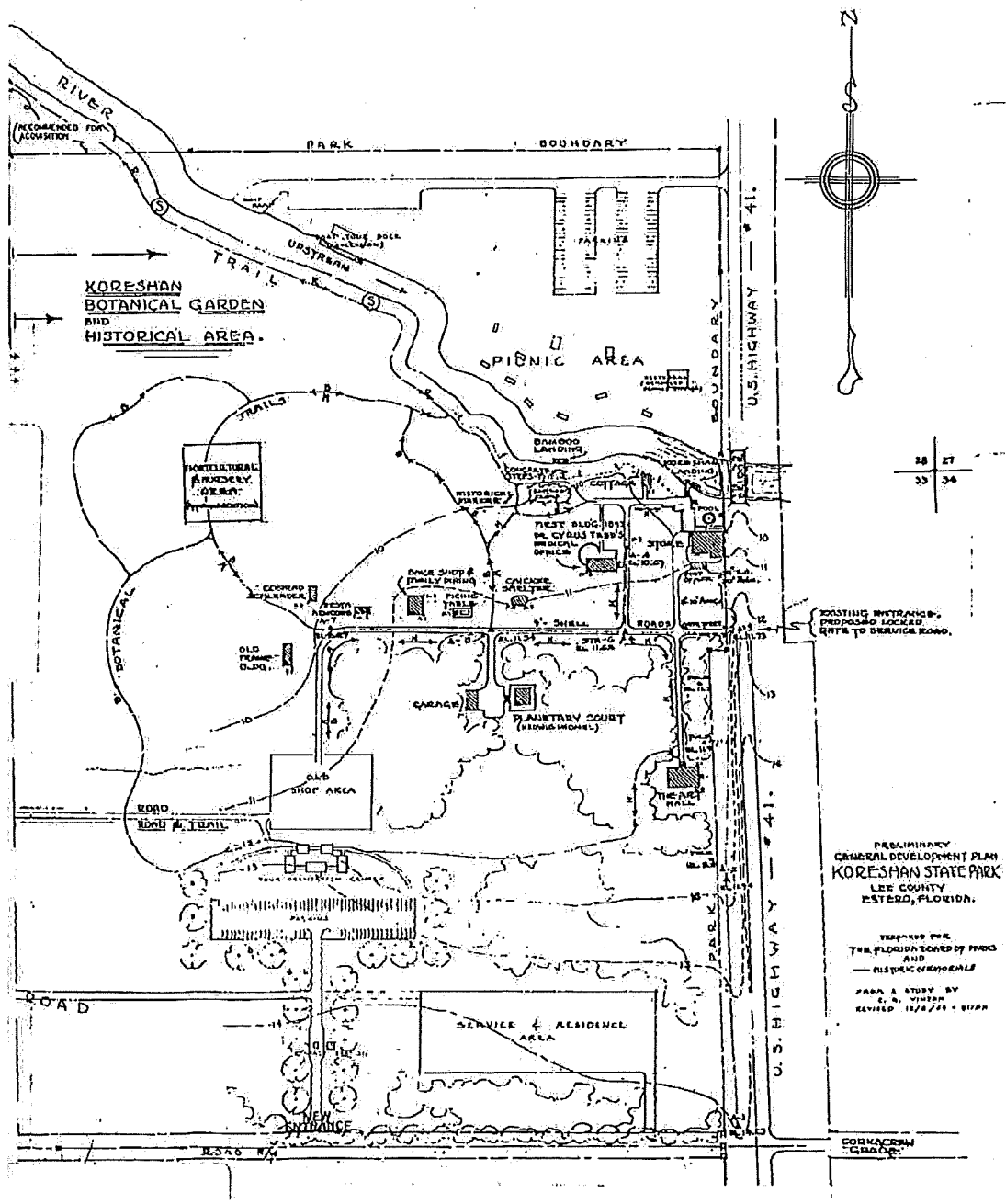


Figure 3 – Preliminary General Development Plan 1961

ACKNOWLEDGEMENTS

The Restoration Approach and Preservation Plan for the Membership Cottage at the Koreshan State Historic Site was a cooperative effort that benefited from the contributions of many individuals and organizations.

This project was financed by the Florida Department of Environmental Protection.

Mr. Robert Baker, Park Manager, made available the entire archival collections at the Site, as well as staff and volunteer assistance. Ms. Catherine Ohnemus, the Museum Curator and Mr. Michael Widner, the Site's Archives consultant, gave us valuable direction in researching the individuals and the structures.

We would like to thank Mr. Steve Martin, Cultural Resources Manager, Division of Recreation and Parks, Department of Environmental Protection, for technical information, guidance on management of this important cultural resource and coordination with other bureaus in the Department. Mr. David Ferro, architect of the Division of Historical Resources, provided valuable guidance on project philosophy and his extensive expertise on technical issues of preservation.

INTRODUCTION TO THE PROJECT

The goal of this project is to develop a Restoration Approach and Preservation Plan for the Membership Cottage, a historic building that is part of a unique complex of structures in the Koreshan State Historic Site, Estero, Florida.

The Koreshan State Historic Site is located at the northwest corner of U. S. 41 and Corkscrew Road in the unincorporated community of Estero in Lee County, Florida. The site is part of the Koreshan Unity Settlement Historic District that is listed on the National Register of Historic Places. The Membership Cottage building was used for housing members of the Koreshan Unity Settlement, a communal society that came to the area in the early 20th century.

The work included:

- ❖ historical research on the buildings and people of the Koreshan Unity
- ❖ documentation of existing architectural features
- ❖ analysis of the development of the building over time
- ❖ research of the missing architectural features to be restored
- ❖ design development drawings
- ❖ outline specifications
- ❖ preliminary probable cost of construction

The proposed restoration approach is described in Chapter IV of this report. The preservation plan is then developed from this restoration approach. The preservation plan identifies the existing architectural features to be preserved, the later additions and architectural elements that are to be removed, and the missing architectural elements to be restored. This plan is described in narrative and in graphic form in the design development drawings. The project budget is developed, based on this plan.

The basic guidelines for this work were established in three documents prepared prior to this report. The Master Plan (Koreshan Unity Settlement 1894-1977) was prepared in 1977 by G. M. Herbert and I. S. K. Reeves. An Update of the Master Plan was prepared in 1989, by the Abell-Garcia Partnership and a Unit Management Plan, prepared by the Department of Natural Resources was adopted by the State of Florida in 1991, and updated in 2000 and again in 2003. These documents established the general period of interpretation for the site ranging from its founding in 1894 to 1928.

I. HISTORY OF THE MEMBERSHIP COTTAGE BUILDING

The general history of the Koreshan Unity settlement can be found in Appendix A of this report. This section addresses the specific history and development of the building known as the “Membership Cottage”.

Early History of the Membership Cottage 1903 to 1910

After the “pioneer days of the settlement, and its incorporation as a legal entity in 1903:

“...the influx of members to Estero increased the population to more than 200. The arrival of so many people at one time overwhelmed the available housing and a “building boom” ensued”.¹

The date of construction of the Membership Cottage is uncertain. The cottage is located on the south side of the Estero River, west of the Bakery building and the Vesta Newcomb cottage. While the Newcomb Cottage was known to have been later brought to its current location on site from the area around Estero, there is evidence that at least part of a cottage, if not the structure known as the Membership Cottage, was originally set in this location.²

There was a cottage used for the “nursery”, and shown on the Master Plan of the site from the 1977 study. In Mary McReady’s account of her early life in the settlement she describes several of the cottages in this area of the community. She writes:

“the one directly between (big house and children’s) was built a little later, and in line with the children’s but to the south a little further was a one-story place in which three or four of the women had rooms. Still in line and further to the south was the laundry with connected machine shop.”³

1910 to 1920

In later years, the Membership Cottage was the home of Conrad Schlender, a long-time resident of the community. Mr. Schlender is listed in the 1910 census as a resident of the community. He was then 34 years old, born in Germany, unmarried and his occupation was listed as a Machinist (general machinist). He was also noted as being able to read and write.

¹ Rea, Sara Weber. *The Koreshan Story*. 1994. p. 44.

² Fryman, Mildred. Report entitled “Research Needs and Possibilities for Interpretation”, Division of Parks and Recreation. 1974.

³ McReady, Mary. *Memories, Memories, Days of Long Ago*. p. 57.

The 1920s

Conrad Schlender appears in the 1920 census. At 43, his occupation is listed as Dairyman at the Koreshan Unity Farms and his residence is listed as dwelling number 19 at “Garage Place”. There was a garage located to the west of the Planetary Court, this site may have referenced that location.

The 1930s

The Master Plan for the site, prepared in 1977, states that the cottage was moved to its current location in the 1930s. However, the basis for this statement is not explained in the report.⁴

The 1940s

The cottage had attained its general shape by this time. A photograph from the 1940s shows the gable end with shed porch, and a porch railing in place. The two rooms are connected by this point.

The 1960s and the State of Florida

The property was acquired by the State of Florida in 1961, when the Board of Directors of the Koreshan Unity, Inc. deeded 305 acres to the Florida Board of Parks and Historic Memorials. In 1972 the park was named the “Koreshan State Park”⁵.

The 1962 appraisal report refers to the Membership Cottage as the “Membership Building”. By this time, the roof was covered with corrugated metal. The house had electricity, running water, and it was noted that the 6’ x 7’ bathroom was “added recently.” The building condition was recorded as poor to fair. The exterior was grey in color and noted to be “in need of painting.”⁶

After the Florida Board of Parks and Historic Memorials acquired the site, a series of inspection reports were made for all of the extant buildings.

An inspection report dating from May 5, 1965 notes the necessary repair items for Building # 10 Mr. Slander’s (Schlender’s) Residence. “The building should be painted and completely reworked”.⁷ This item reappears on reports from August 30, 1966; October 13, 1966; December 29, 1967; May 17, 1968; up through 1970. By October 10,

⁴ *Koreshan Unity Settlement 1894 - 1977*, by Herbert/ Reeves, Winter Park, 1977. p. 110.

⁵ Rahn, Claude. *A Brief Outline of the Life of Dr. Cyrus R. Teed and of the Koreshan Unity*. Estero, Lee County, Florida. 1963. p. 73.

⁶ Colcord, Gordon. p. 64.

⁷ Inspection Reports, May 5, 1965. Koershan State Park. Log of Inspection Reports from 1965 through 1970.

1968, it was noted that the Cottage was used for storage. No improvements were noted for the Cottage through the available reports (up through 1970).

The 1970s and 1980s

In the 1977 Master Plan report, the authors indicate their belief that the structure was not originally located on this site, but that the structure is significant because it typifies a one member house in the settlement.⁸ However, the site plans that illustrate the development during various periods indicate the presence of a structure in this location since the 1903-1905 period.⁹ In this early period, the structure is labeled the “Nursery” and is described in Mary McCready’s account of life in the early days of the settlement. This structure remains on the 1906 to 1930 site plan.¹⁰ However, the photograph of the structure differs from the current building that now occupies the site in height and shape of the porch. On the 1931 to 1977 site plan, the structure has been given a new identifying number, but remains in the same location. The photograph of this structure corresponds to the current building.¹¹ The text indicates that the front porch had been partially rebuilt by this time and had led to the discovery of a small ground level water well below the porch location.¹²

Commentary in the 1989 Master Plan Update report implies that no work had been done on the structure since the 1977 study.¹³

The available Historic Site Record of Physical Changes forms from the 1985 to 1995 logs do not list any improvements to the Cottage during this period.¹⁴

The 1990s to 2004

Work records at the Cottage indicate minor work was done to the cistern cover and to the relocation of two concrete blocks, one early block was laid at the west side of the south porch.

A limited archaeological study was conducted in 2004. Important findings include the location of a wood support pier directly below the concrete block foundation of the southwest corner of the Cottage.¹⁵

⁸ Reeves, p. 110.

⁹ Ibid. , p. 71.

¹⁰ Ibid. p. 99.

¹¹ Ibid. pp. 109 - 110.

¹² Ibid. p. 110.

¹³ Jan Abell- Kenneth Garcia Partnership, *Master Plan Update for the Koreshan Unity Settlement*, 1989, pp.74-75.

¹⁴ Binder entitled “Historic Site Record of Changes”. KSHS Archives.

¹⁵ SouthArc, Inc. “Limited Archaeological Testing, Membership Cottage and Small Machine Shop. May 17, 2004, p. 19

ARCHITECTURAL EVOLUTION OF THE MEMBERSHIP COTTAGE

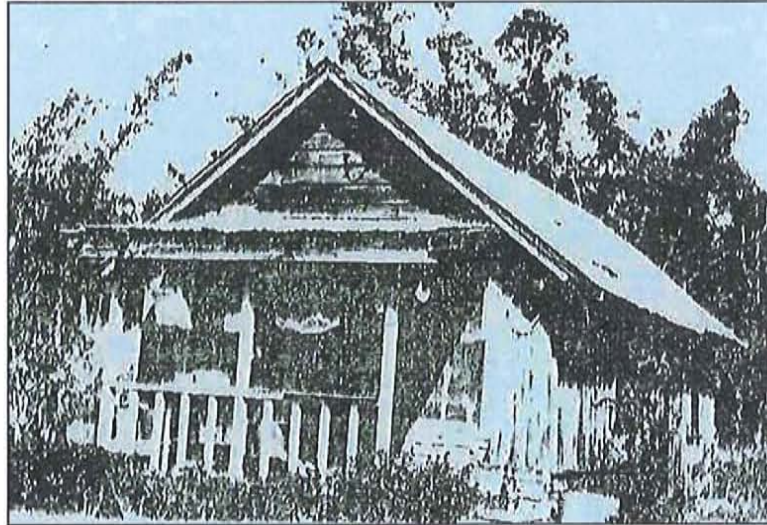
Massing and Form

The Membership Cottage was constructed as a simple rectangular wood frame one-story building with a “shot-gun” plan. The Cottage is an assembly of three distinct parts. It is apparent that the north and south sections were joined by 1940s and the Bathroom wing on the west side was added just prior to the 1962 appraisal report

PHOTOGRAPHIC RECORD OF THE MEMBERSHIP COTTAGE (Figure 4 a–b).

The Koreshan State Historic Site possesses an extensive collection of historical photographs. However, the Membership Cottage building appears in only a few images in the files. The photographs of the Membership Cottage were reviewed in chronological sequence to identify the major architectural changes to the building over time.

Narrative Summary of the photographs and supplementary information



Document: Photograph 4a

Date: c. 1940s

Source: Archives – Koreshan State Historic Site

Contents: Photograph of the Membership Cottage



Document: Photograph 4b

Date: 1961-2

Source: *Appraisal of Land Buildings and Improvements for Florida Board of Parks*, dated 03/08/62 - Colcord
Archives - Koreshan State Historic Site

Contents: Photograph of the South facade

II. ARCHITECTURAL ANALYSIS

Stylistic and character-defining features of the Membership Cottage

The Membership Cottage is important as an example of the modest dwellings used by the members of the Koreshan community. The “pioneer” quality of life in the settlement’s early years is reflected in the building’s simple architectural form and its structural features that are expressed as part of the building’s architectural ornamentation.

Massing and Form of the Building

The Membership Cottage is a small, one story wood frame building, with a gable roof that extends over the main sections of the structure. The building is an amalgamation of three separate structures. Over time, these structures were “cobbled” together to provide the resident with more comforts, as the community entered the modern era.

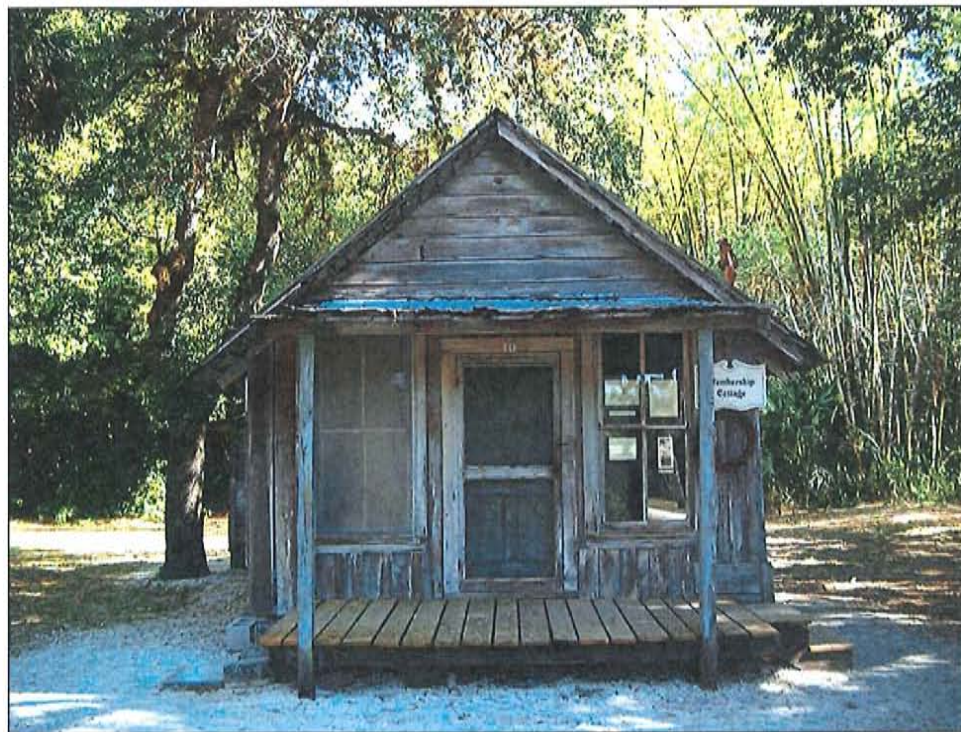


Figure #5 - South façade

Facade Composition

The south façade features a simple gable end structure with a front porch covered by a shallow sloping shed roof. The façade is symmetrical with a central door way flanked by a 2/2 double-hung sash window on each side. The façade material in the gable end above the porch roof is drop-lap horizontal siding, below the porch level the siding is vertical board and batten. The porch decking is pressure treated pine.¹

¹ This deck was replaced in 2000 according to work records at the Koreshan State Historic Site.

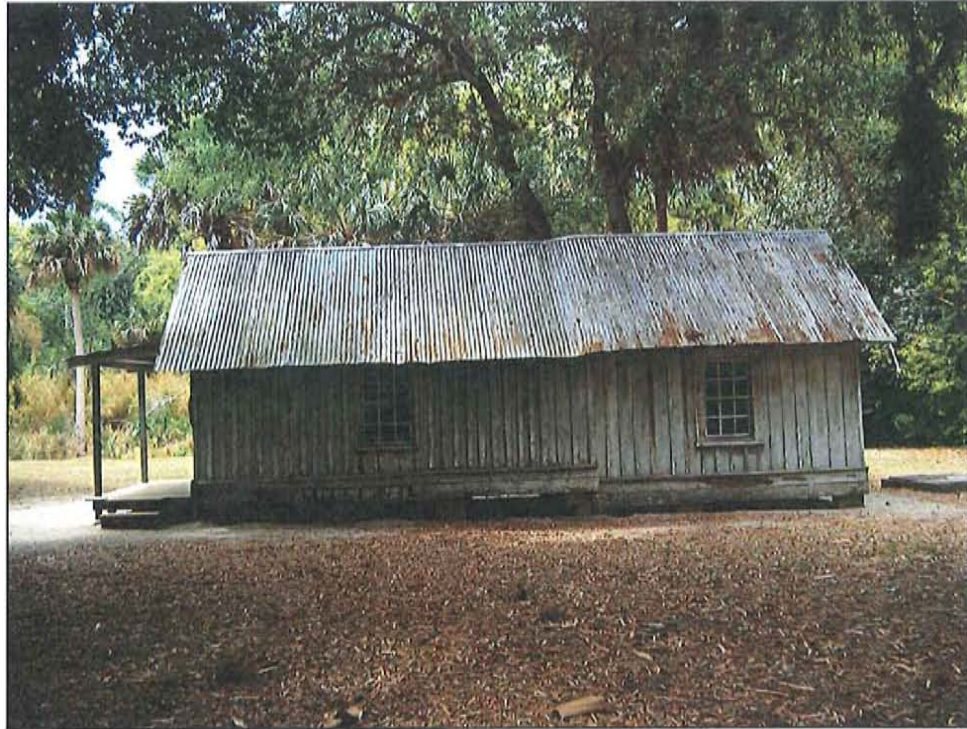


Figure #6 - East façade

The east façade clearly denotes the attachment of the two sections of the cottage (Figure 6). Each of the two rooms has one window on this façade, in this case, these are 6/6 sash. (Figure 7). The glazing compound in the sash is fairly new. Both sections of the structure are covered with vertical board and batten siding, but the batten spacing and thickness varies in each section. Additionally, the floor level change is accentuated by the band boards along the bottom of the wall. (Figure 8). There is also a water table created from a simple piece of wood molding that marks the floor line of each section.



Figure #7 – Window detail

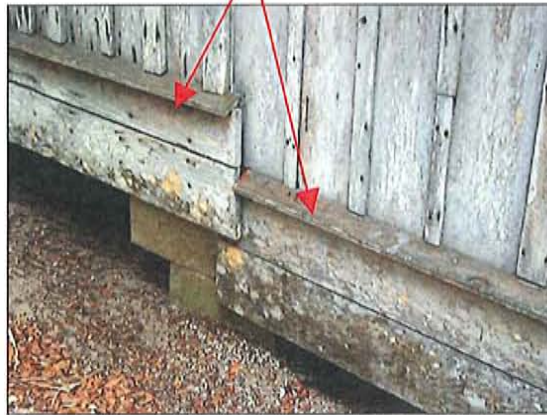


Figure #8 – East façade at floor level connection

The rhythm of the exposed rafter ends also varies slightly, in the south section, the rafters are about 30" on center, and at about 27" on center in the north section. The cottage is set on concrete piers.



Figure #9 – North façade with septic tank cap in the foreground

The north facade contains one 6/6 double-hung sash window and is clad in vertical board and batten siding. Similar to the east façade, the battens terminate at a water table and two band boards. A large section of the water table molding is missing. Directly above the window is a gable end vent. The bathroom wing with a shallow pitched shed roof was added on the west side. This section is clad with drop lap siding.

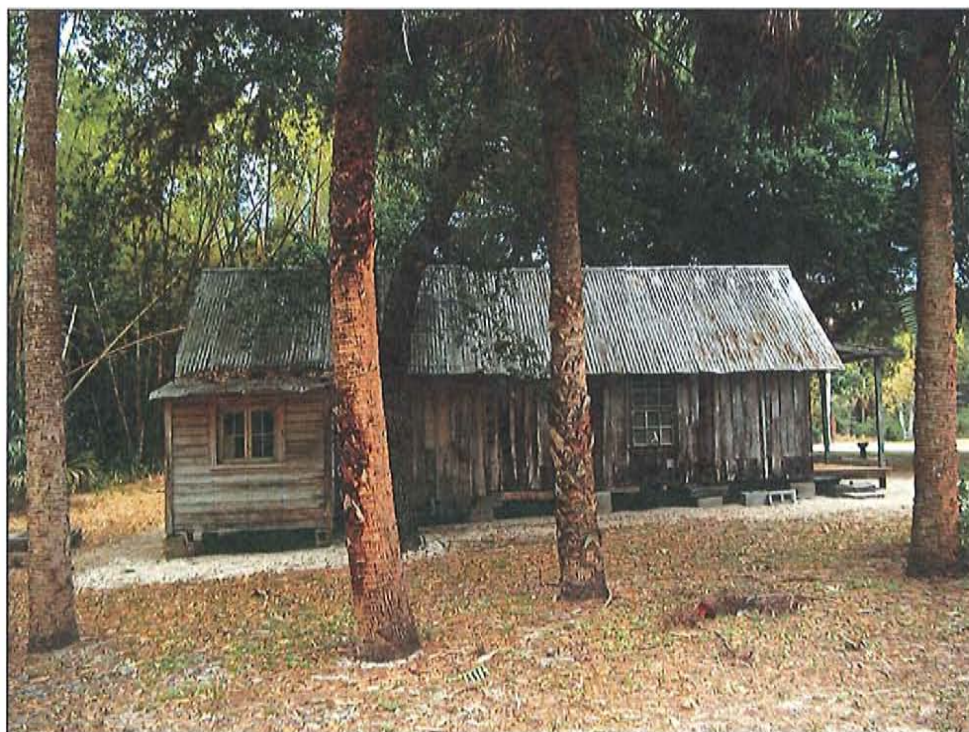


Figure #10 - West Façade

The west façade is composed of three sections, the bath room addition, the north wing and the south wing. The main section of the building contains a door and a 6/6 double hung window similar to the east façade.

The bathroom section has a pair of casement windows on the west side (see Figure 11) and a door on the south side.

EXISTING CONDITIONS:

Exterior: Siding: There are two types of siding on the building, vertical board and batten, (Figure 8) and horizontal drop lap siding. (Figure 11).

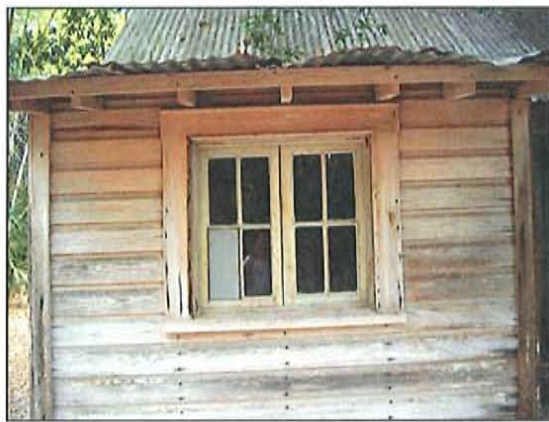


Figure #11 - Detail of siding and casement window

The siding still retains a weathered light grey paint coating in some areas. The west side of the main structure also has a later layer of peach color in certain places. (see Figure 12)



Figure #12 – Paint traces on west façade
south of the bathroom addition

Casings:

The window casings are typically wood square casings that were also painted, these are depicted in Figure 11.

Windows:

The majority of the panes still contain the original wavy glass, indicative of the traditional method of glass-making.

The window units are no longer operational. The sash have brass spring loaded pins that were drilled into the sash. Three holes were then drilled into the jamb casing to allow for various opening positions of the sash. The sash rails and stiles have some areas of separation, and require repairs. The glazing putty is fairly recent. (see figures 5, 7, 8, and 11).

Doors:

The south door is a 4 panel door with two flat panels above the middle stile and two below. The hardware appears old, there are ball tip hinges and a mortise lock in place. The screen door need repairs. (see Figures 13 and 14)



Figure #13a - Exterior on South façade



Figure #13b – Interior door on South facade



Figure #14 – Detail of rim lock



Figure #15a - West Door – Exterior



Figure #15b – West Door - Interior

The west door is also a 4 panel design. The exterior opening has been built down to hide the height of the door. The mortise lock is in place but the knobs are missing.

Roof Coverings:

The roof is currently covered with corrugated metal roofing that is seen on other structures on site. The roof is rusted in some areas. (See figures 5, 6, 9, 10, 11).

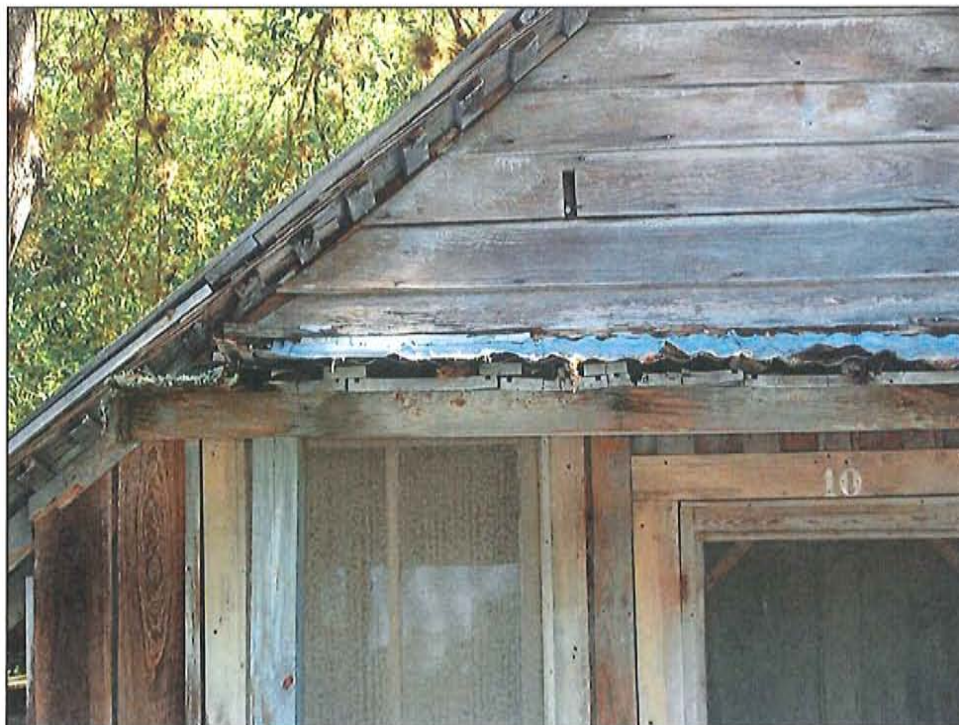


Figure #16 – Detail of roof at south façade and front porch with layering of roofs

The cottage had wood shingles as the original roof material. These shingles are still present under the metal covering. The shingles appear to be about 24" in length, with varying widths. The exposure is about 6". The shingles are very thin, and similar to shingles that were found on other structures built by the Koreshans. (The Boomer house and cottage across the river have similar shingles). The shingles were set on $\frac{3}{4}$ " x 3" skip sheathing boards spaced about 4" apart. On top of the layer of shingles is a layer of 1" x 6" deck boards used as the underlayment for the metal roofing.

Interior:

Floors:

The floors are tongue and groove pine, made up of approximately 3-1/4" wide boards. The south section flooring runs in the east west direction. The north section is approximately 12" lower and runs in the north-south direction. The flooring is in fair condition, there are some areas of damage, particularly in the north section of the building.

Wall and Ceiling Coverings:

The south section of the building has a layer of gypsum wallboard applied to a grid of furring strips nailed to the few vertical studs along the walls. The gypsum board panels follow the line of the rafters up to the collar ties and form a tray ceiling in this space.

The north section has homosote panels with wood batten strips applied to the west and south walls. The east wall has no interior wall covering and the wall framing members are exposed. See Figure 17a (See section on structural systems for further description).



Figure #17a East wall of north section



Figure #17b North wall of Bathroom section with plastic wall covering

The bathroom walls and ceilings are covered with homosote panels. The lower level of the north and east walls have lime green plastic panel wainscot that simulates tile, this was the likely location for a bathtub. See Figure 17b.

Interior woodwork:

The cottage contains minimal interior wood work, there is no wood wall base and the window casings and sill and apron are now painted.

Building systems

Structural Systems:

The structural framing members used for beams, rafters and wall studs were milled from the heart-wood of the local yellow long-leaf Pine. This traditional material is considerably stronger than the wood available today. A test report conducted in a

previous study shows the maximum stresses sustained by the sample beams to be in the range of two to three times the values used for today's Southern Yellow Pine.²

The foundation system consists of concrete block piers, some of the block is modern, there are a few remnants of older blocks, possibly manufactured by the Koreshans. (See XS-1).



Figure #18a - Foundation system



Figure #18b - Foundation system

A limited archaeological study was conducted in two areas at the cottage foundations. From this study, it appears that the original cottage rested on wood posts/piers, possibly cypress. As these decayed, concrete blocks were used as replacement supports.³ The Koreshans manufactured concrete blocks in the early years of the settlement. Contemporary block is present at most of the support locations. (See Foundation Plan on drawing XS1.01).

Wall system:

The structure has a minimal number of vertical studs, with much of the load transferred through the vertical siding boards. The studs generally measure 2" x 4" and are located in the corners and at the window openings in the north and south sections.

In the north section, a grid of horizontal and vertical furring strips has been applied to the interior batten covers to serve as the support for the gypsum wallboard panels. In the south section, the vertical studs are exposed to view on the north and east walls.

Floor framing:

Each of the three sections is framed in a different manner. See structural drawings. In the north section, the 1-1/2" x 7-1/2" joists run in the north south direction at about 24" on center, and span about 6' in length between the 4-1/2" x 11-1/2" floor beams.

² Reference the "Flexural and Shear Strength Load Tests of Timber Beam Sample", by Ardaman & Associates, dated March 6, 1996, contained in the report on the Planetary Court, by Stevenson Architects, Inc. dated June 1996. The Planetary Court was originally constructed in 1904-1905, of similar construction materials and methods.

³ Reference the report "Limited Archaeological Testing – Membership Cottage and Small Machine Shop", by SouthArc Inc. p. 17.

In the north section, the joists are 1-1/2" x 5-1/2" at about 24" on center and run in the east-west direction.

In the bathroom section, the 2" x 4" joists span 24" on center. The perimeter beams of this area are 4' x 4".

Roof framing:

The main roof rafters consist of rough sawn 2" x 4" rafters at approximately 30" on center in the south section of the building. The north section spacing is approximately 27" on center. The rafters above the bath section are spaced at 12" on center. The rafters are cut with a 2-1/2" bird mouth and rest on the perimeter top of wall beam, that is generally about 4" x 4".

The front porch rafters are 1-3/4" x 3-1/2" spaced at about 20" on center.

Mechanical system:

There was a plumbing system installed that supplied water to the bathroom on the west side of the cottage that was installed as part of the remodeling effort by 1962. There are no extant plumbing fixtures.

No heating or cooling systems were installed in the building. There is evidence of a free standing stove and pipe.

Several design elements were incorporated to promote cross-ventilation and natural cooling of the interior spaces. The operable windows were placed on at least two sides of every room. By elevating the structure on piers, breezes ventilated the underside of the structure.

Electrical system:

The building was electrified. The ground floor contains some outlets and electrical boxes for light fixtures.

Fire protection system

There are currently no fire protection systems installed in the building. A portable fire extinguisher is located on the west side of the building..

Adjacent Site Features

Septic tank:

The existing septic tank is located to the north of the structure, and the concrete cap is exposed.

IV. RESTORATION APPROACH & PRESERVATION PLAN

The Preservation Plan identifies the architecturally significant features of the building, evaluates their condition, and recommends a general restoration approach and specific conservation measures. Additionally, as project funding is typically available for portions of the project at certain times, a phased approach will be necessary. The Preservation Plan prioritizes the restoration and conservation work into logical phases.

This chapter will summarize the various requirements that need to be incorporated into the Preservation Plan, including:

- **Review of Previous Studies and Prior Recommendations**
- **Code and Regulatory Requirements**
- **Secretary of the Interior Standards for Restoration and Guidelines for Preserving and Restoring Historic Buildings**
- **Restoration Approach Summary**
- **Preservation Plan/ Specific Restoration And Conservation Measures**
- **Phasing Plan/ Prioritization Of Work**

Review of Previous Studies and Prior Recommendations

The Koreshan State Historic Site has had several studies and master plans developed since its creation in the 1960s. The first Master Plan was created in 1977, and subsequently updated in 1989. The recommendations from these earlier plans are summarized in this section.

Koreshan Unity Settlement 1894 – 1977

Herbert Reeves, 1977. (Master Plan)

Recommendations from this report included:

- Replace existing metal roof with wood shingles to match original construction.
- Replace concrete entry landing with wood construction. (This is noted as an incorrect entry as this building always had a wood porch.)
- Make necessary repairs to exterior and interior so structure can be utilized for public viewing and display.
- Replace partially reconstructed porch to match original construction, utilizing early photographs.
- Other recommendations included:

Structural repair immediately as well as securely anchoring the building to a stable foundation.

Restore and furnish this proto-typical house and open to the public.

Master Plan Update for the Koreshan Unity Settlement

Jan Abell Kenneth Garcia Partnership 1989.

In addition to the original 1977 Master Plan recommendations, this 1989 report addressed the following specific recommendations:

- Stabilization: Securely anchor building to foundation piers. Protect from possible water intrusion.
- Repair structure and flooring. Replace areas of deteriorated lumber and provide pressure treated lumber on structural members supporting the house on foundation piers.
- Caulk windows and replace any broken glass and make windows watertight.
- Provide electrical service to the building for eventual use for exhibition lighting.
- Restore the porch railing.
- Maintain the interesting ceiling line. (In south section of cottage).

The Department of Environmental Protection produces a Unit Management Plan for each site and this document is updated periodically. The most recent update was issued in 2003.

Unit Management Plan (Updated 2003)

Florida Department of Environmental Protection, 2003.

The general recommendations contained in this document are to:

- Meet all restoration recommendations and goals of restoration within the 1989 “Master Plan Update for the Koreshan Unity Settlement”.
- Restoration Period: 1894 - 1928 (confirms the recommendation of the 1989 “Master Plan Update”).

Membership cottage. 1903 – present, is the only remaining structure characteristic of several that were constructed as housing for residents of the settlement. The structure is of typical wood frame vernacular with vertical rough sawn wood siding, gabled ends, and formerly had a wood shingle roof. The roof was later replaced with the existing metal roof. Two steps lead to a small porch with an overhang at the front door; a former bathroom

remains as a side room on the west side.

The building is in poor condition and a formal historic structures report is needed for this structure, soon. The building is in an extremely deteriorated condition and placement of foundation piers is inadequate. Restoration will require most of the historical material to be replaced. The roof should be replaced with the original wood shingles. The building also needs to be provided with water and electric service to facilitate maintenance and to provide for fire alarm and security systems. Hurricane and termite protection need to be addressed as well.

The recommendations from these three documents will be addressed in the Preservation Plan that follows. In cases where the Preservation Plan recommendations differ from the earlier master plan recommendations, a detailed explanation will be given.

- **Code and Regulatory Requirements**

ADA - Americans with Disabilities Act & the Florida Accessibility Code

The building is owned by the State of Florida, and is on the National Register, thereby allowing for certain exemptions from regulatory requirements. These can be negotiated with the assistance of the State Historic Preservation Officer (SHPO), Bureau of Historic Preservation, Division of Historical Resources, Department of State.

Certain alternative minimum accessibility standards may be applied to historic buildings to protect the historic significance and character defining features of the structure. Examples of these standards are:

- Only one accessible route from a site access point to an accessible entrance must be provided.
- Only one accessible public entrance must be provided.
- Only the publicly used spaces on the level of accessible entrance must be accessible.
- Displays and written information should be located where visible by a seated person.

For example, historic programs, such as museum and display type features, could be experienced by visual or audio-visual programs in an accessible area, if providing access to the actual activity is too costly and damaging to the historic character of the facility.

The proposed preservation plan for the Membership Cottage addresses these issues as follows:

One accessible route to an accessible entrance: The most cost-effective solution for this issue is the addition of a wooden ramp on the east side of the structure to allow for access to the porch. The interpretation can be presented as a view through the front (south doorway), with the artifacts and furnishings depicting the daily life of a Member of the community.

One accessible public entrance must be provided: It is not necessary or desirable to allow for public access into the building. Hence access to the porch for viewing the interior is sufficient.

Parking: Accessible parking is provided on-site.

Rest rooms: Accessible restrooms are already provided in a central location on site.

Florida Building Code

Chapter 34 of the FBC addresses existing buildings and “special historic buildings”. The code provisions will not be mandatory if the building official considers the building to be safe and in the public interest of health, safety and welfare regarding proposed alterations, repairs, restoration, etc.

As some structural stabilization is necessary, the building will be reinforced as much as possible to meet the requirements of the 130+ mph wind loads as noted in Chapter 16, without compromising the historic integrity of the building’s appearance.

Exterior openings will be protected with wood structural panels as per FBC 2001, table 1606.2, requirements for 130+ mph.

Secretary of the Interior Standards for Restoration and Guidelines for Restoring Historic Buildings

This Preservation Plan is based on two principles. The first principle is the adherence to the Secretary of the Interior Standards treatment recommendations. Generally there are four types of treatments; preservation, rehabilitation, restoration and reconstruction.

“The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.”¹

Since the Membership Cottage reflects the continuous use of a cottage over time, including later alterations and additions, it is appropriate to use the standards for Preservation treatment.

The second principle is the decision to select long- term solutions to the building's preservation and stabilization needs, within the holistic context of the historic site. As several recommendations contained in this report affect the larger site, the phasing and implementation of these recommendations will need to be carefully orchestrated.

After researching the available documentation, conducting interviews for oral histories, recording the existing conditions of the building, and analyzing the "fit" between the vision and the facility as it now exists, the Preservation Plan was created.

¹ www2.cr.nps.gov/tps/standguide/overview/choose_treat.htm

Vital to the success of any preservation plan is a program for ongoing maintenance. It is important that regular inspections are conducted, and that timely maintenance is performed.

Restoration Approach Summary

Recommendations are described in this section and illustrated in the accompanying graphics for the proposed plan.

Period of restoration

The early period of occupation (1894 – 1905) is reflected in the interpretation of the Damkohler cottage. Since the provenance of the Membership Cottage is not clear, this report recommends preserving all of the pieces of the extant cottage. This structure can be interpreted as the development of a dwelling over time.

Building Use

After reviewing the building, program and history of the site, and conducting several meetings with representatives of the Koreshan Unity Alliance, the Department of Environmental Protection and the Division of Historical Resources, the primary use for the building for the interpretation of the daily life of a Member of the Koreshan community.

Preservation Plan/ Specific Restoration And Conservation Measures

This section provides recommendations on specific restoration and conservation measures and treatments for the project.

Site Work/ Landscaping:

- Treat the building and the surrounding area for termite protection.

Reconstruction of missing architectural features.

Exterior:

For restoration of the building materials, specific materials are described in the outline specifications.

Roof Coverings

- The roof should be restored with a new corrugated metal roof as depicted in the historic photograph: Figures 4a and 4b in Chapter 1.
- The original skip sheathing and old wood shingles will be retained in place. A new layer of roof deck boards at rafter overhangs and plywood sheathing should be installed over the main portion of the roof .
- This recommendation differs from previous Master plan recommendations, in that the period of interpretation will be expanded to encompass all of the extant building sections. The existing corrugated roof appears to match the photograph 4a, taken in the 1940s.

Wood Siding:

- Shore the structure before removing any of the siding. Remove the vertical board and batten siding in sections, label each piece as to location. Assess extent of damage. If damage is isolated to the lower ends of the boards, these can be rebuilt with wood epoxy, similar to treatments for deteriorated column bases. If damage is more extensive throughout the board, then consider replacement boards. These boards will need to be milled to match the existing in species (use salvaged heart pine for fabrication, see outline specifications for sources), size, thickness and profile. Strip the loose and poorly adhered paint using heat guns or chemical strippers. (Use care to not damage the siding). In some case reversing the siding face may be appropriate. Treat the siding with preservative and re-install. Siding will be painted to match the earliest paint color, (light grey).

A similar procedure should be followed for the horizontal lap siding on the bath section.

Casings:

- Carefully remove the casings and label each board as to location on each façade. Assess for approximate age of material and reuse as much material as possible. Where replacement pieces are needed, provide sections noted with specified materials and treat, as per siding noted above.

Windows:

- The window sash appear to have been treated. If the window sash is in good condition, carefully remove the window sash and inspect frames and replace damaged/rotted sections with matching elements. If sash has damage, repair sash, especially the lower rail on upper sash sections, with epoxy system to reinforce this weak point. Re-glaze the sash if needed, using the original, wavy glass. Treat all wood members with wood preservative.

Doors:

- The doors should be removed, damaged and rotted areas treated with epoxies or if larger repairs are needed, insert new pieces of treated wood, and painted.
- The west door opening has been altered on the exterior of the facade, remove the wood board that covers the top 12” of the door on the exterior and reframe the head of the exterior door frame.

Porch:

- Restore the porch railing
- Add a wood ramp to create access to the porch

Structure:

- The foundations need to be stabilized. The concrete piers should be rebuilt with filled cells and vertical reinforcing over new concrete footings. (This work will require proper archaeological monitoring).
- Provide proper shoring of walls, floor framing, and roof framing, and protection of interior surfaces prior to commencing work.
- After removal of the siding, inspect the studs, floor beams, and joists. Replace damaged, rotted members with new pressure treated Southern Yellow Pine framing. Strap the beams to the new piers.
- Reinforce the roof rafters as needed.
- Tie rafters to top wall plate with galvanized clips. See structural drawings for connector schedule.

Interior:Wood Floors:

- Make repairs to the floor as required. Repair holes with pine flooring matching the existing floors in thickness, profile and size.

Wall surfaces:

- Gypsum board walls and ceiling in the south section. Repair holes and damaged areas. Finish to match existing material in composition, texture and finish.
- Homosote boards in north section. Leave as is and paint.
- Homosote and plastic paneling in the bath area. This wing has suffered a lot of water damage, remove the finishes as this wing will not be visible for interpretation of the cottage.

Original interior woodwork:

- Minor repairs to the joints of the woodwork as required, paint.

Building systems

Electrical:

- Provide exterior lighting with indirect sources in the landscape. (As part of an overall site lighting plan).
- Provide new underground service and convenience outlets for service.

Plumbing:

The plumbing system will not be restored. A future interpretation will allow for placement of bath fixtures appropriate to the period.

Fire Protection:

- Maintain one portable fire extinguishers.
- Add fire alarm system. Tie to Bakery panel if practical.

This work summarizes the Restoration Approach for the Membership Cottage. Please refer to the Proposed Work drawings and Outline Specifications for further definitions of this work.

Phasing Plan/ Prioritization of Work

- 1 - Structural stabilization, including stabilization of the exterior walls, replacement of the rotted sections of framing and insertion of hurricane ties and straps. This will entail the removal of the exterior siding, repairs and replacement to the wood structural framing members. Repair and install the siding and exterior trim boards. New foundation and regrading under the building.
- 2 - Completion of exterior restoration: Roof coverings, windows, doors, exterior paint.

3 – Installation of electrical system.

4 - Interior restoration of areas to be interpreted.

5 - Site work, including the construction of the ramp and site lighting.

EXISTING CONDITIONS DRAWINGS

Please see the following sheets containing the 11" x 17" Existing Conditions Drawings.

- T-1 Title Sheet
- T-2 Drawing Symbols and Wall Types
- XSP-1 Existing Overall Site Plan & State Map
- XSP-2 Existing Immediate Site Plan & Detail
- XA-1 Existing First Floor Plan & Finish Schedule
- XA-2 Existing Second Floor Plan & Finish Schedule
- XA-3 Existing Plan Details
- XA-4 Existing Interior Stair Plan & Details
- XA-5 Existing Interior Stair Details
- XA-6 Existing Elevations
- XA-7 Existing Building Section AA
- XA-8 Existing Building Section BB
- XA-9 Existing Typical Wall Sections
- XA-10 Existing Door Schedules and Elevations
- XA-11 Existing Window Schedules & Details
- XA-12 Existing Interior Finish Plans

- XS-1 Existing Foundation Plan
- XS-2 Existing First Floor Wall Framing Plan & Second Floor Framing Plan
- XS-3 Existing Second Floor Wall Framing Plan and Reflected Ceiling Framing Plan
- XS-4 Existing Roof Framing Plan

- XE-1 Existing Electrical First Floor & Second Floor Plan
- XE-2 Existing Electrical Attic Plan, Legend & Details

VI. OUTLINE SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 01010 SUMMARY OF WORK

Part I - General

1. Project Description: Restoration of a one story wood frame historic building, Restoration period 1903 - 1928 as established in the Unit Management Plan, 1991, updated 2000 and 2003 and the Master Plan Update, 1989, and this Preservation Plan's recommendation of a period from 1903 continuous through the 1940s.
2. Work includes:
 - a. Removal of later interior finishes and fixtures as noted.
 - b. Reinforcement of existing building footings, add new concrete footings and framing work.
 - c. Rough carpentry - stabilization of existing frame studs in walls, floor framing, ceiling and roof rafter support.
 - d. Finish carpentry, repairs to siding, windows, doors, and restoration of historic woodwork.
 - e. Restoration of corrugated metal roof system.
 - f. Interior restoration of walls and ceilings, restoration of wood floors.
 - g. New electrical system for convenience outlets.
3. Standards
 - a. All work shall comply with *The Secretary of the Interior's Standards and Guidelines for Preserving and Restoring Historic Buildings*.

SECTION 01340 SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

Part I - General

Samples and full- size mock-ups are required by various specifications sections and are required for this type of work.

Part II - Products - Not used

Part III - Execution - Not used

DIVISION 2 - SITEWORK

SECTION 02070 SELECTIVE DEMOLITION

Part I - General

1. Work included:
 - a. Removal and re-installation of wood siding to facilitate structural repairs.
2. Salvage materials removed from building. Salvage all lumber removed as part of work for re- use where possible.

Part II - Products - Not usedPart III - Execution - Not used**DIVISION 3 - CONCRETE**

SECTION 03310 - CONCRETE

Part I - General

1. Work included:
 - a. New footings as indicated on plans
2. Quality Assurance
 - a. ACI 301 "Specifications for Structural Concrete"
 - b. ACI 318 "Building Code Requirements for Reinforced Concrete"
3. Testing:
 - a. Comply with ASTM C 172
 - b. ASTM C 31 - Compressive Strength Tests

Part II - Products

1. Concrete Materials
 - a. Portland Cement - ASTM C 150, Type I
 - b. Fly Ash - ASTM C 618, Type C or F
 - c. Aggregates - ASTM C 33, single source
 - d. Water - potable
 - e. Water reducing admixtures - ASTM C 494
2. Related Materials
 - a. Polyethylene sheet - 6 mils
3. Proportioning and Design of Mixes
 - a. 3000 psi 28- day compressive strength: W/C ration, 0.58 max. (0.46 for air-entrained)
 - b. Slump limits - 3" - 5"

Part III - Execution

1. Placement of Reinforcement for Foundation work.

- a. Clean reinforcement of loose rust and mill scale, earth and other deleterious materials.
 - b. Accurately position, support and secure reinforcement with metal chairs, spacers and hangers.
2. Comply with ACI 304 "Recommended practice for measuring, mixing, transporting and placing concrete".

DIVISION 4 - MASONRY

Section 04810 CONCRETE MASONRY UNITS

Part I – General

1. Work included: New or reconstructed piers at foundations

Part II – Products

1. Concrete Masonry Units: Meet ASTM C 90; Normal Weight units
2. Mortar: ASTM C270, type S mortar for work below grade, in contact with earth or reinforced masonry.
3. Grout: site mixed Portland cement; ASTM C 476.
4. Reinforcing and other metal accessories for anchoring unit masonry together.

Part III – Execution

1. Construct new piers as indicated on structural drawings

DIVISION 5 - METALS - not used

DIVISION 6 - CARPENTRY

SECTION 06100 ROUGH CARPENTRY

Part I - General

1. Work included:
 - a. Framing lumber and reinforcement
 - b. Timber for posts
 - c. Wood grounds, nailers and blocking
 - d. Roof Sheathing
 - e. Hurricane anchors, straps and tie-downs.
2. Product Handling
 - a. Protect against exposure to weather and contact with damp or wet surfaces
 - b. Stick between materials for air circulation and supply temporary coverings

3. Project Conditions
 - a. Fit carpentry to work, scribe and cope as required for accurate fit
 - b. Correlate location of blocking, furring and nailers as required for attachment of other work.

Part II - Products

1. Lumber
 - a. Dimension Lumber - PS 20 "American Softwood Lumber Standard".
 - b. Concealed structural lumber: Southern Yellow Pine #2, pressure treated. See note below on method.
 - c. Exposed structural lumber: R/S southern yellow pine Select structural
 - d. Sheathing replacement: exposed to view: R/S southern yellow pine, p. t. for replacement of damaged roof sheathing boards where exposed to view.
2. Fasteners: hot- dip galvanized zinc coating where rough carpentry is exposed to weather, in ground contact, in preservative treated lumber.
3. Pressure treatment of wood
 - a. For all exterior wood, after treatment, kiln dry lumber and plywood to a maximum moisture content of 15%.
 - b. Use only FDEP approved methods and materials for chemical treatments of the wood. ACQ method.
2. Hurricane anchors: Koppers concealed anchors, Simpson or equal. Select anchor designs that are concealed from view.

Part III - Execution

1. Reinforce framing as noted on drawings.

SECTION 06200 FINISH CARPENTRY

Part I - General

1. Work included:
 - a. Lap siding
 - b. Casings for windows and doors
 - c. Wood floor restoration
 - d. Window restoration
 - e. Door restoration
 - f. Interior trim restoration

Part II - Products

1. Siding: Replacement material where needed.

- a. Species: Select Heart Pine Goodwin Lumber. River Recovered Select Heart Pine (for clear or stained finish).
 - b. Size: Match existing original siding.
 - c. Finish: Surface one face, dress both edges.
 - d. Fasteners: Stainless steel nails.
2. Running and Standing Trim: Casings
- a. Species: Select Heart Pine.
 - b. Size: To match sizes and profiles of existing trim and casings.
3. Flooring replacement where indicated: Antique Longleaf Pine Flooring - alternate: Heart Pine - B & better heart edge- grain, milled to match original tongue and groove flooring.
4. Repairs to Doors and Windows: Heart Pine - B & better

Part III - Execution

1. Window restoration – Where sash is deteriorated.
 - a. Remove sash from frame.
 - b. Remove existing, where deteriorated, glazing compound - save glass.
 - c. Make sash operable.
 - d. Replace damaged rotted sections.
 - e. Repair the mortise and tenon joints in sash where the sash is separating, epoxy repair to strengthen joints. Window Care system, two-part epoxy used with epoxy primer, or equal.
 - f. Strip frames, inspect, replace damaged, rotted sections. Re-paint frames and sash, install weatherstripping in concealed locations.
 - g. Reglaze as needed with original material and replace windows in frame.
2. Door restoration/ replacement
 - a. Lightly sand doors.
 - b. Where necessary, create replica doors as shown on drawings.
 - c. Replace all wood thresholds.
 - d. Make repairs.
 - e. Paint and seal.
3. Interior Woodwork
 - a. Inspect condition of the wood. Replace damaged sections that cannot be repaired with epoxy with antique heart pine, milled to match the existing molding profiles.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

SECTION 07450 METAL ROOFING

Part I - General

1. Work included: All roofs

Part II - Products

1. Corrugated hot dip galvanized metal roofing, 24 ga.
2. Fasteners: hot dip galvanized lead head metal roofing nails.

Part III - Execution

1. Install metal roof straight and in line with leading edge of building, no bias application of materials.
2. Seal around all protrusions with plastic cement.

DIVISION 8 - DOORS & HARWARE

(Note: doors and windows supplied under section 06200 - Finish Carpentry)

SECTION 08710 HARDWARE

Part I - General

1. Provide appropriate hardware for the 3 exterior doors, clean and repair hinges and mortise lockset with knobs and interior doors (provide door knobs).

Part II - Products - Not UsedPart III - Execution:

1. Install new hardware on new doors.

DIVISION 9 - FINISHES

SECTION 09250 GYPSUM DRYWALL

Part I - General

1. Work included:
 - a. Repairs to gypsum board walls and ceiling area.
2. Quality Assurance:
 - a. Store materials inside and under cover.

Part II - Products

1. ASTM C 36, regular, tapered edges
2. Joint treatment: tape and compound
3. Fasteners: screws: ASTM C 646, nails ASTM C 514

Part III - Execution:

1. Install panels with minimum number of end butt joints, avoid end joints in the center of ceilings.
2. Prepare surfaces for painting as noted in Finish Schedule

SECTION 09900 PAINTING

Part I - General:

1. Store paint materials in protected location.
2. Brush apply all coatings.
3. Match color from first application.

Part II - Products

1. Paint system: Sherwin Williams or equal: wood
 - a. Primer: A-100, Exterior Oil Wood Primer
 - b. Topcoat: 2 coats Exterior Gloss Oil Base Paint, gloss finish on trim, windows, doors and brackets.

Part III - Execution

1. Verify substrate conditions are ready for painting
2. Measure moisture content of surfaces: maximum for plaster: 12 %.
3. Wood siding and trim: brush apply paint.

DIVISION 10 – SPECIALTIES

SECTION 10900 - HURRICANE BARRIERS

Part I - General

1. Work included:
 - a. Hurricane Barrier system and fasteners

Part II - Products:

1. Plywood panels in accordance with FBC 1606.2.

Part III - Execution:

1. Installation to meet all applicable codes.

DIVISION 11 - EQUIPMENT - Not Used

DIVISION 12 - FURNISHINGS - Not used

DIVISION 13 - SPECIAL CONSTRUCTION - Not used

DIVISION 14 - CONVEYING SYSTEMS – Not Used

DIVISION 15 MECHANICAL – Not Used

DIVISION 16 ELECTRICAL --
SECTION 16000 ELECTRICAL

Part I - General

1. Work included:
 - a. New outlets and wiring where noted
 - b. Site lighting adjacent to the building
 - c. Relocate the meter and disconnect to the north side

2. Codes and Standards
 - a. National Electrical Code
 - b. National Bureau of Fire Underwriters
 - c. Applicable State Codes
 - d. Regulations of serving utility company

Part II - Products

1. Conduit
 - a. galvanized rigid conduit for exposed exterior wiring
 - b. Schedule 40 pvc - underground and non-exposed exterior wiring
2. Wiring devices: comply with NEC, UL, ILEE, NEMA
3. Light fixtures:
 - a. Exterior lighting: site lighting in landscape to illuminate the building at night.

Part III - Execution

1. Install electrical system elements
2. Test system after completion of work, as prescribed by Engineer and in accordance with N.E.C. recommendations.

Probable Cost of Construction - Membership Cottage @ Koreshan State Historic Site			
	Item	Stabilization and Restoration	
Division 01 - General Conditions	Equipment	500	
	General Conditions (assume 2 months constr).	9,000	
	Permit impact tests not included	-	
Division 02 - Site	Shoring/ Stabilization	438	
	Selective Demolition	3,923	
	Excavation for footings	635	
Division 03 - Concrete	New Foundations	110	
Division 04 - Masonry	New piers	1,760	
Division 05 - Metals			
Division 06 - Woods	Rough Carpentry - structural wall repairs, floor, attic & roof framing	8,424	
	Finish Carpentry, including door and window restoration	11,770	
Division 07 - Thermal and Moisture Protection	Metal Roofing	9,832	
	Sealants	400	
Division 08 - Doors and Windows	Hardware restoration	4,800	
	Glazing	200	
Division 09 - Finishes	Gyp. Bd. Walls/ repairs	1,800	
	Wood Floor Restoration	2,160	
	Painting - Interior	1,680	
	Painting/ Sealants - Exterior	2,880	
Division 10 - Specialties	Not Used		
Division 11 - Equipment	Not Used		
Division 12 - Furnishings	Not Used		
Division 13 - Special	Not Used		
Division 14 - Elevator/Lift	Not Used		
Division 15 - Mechanical	Not Used		

Division 16 - Electrical				
	Fixtures/Devices	400		
	Elec. Service/ Panel	1,300		
	Fire alarm system	500		
	Subtotal	62,512		
	O & P (10%)	6,251		
	Contingency (10%)	6,251		
	Subtotal Construction for Stabilization/ Restoration	75,014		
SUBTOTAL				
TOTAL	CONSTRUCTION BUDGET		75,014	
Other Costs	Project Expenses			
	Archaeological Fees- Investigation	2,500		
	Architectural and Engineering Fees (7.5% Subtotal)	4,501		
	Hazardous Material Abatement/ Allowance	600		
	Bonds (1%)	750		
	Subtotal Other Expenses	8,351		
	Total Project Budget		83,365	

APPENDIX A. HISTORY OF THE KORESHAN UNITY SETTLEMENT

The Estero Colony & the New Jerusalem

Located on the southern bank of the winding Estero River are the grounds of the settlement known as the “New Jerusalem”.¹ Now a state park and designated historic site, the story of this property is a unique chapter in Florida history.

The property now known as the Koreshan State Historic Site was first acquired from the United States government by a German settler, Gustav G. Damkohler. A native of Berlin, Damkohler came to the United States by way of Australia. He settled in Missouri, married and had several children.

The Homestead Act of 1862 promised settlers 160 acres of land in Florida, for establishing a homestead. Damkohler pursued this opportunity and later purchased another 160 acres. Locating his property with the assistance of the surveyor, Singletary, on April 8th, 1882, he established his homestead. Two days later his family arrived.² After the discovery of a “nice spring of good flowing water on the south side of Estero Creek”³, the family set up their lodgings on the south bank.

The first permanent structure was constructed from native materials, pine for the framing and siding, and palmetto fronds for the roof covering. The property was slowly cleared and Damkohler began planting rare and unusual ornamental plants that he acquired from a friend in Australia.⁴ The eucalyptus trees that grow on site today are part of this legacy.

In early 1894, Damkohler met with representatives of the Koreshan Unity. Included in this group was the Unity’s founder, Dr. Cyrus Teed, and several of his followers.⁵ Dr. Teed had founded a new community based on alternative religious and scientific principles. He was searching for a site for his vision of the ideal city, the “new Jerusalem”. A persuasive and messianic figure, Teed convinced Damkohler to deed over his holdings in exchange for a lifelong position in the new community and educational opportunity for his remaining son.⁶ Damkohler stayed on to manage agricultural production until 1894 and bee-keeping at the Unity settlement, until his departure in 1908.⁷

¹ Mackle, Jr., Elliot J. *The Koreshan Unity in Florida 1894-1910*. Master’s Thesis. Coral Gables, 1971. P.29. Damkohler, E.E. *Memoirs of the First Settler*. Fort Myers Beach, 1967, p. 25.

² Damkohler, E.E., p. 4.

³ *Ibid.*, p. 5.

⁴ *Ibid.*, p. 18.

⁵ *Ibid.*, p. 22.

⁶ *Ibid.*, p. 23.

⁷ *Ibid.*, p. 30.

The land thus acquired, Teed, accompanied by Mrs. Anne Ordway, Mrs. L. M. Boomer and Mary Mills, moved into the cottage and began preparations for the establishment of a new colony of Teed's organization, the Koreshan Unity.

The Koreshan Unity

Dr. Teed founded a new philosophy called Koreshanity. The name is derived from the Persian word for his given name, Cyrus.⁸ He established a new community, organized as a communistic society. Two communities existed at the turn of the century, one in Chicago, and one newly established in Estero, Florida. In the publication, "*What is Koreshanity?*" the basis for the philosophical movement is outlined.

"Koreshanity is the new Religio- Science, proceeding from Christianity as its fruit.....

The early church was communistic.....

Koreshanity is developing organic communism in the practical formation of communistic groups, the central group being at the present time in Estero, Florida."⁹

The community was organized with several different "orders". The highest order, the "Ecclesia", promoted celibacy, hence men and women lived separately. The investigative order was a transitional order for those considering full membership in the Unity. A marital order was established for those who wishes to live in a family unit.¹⁰

Women were given a significant role in the management of the community. This emphasis on the rights of women attracted many women to Teed's group, "often women who were frustrated with marriage".¹¹ As noted in the Fort Myers Press of 1894, the Koreshans were

" intellectual and refined people, students of human ethics with a sincere desire to better the conditions of those worse off than themselves." ¹²

The Estero colony was intended to be the foundation for the New Jerusalem of Teed's vision. Conceived as an earthly paradise, the settlement was an oasis carved out of the tropical wilderness.¹³

The Koreshan Tropical Gardens were illustrated in the 1902 settlement plan. 1902 was a growth year for the community's population. Members of the Unity settlement in Chicago arrived in Florida to begin preparation for relocation of the entire group of followers to

⁸ Hinds, William Alfred. American Communities and Cooperative Colonies, Philadelphia, Pa. 1975. p. 471.

⁹ Koresh, What is Koreshanity?, Guiding Star Publishing Company, Estero, Florida.

¹⁰ "The Koreshan Unity" Fort Myers Press, Nov. 29, 1894,,p. 10. Hinds, p. 474.

¹¹ Robert Lynn Rainard, In the Name of Humanity - The Koreshan Unity, Thesis, December, 1974, p. 14.

¹² Fort Myers Press, April 26, 1894, p. 4.

¹³ Lombard & Nardi, "The Role of Landscape and Master Plan In the Cultural Heritage of the Unity Settlement." Miami, 1991. p. 5.

Estero. This move was accomplished in 1903.¹⁴ Publication of the Unity's weekly magazine, The Flaming Sword, was suspended from November 1903 to June 1904, as the publishing house and printing presses were moved to Estero.¹⁵

The town of Estero was incorporated in 1904, and contained 110 square miles, (82 square miles was dry land), with the town boundaries conforming to the plans for the New Jerusalem. Koreshan holdings comprised about 7,500 acres.¹⁶

Buildings and Site

The first buildings were constructed from indigenous materials. Written accounts describe the use of cypress logs for structural framing and walls, and palm thatched roofs. Flooring lumber was ordered off-site and brought up the river by boat. The Dining Hall building, dating from 1895, was built from "peeled cypress logs and poles, the roof and sides shingled with shakes hand split in the swamps."¹⁷

The first saw mill was bought by Dr. Teed in 1894 and set up on Estero Island. After a devastating fire in 1896, a second saw mill was set up in 1900, at the south end of Estero Island.¹⁸ A later sawmill was located at the headwaters of the Estero River.¹⁹

"It was equipped with planing and shingle- making machinery with a machine shop and a boatways nearby."²⁰

The sawmill produced abundant finished lumber products that supplied lumber, siding and sawn products for sale outside the community as well as for the use of the Koreshans.²¹ It was dismantled in 1935, due to "lack of manpower to procure timber and operate it".²²

¹⁴ Rainard, p. 38.

¹⁵ The Flaming Sword, last issue of October 16, 1903 announces the move to Estero, and resumes publication June 14, 1904.

¹⁶ Mackle, p. 73. Hind. American Communities, p. 472.

¹⁷ Andrews, p. 10.

¹⁸ Ibid., p. 34.

¹⁹ Ibid., p. 39.

²⁰ Claude Rahn, A Brief Outline of the Life of Dr. Cyrus R. Teed (Koresh) and of the Koreshan Unity. Estero, 1962, p. 55.

²¹ "History of the Koreshan Unity." The American Eagle, April 10, 1941, Vol. 38, No. 50, pp. 1, 4.

²² "Community Current Events, The Flaming Sword, February, 1935.

Golden Years

1904 - 1907

Set in a beautiful, tropical garden, the community had achieved its mature form ten years after the initial settlement. The population at its peak was about 200 people.²³

The formal axes of the main paths linked the major buildings. These buildings were constructed from lumber cut in the saw mill, using the indigenous pine. The buildings contained little exterior ornament, and were functionally designed. Yet the proportions and formalism inherent in the basic building forms reflected the refined tastes of the transplanted northern residents.

A concrete works was established by 1905, and produced concrete blocks and cast stone.²⁴

1908 - 1928

The Golden Years ended with the death of Dr. Teed in 1908. The community continued for several more decades, but gradually declined. Anne Ordway left the community in 1909, and James Bubbett became president of the Unity board. He was succeeded by George Hunt, who served from 1924 to 1929. Allen Andrews, editor of the American Eagle then took over as board president.

A generator plant was supplying electricity to the settlement during the 1920s.²⁵ The Unity undertook a site lighting project that was damaged in the 1926 hurricane. By this date, many structures on the site were electrified.²⁶

By 1928, the community had been “declining in membership and today has only about 60 members”.²⁷ Out of this number, fully two-thirds of the members were near or over 70 years of age.²⁸

1929 - 1961

Gradually the activities at the Koreshan Unity were winding down. Many of the original members had died by the late 1930s, and most of the young people left the settlement to make their lives elsewhere.²⁹

²³ Hinds, p. 475.

²⁴ Herbert, Reeves. Koreshan Unity Settlement. 1894-1977. P. 70-71.

²⁵ Reeves, p. 100.

²⁶ “Community Current Events” , The Flaming Sword, July 1925,

²⁷ Berrey, Richard S. The Koreshan Unity: an economic history of a communistic experiment in Florida, Gainesville, Florida, 1928., p. 42.

²⁸ *Ibid.*, p. 62.

In 1941, a German immigrant named Hedwig Michel arrived in Estero.³⁰ She exerted a strong influence on the management of the Unity and gradually took over management of the Board of Directors. The son of James and Evelyn Bubbett, Laurence, succeeded Andrews as President, in 1948, until his death in 1960. In 1952, the Board initially considered the idea to offer the land and holdings of the Unity to the State of Florida for park land. After Laurence Bubbett's death in 1960, Michel offered to donate the land to the State. The offer was accepted in 1961.³¹ The appraisal report for the property valued the Unity site at \$140,000, with an additional \$2000 for the Post Office.³²

The site has been converted into a unique state park, with the added feature of a pioneer community site, in addition to the beautiful grounds and natural features. Restoration of the community has been the subject of several studies, and a Master Plan was developed for the property in 1977.³³ This plan has been subsequently updated in 1989, and a Unit Management Plan was formally adopted by the State of Florida in 1991.³⁴

Hurricanes:

Hurricanes were recorded during the following years, and the damage caused was recorded in local publications. Severe storms occurred in 1910³⁵, 1921, 1926 and 1935.

The November 10, 1910 issue of The Flaming Sword contains the following description of the storm.

“No such severe storm has visited this region within at least the last half century.....

The wind for several days blew from the north- east gradually increasing until it culminated on the night of the 17th..... in a fury of speed variously estimated at from 80 to 100 miles an hour about this time the roofing and spouting began to clatter off the buildings, porches were torn off, and doors and windows broken in. The rain beat through the crevices under the shingles and weatherboards, spattering across the rooms, wetting nearly all the contents and flooding the floors.”³⁶

²⁹ “The Community Events” column in The Flaming Sword, from the 1920s to the 1930s, chronicles the decline in population and the loss of the Koreshan members.

³⁰ Rahn, Claude. P. 71.

³¹ Michel, Hedwig, A Gift to the People.

³² Colcord, J. Gordon, “Appraisal of Land- Building -Improvements, Koreshan Unity State Park,” Estero, Florida, March 6, 1962.

³³ Herbert & Reeves document referenced in footnote #24.

³⁴ Jan Abell-Kenneth Garcia Partnership. Master Plan Update for the Koreshan Unity Settlement, 1989. Unit Management Plan. Department of Natural Resources. 1991.

³⁵ Andrews, Chapter X, account of the storm.

³⁶ The Flaming Sword, Nov. 1910, vol. 24, No. 11, p. 335.

In a letter dated November 2, 1910, addressed to Claude Rahn, who was away from Florida during this time period, Walter Bartsch writes:

“We surely had an exciting time during the hurricane. I am glad indeed that you were spared the experience.....except we live in somewhat battered houses and a good deal of clothing was lost.”³⁷

The grounds are well illustrated in this photograph dating from about 1915. This photograph shows the character of the “tropical gardens” at Estero, with the carefully manicured grounds, the mounds, urns and special features described in many early written accounts of the site.³⁸



Figure #19. View of site, c. 1915 (Koreshan State Historic Site Archives, PH-000249)

The 1961 appraisal report photographs document the condition of the building, at the time of the State’s acquisition of the property. Since this time, the State, along with concerned citizen organizations, has worked to preserve this important site for future generations to enjoy.

³⁷ Letter by Walter Bartsch to Claude Rahn, dated November 2, 1910, from the archives of the Koreshan Unity Foundation, Inc.

³⁸ Andrews, p.39.

BIBLIOGRAPHY & SOURCES

General History of the Koreshan Unity and Florida

- Andrews, Allen H. A Yank Pioneer in Florida. Douglas Printing Co. Inc. Jacksonville, FL 1950.
- Berrey, Richard S. The Koreshan Unity: an economic history of a communistic experiment in Florida. Thesis (M..A.) U. Of Florida 1928.
- Board, Prudy Taylor and Patricia Pope Bartlett. Lee County: A Pictorial History. Donning Co. Publishers. Norfolk, Virginia Beach, 1985.
- Brown, Adelaide and Barrett. A Short of Fort Myers Beach, Estero and San Carlos Islands. Estero Island Publishers, Fort Myers Beach, FL, 1965.
- Dankohler, E. E. Memoirs of the First Settler. Island Press, Fort Myers Beach, 1967.
- Fine, Howard David. The Koreshan Unity Utopian Community: We live inside the World. Master's Thesis, Notre Dame University, 1972.
- Hinds, William Alfred, Ph.D. American Communities and Co-operative Communities. Porcupine Press, Philadelphia, 1975.
- Mackle, Jr., Elliot J. The Koreshan Unity in Florida 1894 -1910. Master's Thesis. Coral Gables, 1971.
- McCready, Marie. "Memories, Memories, Days of Long Ago". Chronicled by Marie with participation by Lovelle. 1966
- Rainard, Robert Lynn. In the Name of Humanity: The Koreshan Unity. M.A. Thesis, University of South Florida, 1974.
- Rainard, Robert Lynn. New Jerusalem in Florida; Koreshan Communatarianism and Science. 1992.
- Rahn, Claude. A Brief Outline of the Life of Dr. Cyrus R. Teed (Koresh) and of the Koreshan Unity. Estero, 1962.
- Rea, Sara Weber. The Koreshan Story. Guiding Star Publishing House, Estero, Florida. 1994.

Reports and Studies

- 1900, 1910, 1920 Census, United States.* The Koreshan Unity Colony, Lee County, Florida.
- Appraisal of Land Buildings and Improvements for Florida Board of Parks,* dated 03/08/62 - *Colcord*
- The Cultural Heritage of the Koreshan Unity Settlement. The Plan and the Architecture.* Jan Abell. April 1991.
- Koreshanity and the Mental Landscape of Turn-of-the-Century.* Priscilla Brewer. 1991.
- Koreshan State Historic Site, 1993 conservation assessment. Vols. 1 & 2.*
- Koreshan Unity Settlement 1894 - 1977,* by Herbert/ Reeves, Winter Park, 1977.

Master Plan Update for the Koreshan Unity Settlement, Jan Abell-Kenneth Garcia Partnership, 1989.
New Jerusalem in Florida; Koreshan Communitarianism and science.
Robert Lynn Rainard, 1992.
Role of the Landscape and Master Plan in the Cultural Heritage of the Koreshan Unity Settlement. Joanna Lombard & Maria Nardi. 12 April 1991.
Unit Management Plan. Department of Natural Resources. 1991. (Updated 2003).

Koreshan Publications

The American Eagle

A Publication of the Koreshan Unity Foundation Inc.

The Flaming Sword

Guiding Star Publishing House, Estero, FL
1902, 1903, 1904, 1905, 1906, 1910, 1921.

Nos. 39 - 42, 1925 - 1928

Nos. 47 - 63, 1933 - 49 (with missing editions as noted on list of contents of Koreshan Unity collection at the Archives and Special Collections Department of The Olin Library, Rollins College).

Publications - Leaflet Series

Koresh, What is Koreshanity? Guiding Star Publishing, Estero.

Publications - Tract Series

The Koreshan Unity: Its works and Policies.

The Pioneer University of Koreshan Universology.

Michel, Hedwig - writings

Clippings of her writings, most published in the Fort Myers Newspress.
A Gift to the People.

Bakery Repair Records

Koreshan State Historic Site Inventory, December 1993
Historical Site Record of Physical Changes,

Letters and Documents from the Koreshan Unity Foundation, Inc. (Not available at time of this report).

Clippings files on various topics of interest, horticulture, science

Miscellaneous Sources

Files of Special Collections, Olin Library, Rollins College, Winter Park, Florida



Survey Log Sheet

Electronic Version 1.1.0

Survey # 10040
Entry Date 6/6/2004

IDENTIFICATION AND BIBLIOGRAPHIC INFORMATION

Survey Project (name and project phase) Limited testing, Membership Cottage and Small Machine Shop, Koreshan State Historic Site

Report Title (exactly as on title page) Limited Archaeological Testing, Membership Cottage and Small Machine Shop, Koreshan State Historic Site, Lee County, Florida

Report Author (last name first) Wayne, Lucy B. >> Dickinson, Martin F.

Publication Date 2004 Total Number of Pages in Report (not including site forms) 39

Publication Information (use the style of American Antiquity) Wayne, Lucy B. and Martin F. Dickinson. 2004. Limited Archaeological Testing, Membership Cottage and Small Machine Shop, Koreshan State Historic Site, Lee County, Florida. SouthArc, Inc., Gainesville, FL.

Supervisor(s) of Fieldwork (whether or not the same as author(s); last name first; add state for cities outside of Florida)
Name Dickinson, Martin F. >
Organization Southarc Inc, Gainesville W
City Gainesville W

Key Words/Phrases Koreshan >

Survey Sponsors (corporation, government unit, or person who is directly paying for fieldwork)
Name: Stevenson Architects, Inc.
Address/Phone: 529 13th St., West, Bradenton, FL 34205, (941) 747-3696
Organization: Florida Park Service

Recorder Name (last name first) Wayne, Lucy B. Date Log Sheet 6/6/2004
Is this survey or project a continuation of a previous project? NO If yes, list previous survey #(s) Completed

MAPPING

County(ies) Lee >>

USGS 7.5' Series Map(s)
Map Name ESTERO Publication Date 1972 >>

DESCRIPTION OF SURVEY AREA

Dates for Fieldwork: 4/19/2004 Start 4/21/2004 End
Number of Distinct Tracts or Areas Surveyed 2
If Project is a Corridor, Complete the Following (fill in one for each):
Total Area Surveyed (fill in one) _____ hectare _____ acre
Corridor Width: _____ meters _____ feet
Corridor Length: _____ kilometer _____ mile
Corridor Length: _____ s _____ s

ATTACH PLOT OF SURVEY AREA ON PHOTOCOPIES OF USGS 1:24,000 MAP(S)

Survey Log Sheet

RESEARCH AND FIELD METHODS

Types of Survey (select as many as apply)

Archaeological >>
 Other, Unlisted Survey Types (describe): _____

Preliminary Research Methods (select as many as apply)

Literature search >> Informant report

Archaeological Methods (describe the proportion of sites at which method was used, select as many methods as apply)

Method Used	Proportion
Test excavations	Method Used 90-100% >> <input type="checkbox"/>

Historical Architectural Methods (describe the proportion of properties at which method was used, select as many methods as apply)

Method Used	Proportion
No fieldwork by recorder	Method Used 90-100% >> <input type="checkbox"/>

Notes on Field Methods (e.g., scope, intensity, procedures) two excavation units adjacent to foundations of each structure, units 1 x 0.5 m, 1/4" screen

SURVEY RESULTS (cultural resources recorded)

Site Significance Evaluated?	YES	Site Counts	Previously Recorded Sites	Newly Recorded Sites
	<u>YES</u>		<u>1</u>	<u>2</u>

Previously Recorded Site #'s with Site File Update Forms (List site #'s without "8") LL1912

Newly Recorded Site #'s (Make sure all are originals and not updates. List site #'s without "8") LL2064, LL2065

Type of Site Form Used: SmartForm-Archaeology

***** MASTER SITE FILE USE ONLY *****

FMSF Staffer _____ Electronic Form Used: _____
 Origin of Survey Report _____ > _____
 Permit # _____

Type of Document (select as many as apply)

Other Document Type: _____ > _____

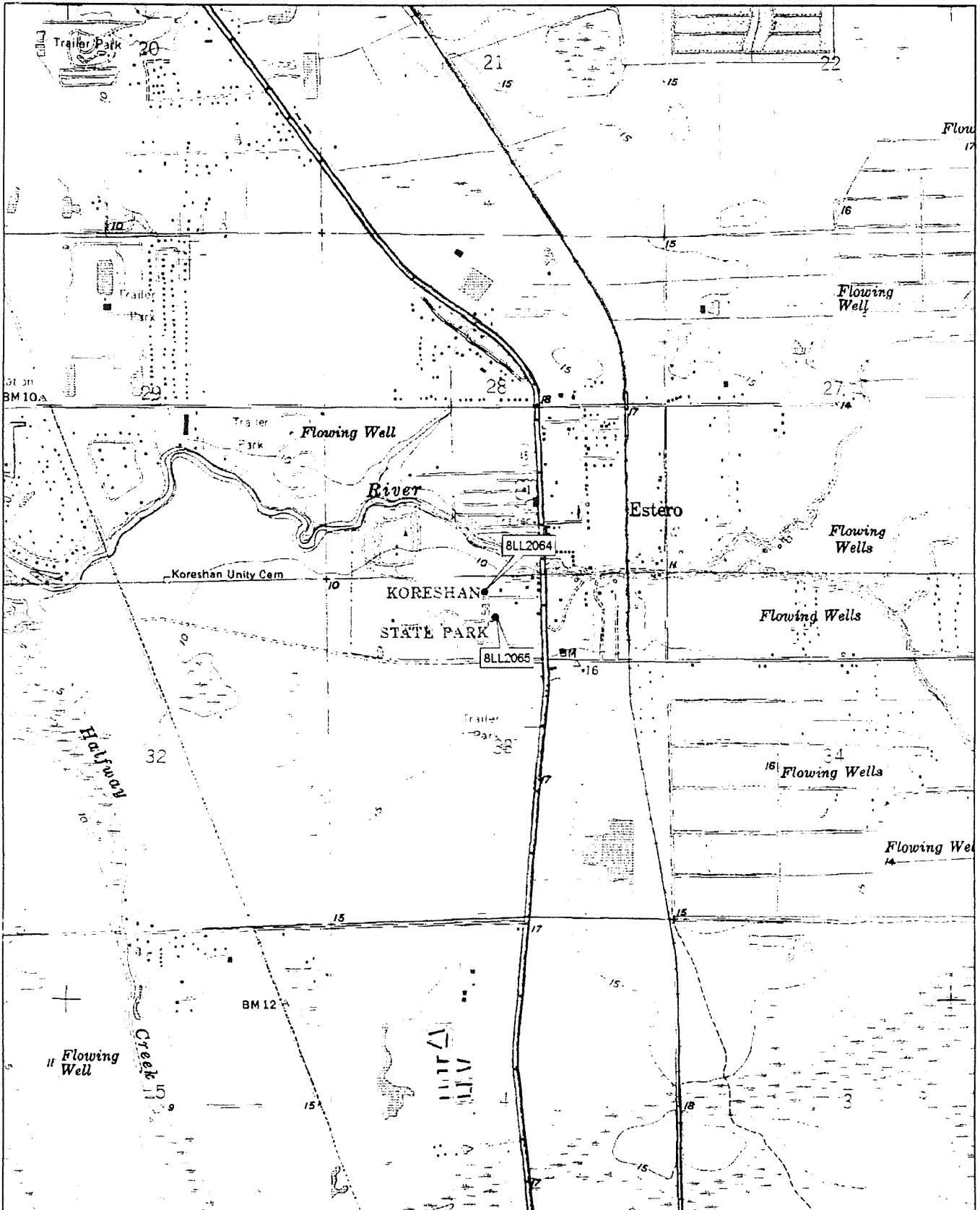
*Note: Do NOT plot document types marked with an asterisk

Document Description: _____
 Plotability (1): _____
 Plotability (2): _____

MS# 0

Supplementary Printout

- > **Report Author (last name first)**
Dickinson, Martin F.
- > **Key Word/Phrase Describing Survey**
- > **County Surveyed**
- > **USGS 7.5 Map for Surveyed Area: Name/Latest Revision Date**
- > **Types of Survey**
- > **Preliminary Method Used**
Informant report
- > **Archaeological Method Used/Percent**
- > **Architectural Method Used/Percent**
- > **Type of document:**
- > **Fieldwork Supervisor (Name[last,1st]/Org./City)**
- > **Site Form Used**
- > **Origin of Survey Report**





Specializing in Archaeological/Historical Services
Members Society of Professional Archaeologists

ACRA

June 8, 2004
211-04-02

Ms. Laura Kammerer
Florida Div. of Historical Resources
R. A. Gray Building
500 So. Bronough Street
Tallahassee, FL 32399-0250

Re: Membership Cottage and Small Machine Shop Testing, Koreshan State Historic Site,
Lee County
1A-32 Archaeological Research Permit No. 0304.57

Dear Laura:

Enclosed please find a report of limited testing conducted in support of a Historic Structures Report for the Membership Cottage and Small Machine Shop at Koreshan State Historic Site. The work was completed under a 1A-32 Archaeological Research Permit, and complies with Florida Chapter 1A-32 and 1A-46, and *Florida Statute 267*.

The limited testing successfully provided information on the foundations of the two structures and demonstrated that there are intact archaeological remains in the vicinity of the two structures. More extensive archaeology at the park would undoubtedly add to our understanding of the Koreshan lifeways.

As always, we appreciate your review of this document. Please contact either me or Martin if you have any questions or need additional information.

Sincerely,

Lucy B. Wayne, Ph.D., RPA
Vice President

enc.

cc: L. Stevenson, Stevenson Architects
S. Martin, FDEP
B. Swann, BAR

04 JUN 14 AM 11:48

MISSOURI STATE ARCHIVES
SERIALS SECTION

10040

**LIMITED ARCHAEOLOGICAL TESTING,
MEMBERSHIP COTTAGE AND
SMALL MACHINE SHOP,
KORESHAN STATE HISTORIC SITE,
LEE COUNTY, FLORIDA**

Prepared for:

**STEVENSON ARCHITECTS, INC.
529 13th Street West
Bradenton, FL 34205
(941)747-3696**

Prepared by:

**Lucy B. Wayne, Ph.D., RPA
Martin F. Dickinson, RPA
SOUTHARC, INC.
3700 NW 91st Street, Suite D300
Gainesville, FL 32606
(352)372-2633**

**May 17, 2004
211-04-02**

SouthArc, Inc.

Specializing in Archaeological/Historical Services

Members Register of Professional Archaeologists (RPA)

American Cultural Resources Association (ACRA)

TABLE OF CONTENTS

	<u>page</u>
INTRODUCTION AND EXECUTIVE SUMMARY	1
PROJECT SETTING	4
HISTORY OF KORESHAN UNITY SETTLEMENT	8
RESEARCH DESIGN AND METHODS	11
Project Approach	11
Analysis and Documentation	11
RESULTS AND CONCLUSIONS	12
Membership Cottage	12
Unit 1, Membership Cottage	12
Unit 2, Membership Cottage	20
Small Machine Shop	20
Unit 3, Small Machine Shop	24
Unit 4, Small Machine Shop	29
Conclusions and Recommendations	33
REFERENCES CITED	34
UNANTICIPATED DISCOVERIES	36
APPENDICES	
A FLORIDA 1A-32 ARCHAEOLOGICAL RESEARCH PERMIT AND SCOPE OF WORK, KORESHAN STATE HISTORIC SITE	
B ARTIFACT CATALOG, MEMBERSHIP COTTAGE AND SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE	
C FLORIDA MASTER SITE FILE FORMS, KORESHAN STATE HISTORIC SITE	

LIST OF FIGURES

Figure		page
1	Location of Koreshan State Historic Site, Lee County, Florida	2
2	Location of Membership Cottage and Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	3
3	Topographic Map, Koreshan State Historic Site, Lee County, Florida	5
4	Soils Map, Koreshan State Historic Site, Lee County, Florida	6
5	Aerial Photograph, Koreshan State Historic Site, Lee County, Florida	7
6	Membership Cottage, Koreshan State Historic Site, Lee County, Florida	13
7	Elevations, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	14
8	Location of Excavation Units, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	15
9	Unit 1 Plan, Level 2, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	16
10	Unit 1 Plan, Level 3, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	18
11	Unit 1 Profile, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	19
12	Unit 2 Plan, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	21
13	Unit 2 Profile, Membership Cottage, Koreshan State Historic Site, Lee County, Florida	22
14	Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	23

LIST OF FIGURES (page 2 of 2)

<u>Figure</u>		<u>page</u>
15	Small Machine Shop Elevations, Koreshan State Historic Site, Lee County, Florida	25
16	Location of Excavation Units, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	26
17	Unit 3 Profile, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	27
18	Photographs, Unit 3 Profile, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	28
19	Unit 4 Plan, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	30
20	Unit 4 Profile, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	31
21	Photographs, Unit 4 Profile, Small Machine Shop, Koreshan State Historic Site, Lee County, Florida	32

LIST OF TABLES

<u>Table</u>		<u>page</u>
1	Unit 1 Artifacts, Membership Cottage, Koreshan State Historic Site	17
2	Unit 2 Artifacts, Membership Cottage, Koreshan State Historic Site	20
3	Unit 3 Artifacts, Small Machine Shop, Koreshan State Historic Site	24
4	Unit 4 Artifacts, Small Machine Shop, Koreshan State Historic Site	29

INTRODUCTION AND EXECUTIVE SUMMARY

In 1894, Dr. Cyrus ("Koresh") Teed and his followers moved to Estero, Florida to establish a community which they hoped would become the "New Jerusalem" (Figure 1). This settlement, which followed the beliefs of Dr. Teed's religion of Koreshanity, thrived until his death in 1908. Although the organization continued to exist, membership declined through the 20th century. In 1961, the last four Koreshan members deeded 305 acres of the settlement to the State of Florida in memory of Dr. Teed. Today the property is operated as Koreshan State Historic Site (8LL1912), which encompasses the Koreshan Unity Settlement Historic District containing the remaining structures from the original settlement (FDEP n.d.a).

Historic Structure Reports (HSRs) are currently being prepared for two of the original structures, the Membership Cottage and the Small Machine Shop (Figure 2). As part of the HSR project, the Florida Department of Environmental Protection (FDEP) requested limited archaeological testing adjacent to the foundations of the two buildings. Linda Stevenson, of Stevenson Architects, Inc., who is preparing the HSRs, contracted with SouthArc, Inc. to conduct the archaeological studies. Fieldwork was completed in April, 2004 under the direction of Martin F. Dickinson, RPA, President of SouthArc. Analysis and documentation were completed in May, 2004 under the direction of Lucy B. Wayne, Ph.D., RPA, Vice President.

All archaeological research was conducted under a Florida Chapter 1A-32 Archaeological Research Permit (Appendix A) and also complied with Chapter 1A-46, Archaeological and Historical Report Standards and Guidelines, *Florida Statute 267* and implementing regulations for possible impact to historic properties listed, or eligible for listing, in the *National Register of Historic Places*.

The archaeological research was limited to the area adjacent to the foundation of the two structures. Two excavation units were placed at each structure in consultation with Stevenson Architects. The goal of the research was to provide additional information to the architects. Per FDEP instructions, the research was to be limited "to delineating foundations and/or builders trenches" (Stevenson 2004). Based on the results of these excavations, it appears that the Membership Cottage was originally on wooden piers, possibly cypress logs, while the Small Machine Shop is on original concrete block piers. Since the Koreshans produced concrete products at the settlement, the use of this material is not surprising.

This report provides the project background, research design and results. All project field records and recovered artifacts will be transferred to the Bureau of Archaeological Research in compliance with the 1A-32 permit.

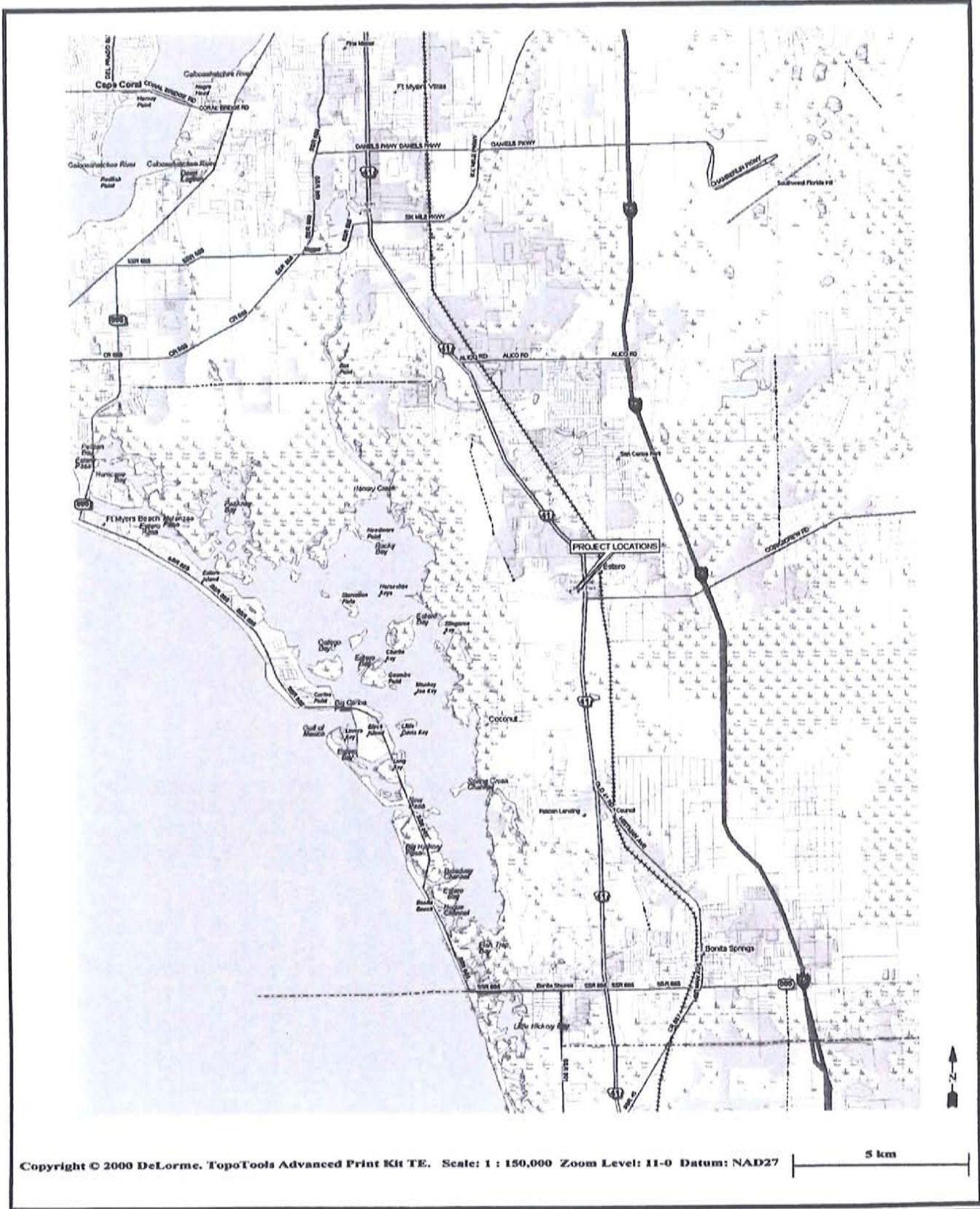


FIGURE 1. LOCATION OF KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SOURCE: DELORME 2000

SouthArc, Inc.

Archaeological and
Historical Services

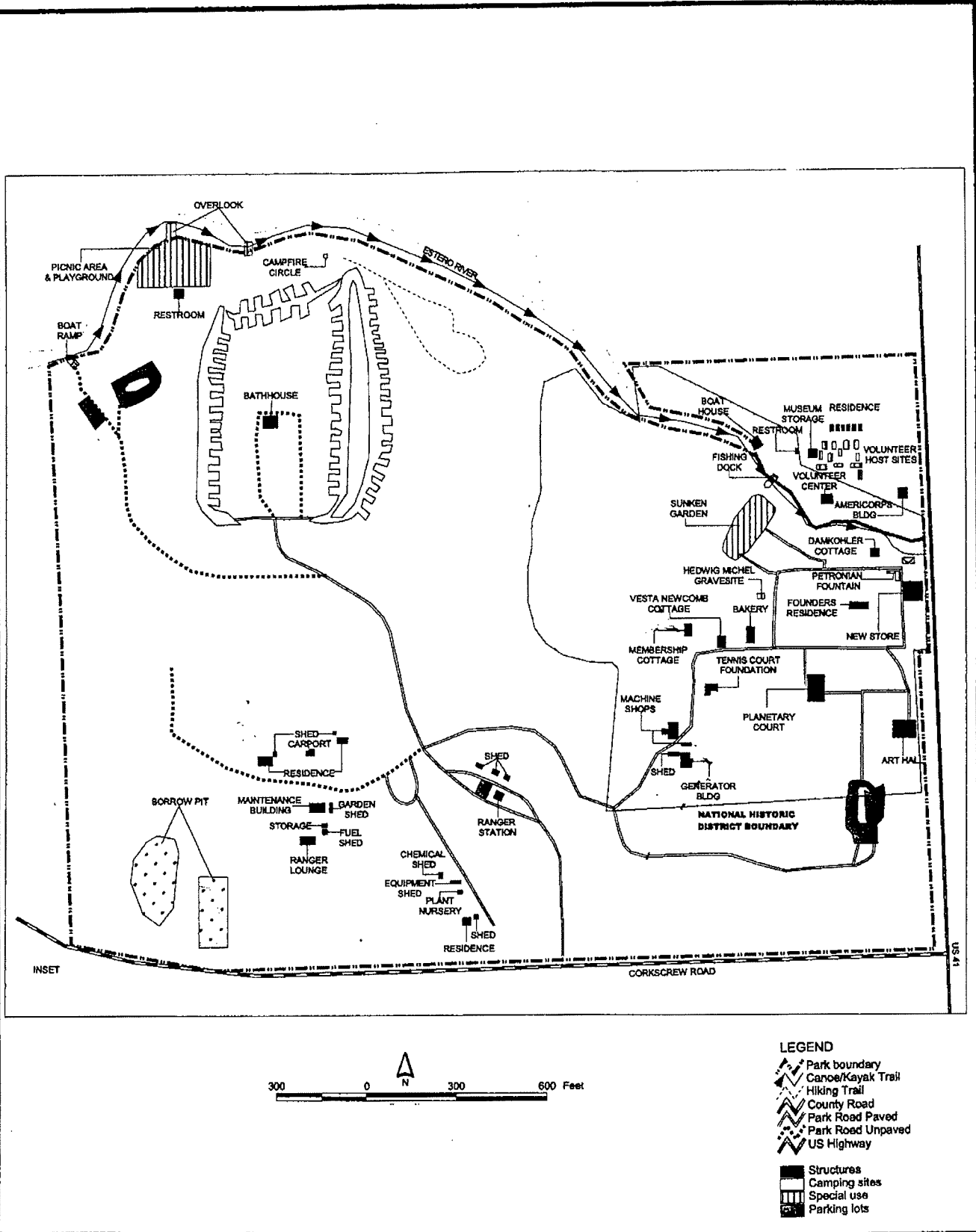


FIGURE 2. LOCATION OF MEMBERSHIP COTTAGE AND SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SOURCE: FDEP n.d.a

SouthArc, Inc.

Archaeological and Historical Services

PROJECT SETTING

Koreshan State Historic Site is located in Sections 28 and 33 of Township 46 South, Range 25 East of Lee County (Figure 3). The park is bordered by the Estero River on the north, U.S. Highway 41 (US 41) on the east, Corkscrew Road on the south and an arbitrary property limit on the west. The park encompasses a total of 305 acres, although only part of this acreage is considered to be the Koreshan Unity Settlement Historic District. The Small Machine Shop is in the southwest corner of the District, and the Membership Cottage is in the center of the west side (Figure 2).

The park lies within the Estero Bay-Cape Romano Coastal Strip of the Southwestern Flatwoods of Florida (Brooks 1981). This physiographic region is described as "a low energy coast with few good beaches" (Brooks 1981:6). Mangrove swamps are abundant and the mainland is a poorly drained flatwoods plain with elevations of less than 12 feet, although paleo-dunes fields do exist in some areas (Brooks 1981). The park area is generally flat with elevations of 10 feet, dropping down to five feet along the river (USGS 1972). The river would have been the primary water source as well as the major transportation route prior to modern highway construction. The first settler in the area, Gustav Damkohler, also noted a "nice spring of good flowing water on the south side of Estero Creek" (Damkohler 1967:5).

Soils in the park fall within the Oldsmar-Malabar-Immokalee association of poorly drained sands. The majority of the park is dominated by the flatwoods soils of Immokalee sand, Myakka fine sand, and Boca fine sand (Figure 4). These poorly drained soils support South Florida slash pine, sawpalmetto, fetterbush, pineland threeawn and some waxmyrtle. The area northwest of the historic district contains a band of Pineda fine sand characteristic of sloughs. This soil supports pineland threeawn, panicums, sedges, maidencane, waxmyrtle and South Florida slash pine. A small area along the river in the northeast corner of the park contains moderately well drained Coca fine sand, which supports bluejack oak, South Florida slash pine, sawpalmetto, bluestem and pineland threeawn (USDA 1984). The area of the two project structures is in Immokalee sand, a flatwoods soil.

Although the flatwoods soils are generally considered poorly suited for agriculture due to their drainage characteristics and lack of nutrients, both the original settler of the property, Damkohler, and the Koreshans successfully planted a wide variety of exotic ornamental plants within the settlement area (Damkohler 1967; Lombard and Nardi 1991). Land use of the property has been limited to the Damkohler homestead, the Koreshan settlement and the present park (Figure 5).

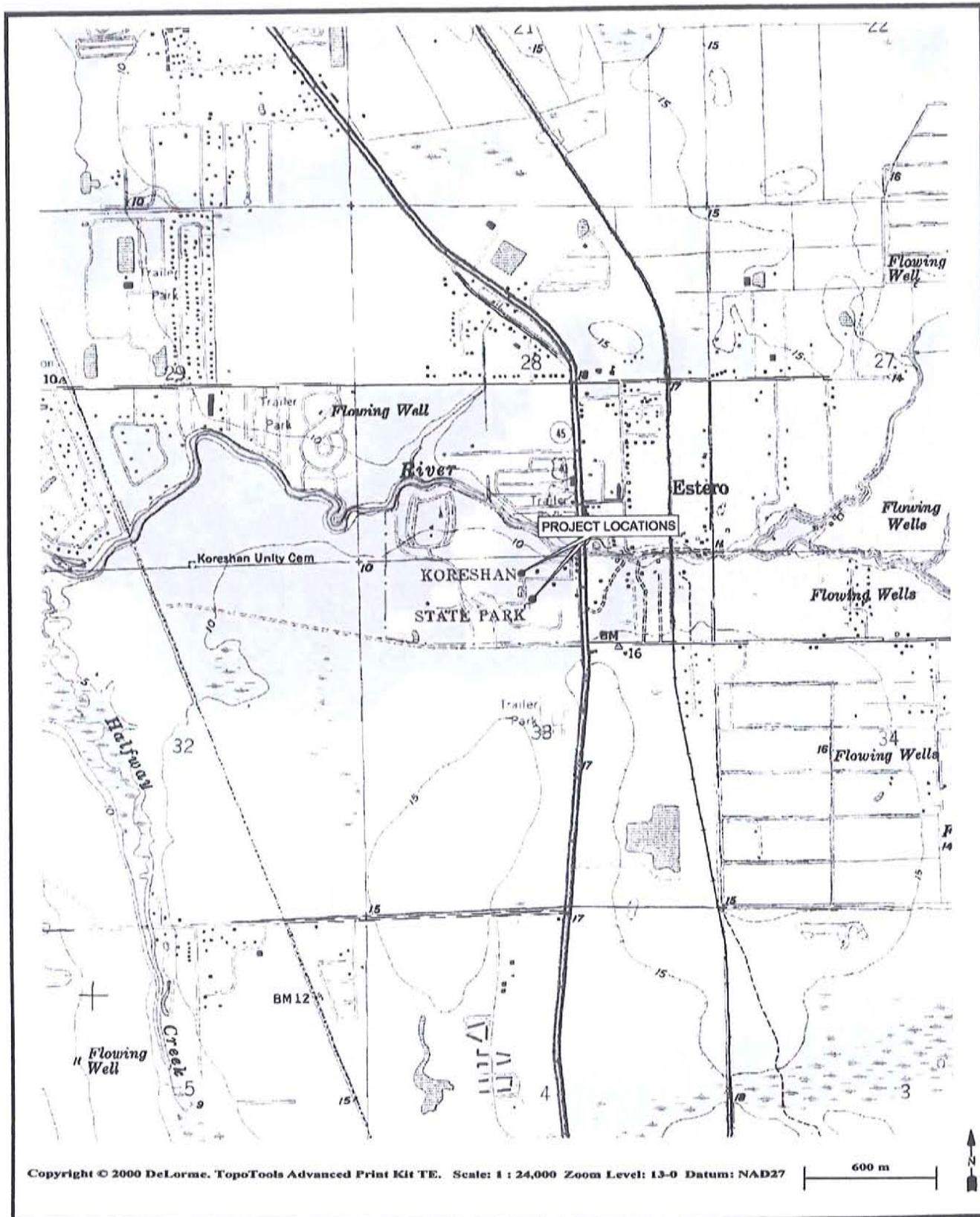


FIGURE 3. TOPOGRAPHIC MAP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA
 SOURCES: DELORME 2000; USGS 1972

SouthArc, Inc.

Archaeological and
 Historical Services

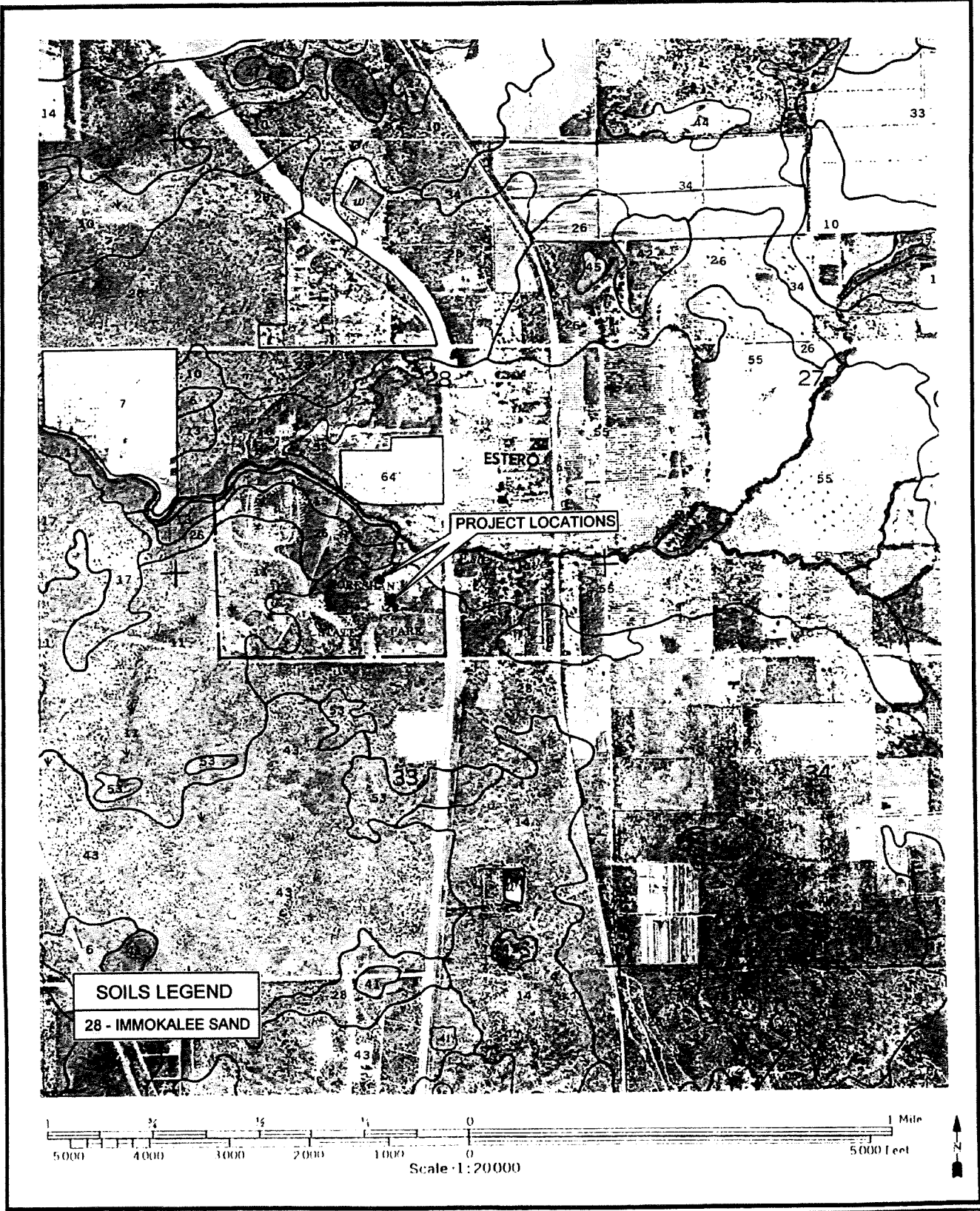


FIGURE 4. SOILS MAP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA
 SOURCE: USDA 1984

SouthArc, Inc.
 Archaeological and
 Historical Services

USGS Estero, Florida, United States 06 Jan 1999

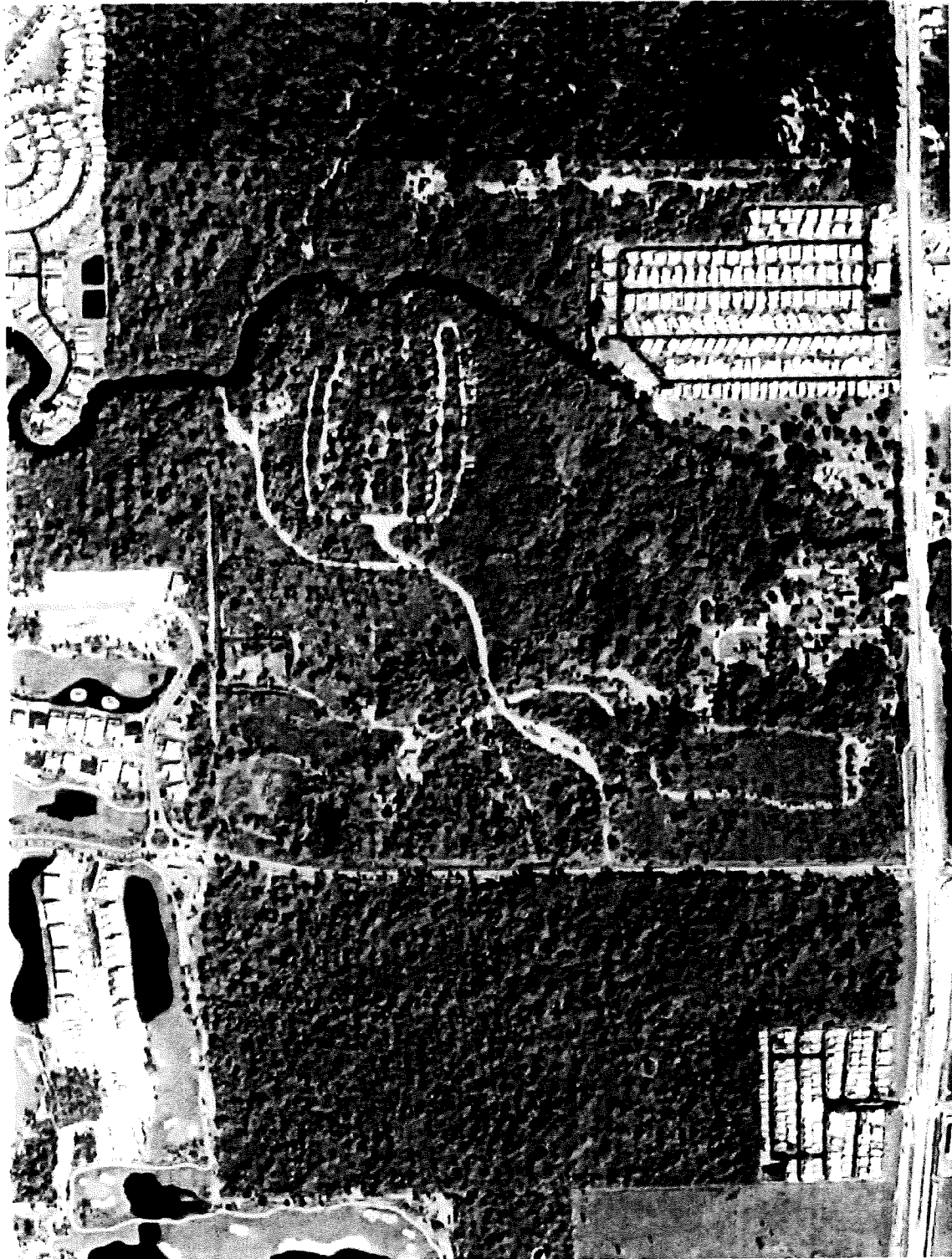


FIGURE 5. AERIAL PHOTOGRAPH, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SOURCE: USGS 1999

SouthArc, Inc.

Archaeological and
Historical Services

HISTORY OF KORESHAN UNITY SETTLEMENT

On September 15, 1879, a German immigrant named Gustav G. Damkohler received a homestead patent for the northeast quarter of the northwest quarter of Section 33 and the south half of the northeast quarter of Section 28 in what is now Lee County (FDEP 2004). Damkohler was born in Berlin, but subsequently immigrated, first to Australia and later to Missouri, where he married and had several children. His decision to move to Florida was based on the Homestead Act of 1842, which provided 160 acres of land to anyone who would establish a homestead in the state. On April 8, 1882, Damkohler, with the assistance of a land surveyor named Singletary, had located his grant on the south side of Estero Creek. His family arrived two days later and began establishment of their homestead (Damkohler 1967).

Damkohler built a house of native pine with a palmetto frond roof, and began clearing land. He acquired ornamental plants from a friend in Australia, including the eucalyptus trees now growing on site. The Damkohler family continued to farm the homestead for the next fourteen years, until the arrival of Dr. Cyrus Teed, founder of Koreshan Unity (Damkohler 1967).

Dr. Teed was born in New York and trained as a physician. After his experience with medical practice during the Civil War, he turned to alchemy. "While working in his laboratory one night in 1869, he had an 'illumination' " which led to the formation of Koreshan Unity 17 years later in Chicago (KUA n.d.:1) . The name was taken from the Hebrew word for Cyrus, Koresh. Like many 19th century religions, Koreshan Unity was based on the idea of communal living and property, leading to a Utopia free of crime, tobacco or drugs (KUA n.d.). Although generally Christian in belief, Koreshan included the idea of a God with a male-female aspect, as well as the belief that "the earth was a hollow sphere with all life, planets, moon and stars within it" (www.captiva.com 2004:1).

Two primary types of membership were established for Koreshan Unity. The Cooperative Order either bought shares or worked in the church industries, but could live outside the Settlement in family units. The Religious or Ecclesia Order lived in the Settlement and practiced celibacy; all of their property was given to the Unity. A third investigative order existed for those considering membership (KUA n.d.; Hinds 1975). Membership in the Unity provided financial security and all needs were met, including cultural activities, entertainment, a classical education, vocational training and, of course, religion. The Unity strongly believed in equity of the sexes; in fact, the governing council consisted of seven women designated as the Planetary Court (KUA n.d.). This position made the religion particularly popular with women, particularly those in unhappy marriages (Rainard 1974).

By the 1890s, Dr. Teed had decided that the Unity needed to build a "New Jerusalem," a planned city which he anticipated would cover six square miles and have a population of eight to ten million people. He decided that Florida would be the ideal location for this Utopia. In 1894, Dr. Teed and several of his followers met with Damkohler, and convinced him to deed over his land on

Estero Creek in exchange for a lifelong position in the community and an education for his last son. Damkohler did remain as agricultural manager and beekeeper until 1908 (Damkohler 1967).

Dr. Teed and three female followers, Mrs. Anne Ordway, Mrs. L. M. Boomer and Mary Mills, moved into Damkohler's cottage and began planning the New Jerusalem (Stevenson 2004). Teed planned a city which

'would embrace a system of formal gardens laid out in patterns of applied geometry, based on three elements: the arc, the chord and the radius; and the principle of centrality which corresponds to the Koreshan vision of the layered and centralized properties of the universe' (KUA n.d.:3).

He established a sawmill on Estero Island and began construction of buildings using cypress logs for framing and walls, with palm thatched roofing. Flooring was brought in from off site via the river. The first buildings were the two-story Founder's House and the Dining Hall, once the largest structure in the county (KUA n.d.).

Ultimately, the Settlement included a series of shell paths, vegetable gardens, orchards, pleasure gardens and a landing on the river. Several small buildings were brought in from other locations, including the Membership Cottage and Vesta Newcomb Cottage, both of which were residences for members. Other buildings erected in the Settlement included the Bakery, Large and Small Machine Shops, Electric Generator Building, Planetary Court and Art Hall, all of which were built between 1903 and 1908. The Founder's House also served as a school, while both the Dining Hall and Bakery had dormitories on the upper floors. The Planetary Court housed the seven-member Planetary Chamber. The Large Machine Shop housed steam power for the adjacent laundry, while the Small Machine Shop was used for manufacture of small tools, kitchen items and repairs. The Art Hall was the cultural, social, educational and religious center for the community (KUA n.d.).

By the first decade of the 20th century, the Settlement had electric power and was also producing pre-cast concrete construction and garden pieces, some of which were used in the buildings (KUA n.d.). The town of Estero was incorporated in 1904, encompassing 110 square miles; the boundaries conformed to the New Jerusalem plan. Ultimately the Koreshans owned about 7,500 acres in this area (Mackle 1971).

At its peak in about 1907, the Settlement had a population of about 200 people (Hinds 1975). Although Teed believed he was immortal, this proved to not be the case--he died at age 69 in 1908 (FDEP n.d.a). After the death of the charismatic Teed, membership in the order declined to the point that in 1928 it was described as having only about 60 members, two-thirds of whom were near or over 70 in age (Berrey 1928).

In 1941, Hedwig Michel arrived in Estero. She was a German immigrant who began to strongly influence the management of the Unity, ultimately taking over the Board of Directors (Rahn 1962). In 1952, the Directors considered the idea of turning over the Unity holdings to the State of

Florida for a park, but nothing was done until after the death of the last Unity President, Laurence Bubbett, in 1960 (Michel n.d.). In 1961, the four remaining Koreshan members deeded 305 acres to the state with the understanding that they would have the right to lifelong occupation of their residences, and that the property would remain a park in perpetuity with preservation of the Koreshan artifacts (FDEP 1961).

Today the Koreshan Unity Settlement Historic District encompasses the original settlement area and the remaining buildings, including the project buildings: the Membership Cottage and Small Machine Shop.

RESEARCH DESIGN AND METHODS

The Small Machine Shop and Membership Cottage at Koreshan State Historic Site are undergoing the Historic Structures Report (HSR) process. Archaeological research was requested in order to provide additional information to the architect for the HSR. This research was defined as "limited to delineating foundations and/or builders trenches" (Stevenson 2004). The structures are primarily frame buildings constructed on piers. As a result, the archaeologists believed that foundation and/or building trench information would be limited in nature. The structures consist of:

1. Membership Cottage: a 13 x 32 foot frame building on piers; the entry porch is also on posts or piers.
2. Small Machine Shop: a 12 x 18 foot frame structure on piers; the entry porch is a concrete slab.

Project Approach

Due to the restricted nature of the archaeological project, background research was limited to a review of historic and environmental information on the Koreshan settlement. Park staff and the HSR architect provided additional information on the two structures.

Since this project was limited in scope, a series of four small excavation units were placed adjacent to the piers or foundations of the structures. Units were approximately 50 centimeters (cm) wide and one meter long perpendicular to the foundation or pier. Units were judgmentally placed in consultation with the project architect. Excavation was by natural soil strata with soil screened through 1/4-inch hardware cloth. The units were not necessarily excavated to culturally sterile depths, as the goal was to provide structural information. Recovered artifacts were identified by unit and level and retained for analysis. Field notes documented all excavations, including location, soil stratigraphy and cultural features. A field map was maintained showing all unit locations. Scale drawings of both plans and profiles and photographs were completed for each unit; soil colors were classified using Munsell soil color charts.

Analysis and Documentation

All cultural materials were gently cleaned and sorted by material. The artifacts were then catalogued using regional and historic typologies. Artifacts were both counted and weighed. The completed catalog (Appendix B) was entered into a spreadsheet for further analysis and creation of report tables. The artifact catalog was correlated with field records and background information to complete the project report. Florida Master Site File forms were completed to document the project (Appendix C). All recovered artifacts and project records are temporarily curated at SouthArc's Gainesville office. They will be delivered to the Bureau of Archaeological Research for permanent curation upon completion of the project.

RESULTS AND CONCLUSIONS

As previously indicated, this project was limited to two structures within Koreshan State Historic Site, the Membership Cottage and the Small Machine Shop (Figure 2). The Membership Cottage was not one of the original structures in the settlement; it was moved on site in the 1930s. The Small Machine Shop, however, was built by the Koreshans in the first decade of the 20th century.

Membership Cottage

The Membership Cottage (Figure 6) was originally located in the Estero area and dates to the early 20th century. It was moved to the Settlement in the 1930s to serve as a residence for Koreshan members. Although not built by the Koreshans, it is considered to be typical of the one-member homes in the Settlement. It was occupied by Conrad Schendler until his death in 1965; Schendler is listed on the 1910 census for the area (FDEP n.d.b; Stevenson 2004).

The cottage is typical of early 20th century vernacular construction. It is a single-story frame structure, basically rectangular in shape with rear (north) and side (west) additions (Figure 7). Both the roof and floor lines reflect the addition to the north through an approximately one foot drop. It has a front gable roof with an attached corrugated metal shed-roofed porch accessed by steps on the east and west ends. During repairs to the wood-floored porch, a small ground level well was discovered directly under the porch; presumably this predates the house. The central entry on the south is flanked by 2-over-2 sash windows. Each side of the original structure has a single 6-over-6 sash window. Another six-over-six sash window is located on the east side of the rear addition, with a paired 2-over-2 window on the west addition. The west addition is accessed by doors on the west and south facades. The building has board-and-batten siding, except for the south gable and the west addition, which have horizontal clapboards. The original roof was wood shingles, but the existing roof is corrugated metal. The building now sits on concrete block piers with pea gravel on the surrounding surface (FDEP n.d.b; Stevenson 2004).

The interior consists of three rooms: the original main structure, the rear addition and the western ell. The original structure has wood floors running east-west, wood frame walls and homosote wall and ceiling finish. The rear additions have north-south wood flooring, a finished ceiling and walls exposed to the exterior surfaces (FDEP n.d.b). Overall, the building has suffered from weathering and insect damage.

Unit 1, Membership Cottage

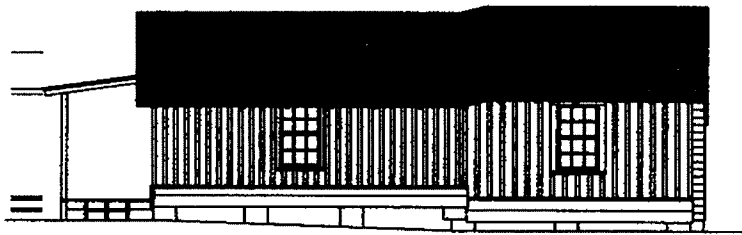
Unit 1 was placed on the east side at the junction of the original building and the rear addition (Figure 8). The unit was 50 cm wide and one meter long, extending from the existing concrete block pier (Figure 9). After removing the pea gravel and surface level, the unit encountered a group of concrete blocks and fire bricks approximately 25 cm east of the pier (Figure 9). This deposit



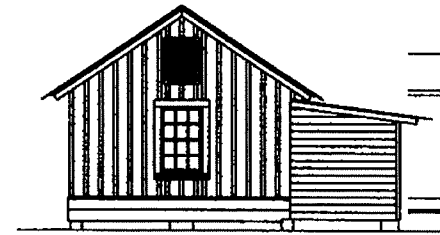
FIGURE 6. MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

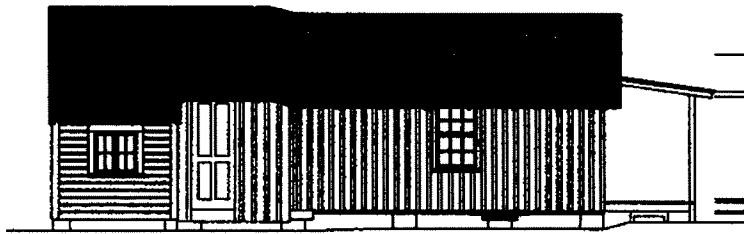
Archaeological and
Historical Services



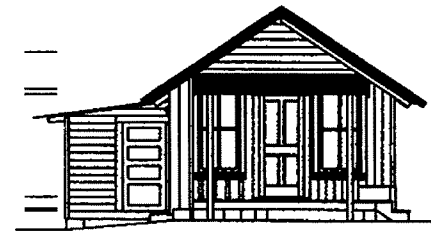
EAST



NORTH



WEST



SOUTH

MEMBERSHIP COTTAGE

FIGURE 7. ELEVATIONS, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SOURCE: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services

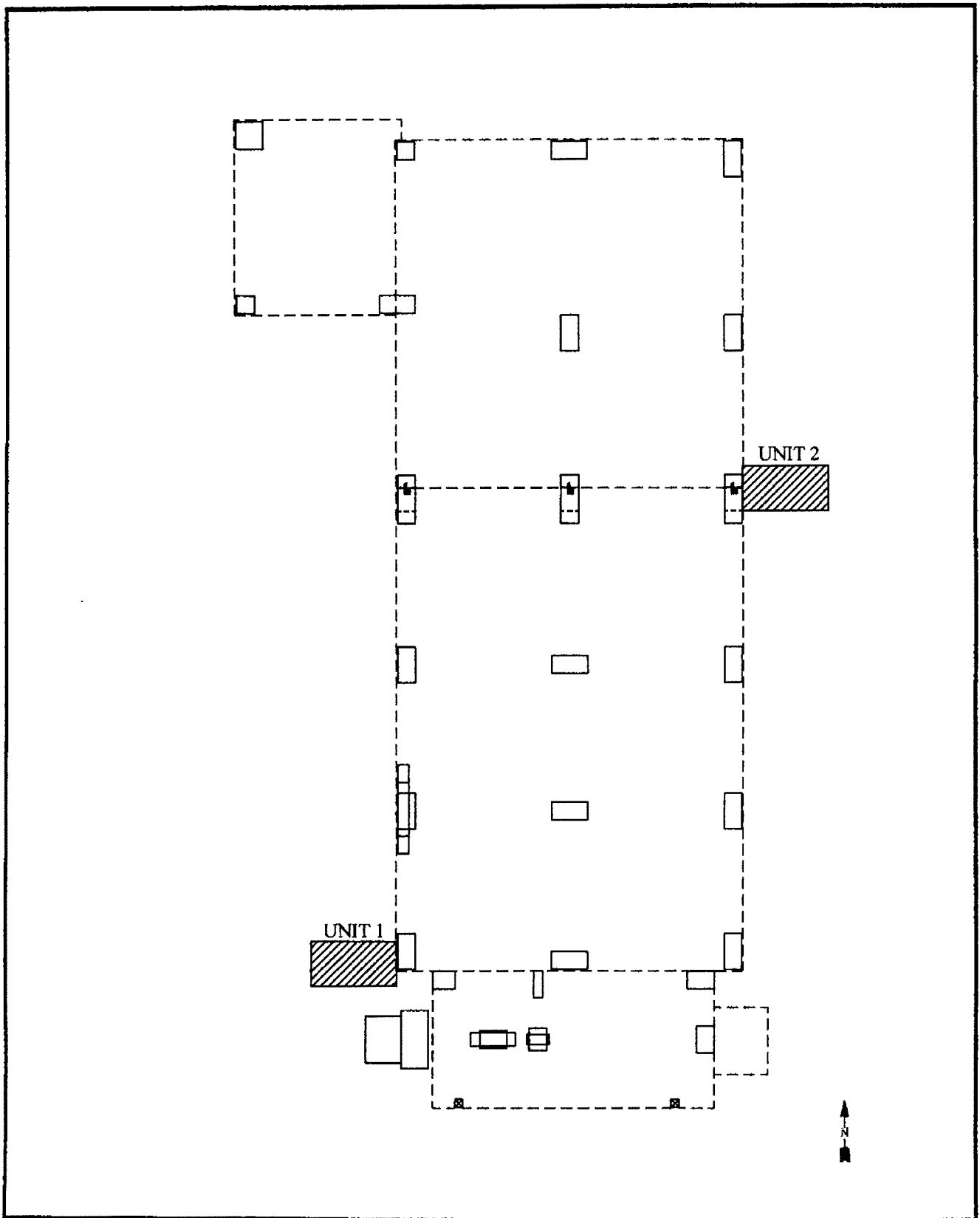


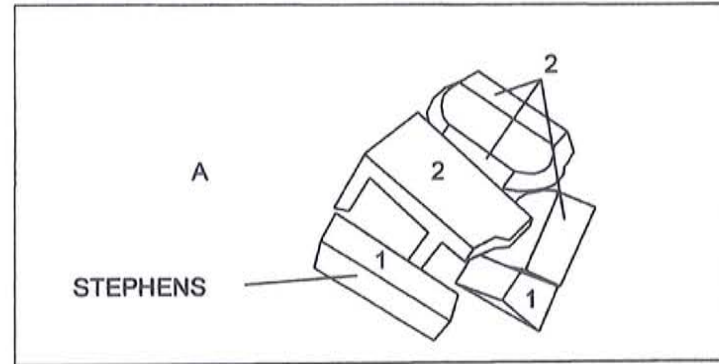
FIGURE 8. LOCATION OF EXCAVATION UNITS,
MEMBERSHIP COTTAGE, KORESHAN STATE
HISTORIC SITE, LEE COUNTY, FLORIDA

BASE MAP: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services

UNIT 1 PLAN
25 cmbd 1 : 10



SCALE IN CENTIMETERS

- 1 - FIRE BRICK
- 2 - CONCRETE BLOCK
- A - 10YR 6/3, PALE BROWN SAND



FIGURE 9. UNIT 1 PLAN, LEVEL 2, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

consisted of one fire brick marked "Stephens," a plain concrete block and a fluted concrete block, with a second fire brick and a burnt block below the initial layer (Figure 10). The deposit rested in a small pit which extended to 45 cm below datum (approximately 30 cm below surface). The pit appeared to have been dug with a round bladed shovel. Further excavation of the unit exposed a layer of shell beneath the existing concrete block pier (Figure 11). A wood post resting on a horizontal wood board was located beneath the shell (Figure 11).

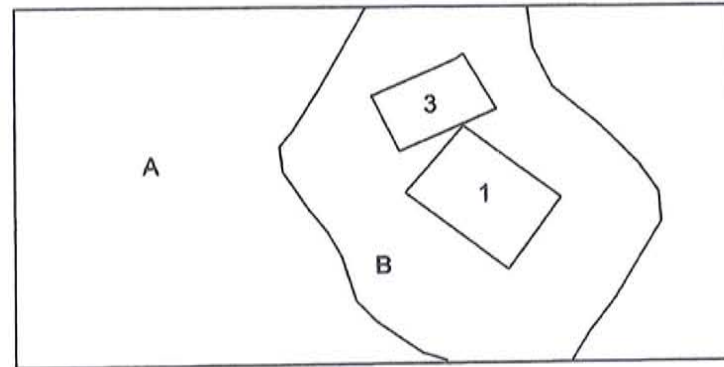
Based on the excavations, it appeared that the cottage originally rested on wood posts/piers--possibly cypress. When these rotted, the depression was filled with shell and concrete block/fire brick was used as a support. At some point, that support was replaced with the existing concrete blocks.

The artifacts recovered from Unit 1 are primarily architectural and domestic in nature, as would be expected from a residence (Table 1). They are consistent with an early 20th century occupation. Only one of the items was unusual, a ring which was probably originally gold plated. The ring contained three beads which may be opals or moonstones. The style is typical of the late 19th to early 20th century. However, since it was found in the upper 20 cm of the unit, it may be a recent deposit.

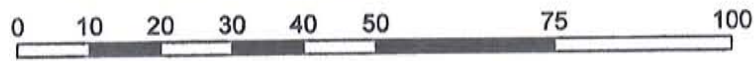
Table 1. Unit 1 Artifacts, Membership Cottage, Koreshan State Historic Site

Artifact	Count	Weight
Kitchen Category		
Plain whiteware sherd	1	7.2
Clear bottle glass	1	1.1
Architectural Category		
Brick fragment	1	3.6
Wire nails, incl. 1 roofing, 1 finishing	44	121.0
Wire	3	2.1
Wood fragments	42	27.2
Personal Category		
Ring, gold plated, opal or moonstone	1	1.2
Furniture Category		
Furniture tack	1	0.8
Activities Category		
Tin can and/or bucket fragments	5	4.2
Slate fragment	1	1.2
Faunal Category		
Whelk columella	<u>1</u>	<u>9.3</u>
TOTAL ARTIFACTS	101	178.9

UNIT 1 PLAN
30 cmbd 1 : 10



2
CONCRETE
BLOCK
PIER



SCALE IN CENTIMETERS

- 1 - FIRE BRICK
- 2 - CONCRETE BLOCK
- 3 - BRICK
- A - 10YR 6/3, PALE BROWN SAND
- B - 10YR 5/2, GRAYISH BROWN SAND



FIGURE 10. UNIT 1 PLAN, LEVEL 3, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

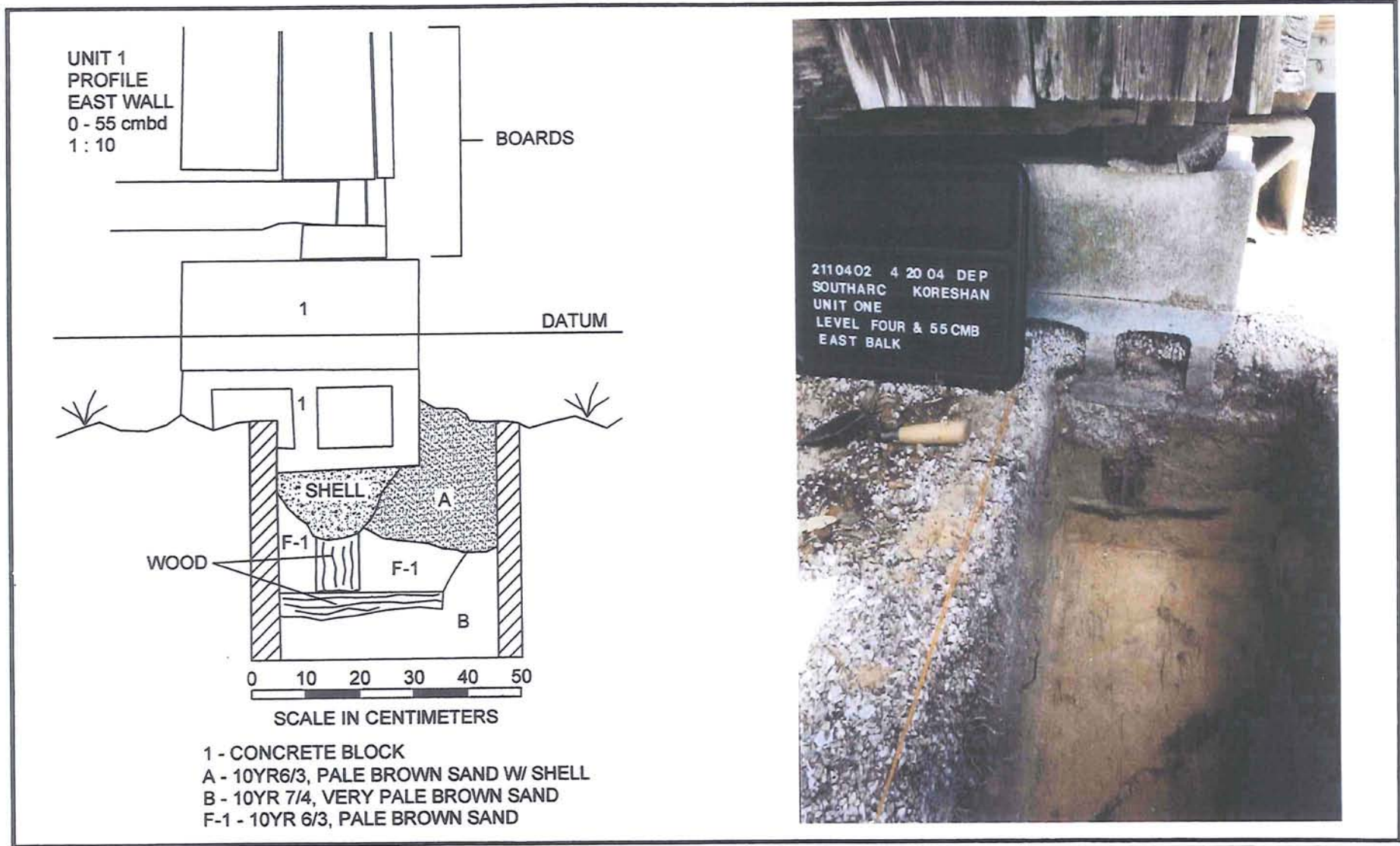


FIGURE 11. UNIT 1 PROFILE, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

Unit 2, Membership Cottage

Unit 2 was placed adjacent to the southeast pier of the cottage (Figure 8). It was also 50 cm wide and one meter long, oriented east-west. At 40 cm below datum (30 cm below surface) a gray brown area was exposed adjacent to the pier (Figure 12). This appears to have been a builders trench for the pier. The profile of the unit contained a thin lens of decayed wood (Figure 13), which may have been the remains of the post and sill system observed in Unit 1.

Unit 2 yielded more domestic refuse and fewer architectural items (Table 2), probably because it was near the main entrance where trash would have been swept or carried out. All of the material was consistent with a 20th century occupation.

Table 2. Unit 2 Artifacts, Membership Cottage, Koreshan State Historic Site

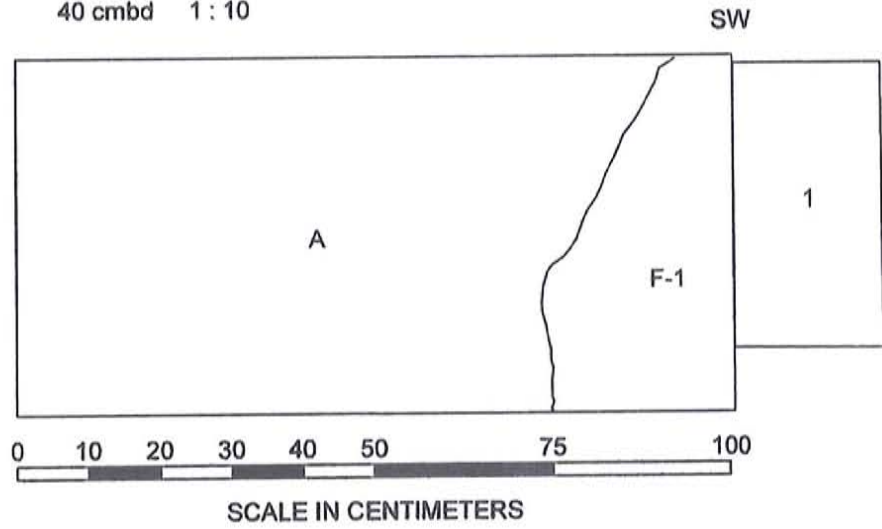
Artifact	Count	Weight
Kitchen Category		
Plain whiteware sherd	1	0.7
Clear bottle glass	2	17.2
Milk glass	1	0.3
Architectural Category		
Window glass	4	13.7
Wire nails	20	62.7
Wire	4	1.1
Personal Category		
Safety pin	1	0.8
Furnishings Category		
Lamp glass	1	0.2
Activities Category		
Tincan fragments	5	2.0
Grommets	2	0.4
Faunal Category		
Bone, unidentified fish	1	0.2
Shell, unidentified clam	<u>4</u>	<u>1.2</u>
TOTAL ARTIFACTS	46	100.5

Small Machine Shop

The Small Machine Shop was built about 1905 to 1906 as a workshop for manufacturing small specialized tools, kitchen items and repair of clocks and watches. At one point, a small metal addition was built on the southwest corner, but it has subsequently been removed. The machine shop was operated by Alfred Christensen (1878 to 1963), a lifelong Unity resident (FDEP n.d.b).

The Small Machine Shop is a rectangular one-story frame building distinguished by a low curved roof (Figure 14). It was believed to have originally been on wood pilings, but is now on

UNIT 2 PLAN
40 cmbd 1 : 10



- 1 - CONCRETE BLOCK
- A - 10YR 7/3, VERY PALE BROWN SAND
- F-1 - 10YR 5/2, GRAYISH BROWN SAND



FIGURE 12. UNIT 2 PLAN, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

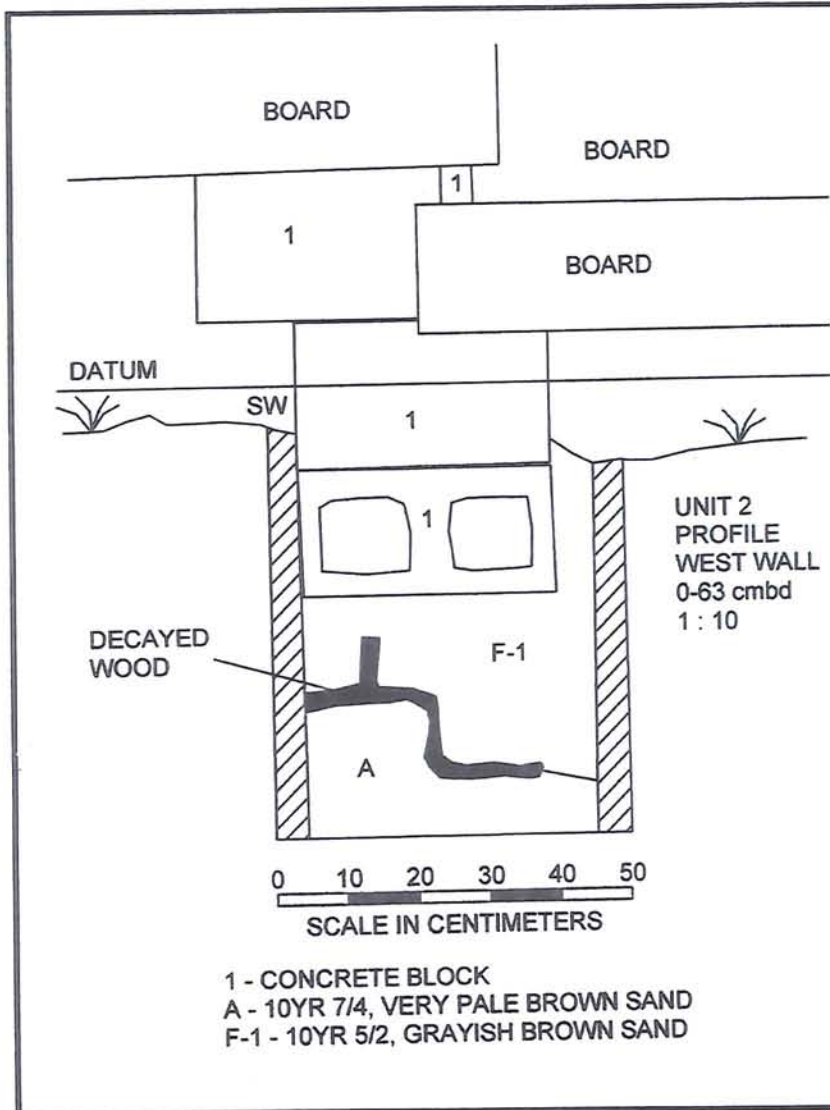


FIGURE 13. UNIT 2 PROFILE, MEMBERSHIP COTTAGE,
KORESHAN STATE HISTORIC SITE, LEE
COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

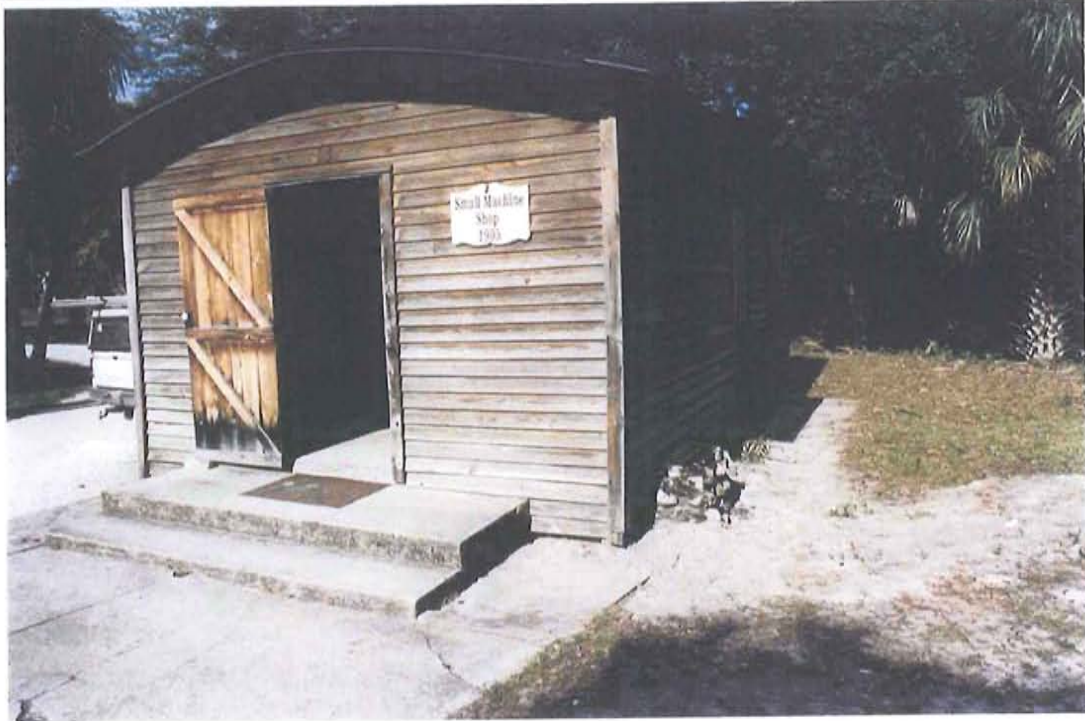


FIGURE 14. SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

concrete block piers. The building has horizontal clapboard siding with corner boards. The roof is a rubber rolled material. Access is via a concrete stoop to a central, vertical board door on the west end. There are three single six-over-six windows on the north side, two on the south side a set of paired windows on the east end (Figure 15). A stone and mortar mass of unknown function protrudes from the south side of the building. There is a single interior room with exposed structural walls and a wood floor with the boards running north-south. Like the other buildings, this structure is surrounded by pea gravel with a concrete landing at the entrance (FDEP n.d.b; Stevenson 2004).

Since the building was acquired by the Park Service, a number of repairs have been undertaken, including replacement of the exterior door, window and floor repairs, replacement of floor joists and levelling of the building, and removal of the interim roof with stabilization of the original roof (Stevenson 2004; FDEP n.d.b).

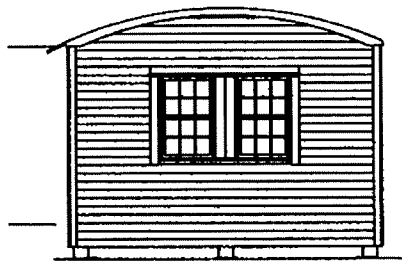
Unit 3, Small Machine Shop

Unit 3 was placed at the northeast corner, extending east from the corner pier (Figure 16). Like the other excavation units, Unit 3 was 50 cm wide by one meter long. A builders trench extended approximately 18 cm from the pier into the unit (Figures 17 and 18). The trench extended to the base of the pier, indicating that the fluted concrete piers are original to the structure. Since the Koreshans were manufacturing concrete building materials, it is probable they were made at the Settlement. The upper concrete block on the four-course pier probably dates to the foundation repairs. There was no evidence of earlier wood posts or piers.

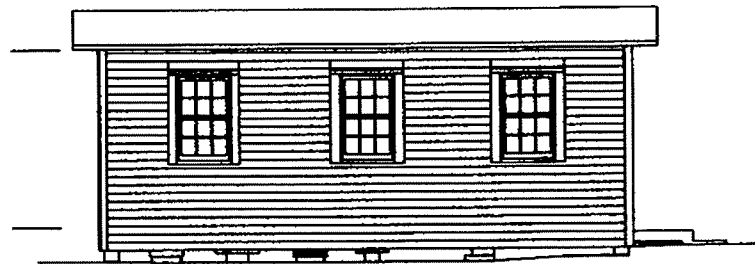
Unit 3 yielded a fairly small artifact assemblage, consisting of the same types of materials recovered from the Membership Cottage units (Table 3).

Table 3. Unit 3 Artifacts, Small Machine Shop, Koreshan State Historic Site

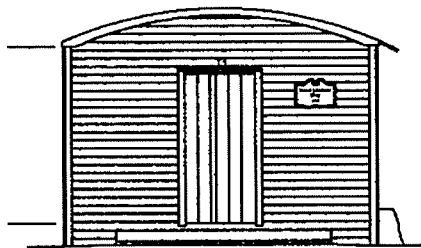
<u>Artifact</u>	<u>Count</u>	<u>Weight</u>
Kitchen Category		
Plain whiteware sherd	1	0.9
Architectural Category		
Window glass	6	12.8
Wire nails	15	58.5
Possible wire	12	63.4
Mortar	1	2.5
Activities Category		
Tincan fragments	3	0.9
Lead sprue	1	0.9
TOTAL ARTIFACTS	39	139.9



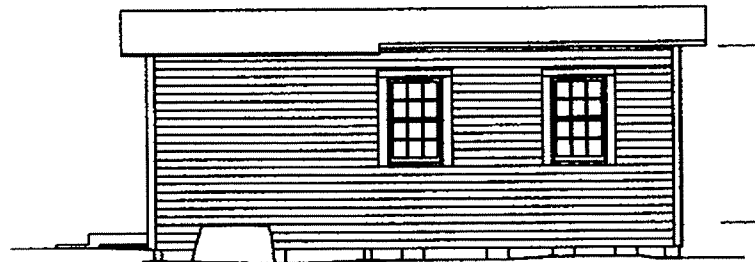
EAST



NORTH



WEST



SOUTH

SMALL MACHINE SHOP

FIGURE 15. SMALL MACHINE SHOP ELEVATIONS,
KORESHAN STATE HISTORIC SITE, LEE
COUNTY, FLORIDA

SOURCE: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services

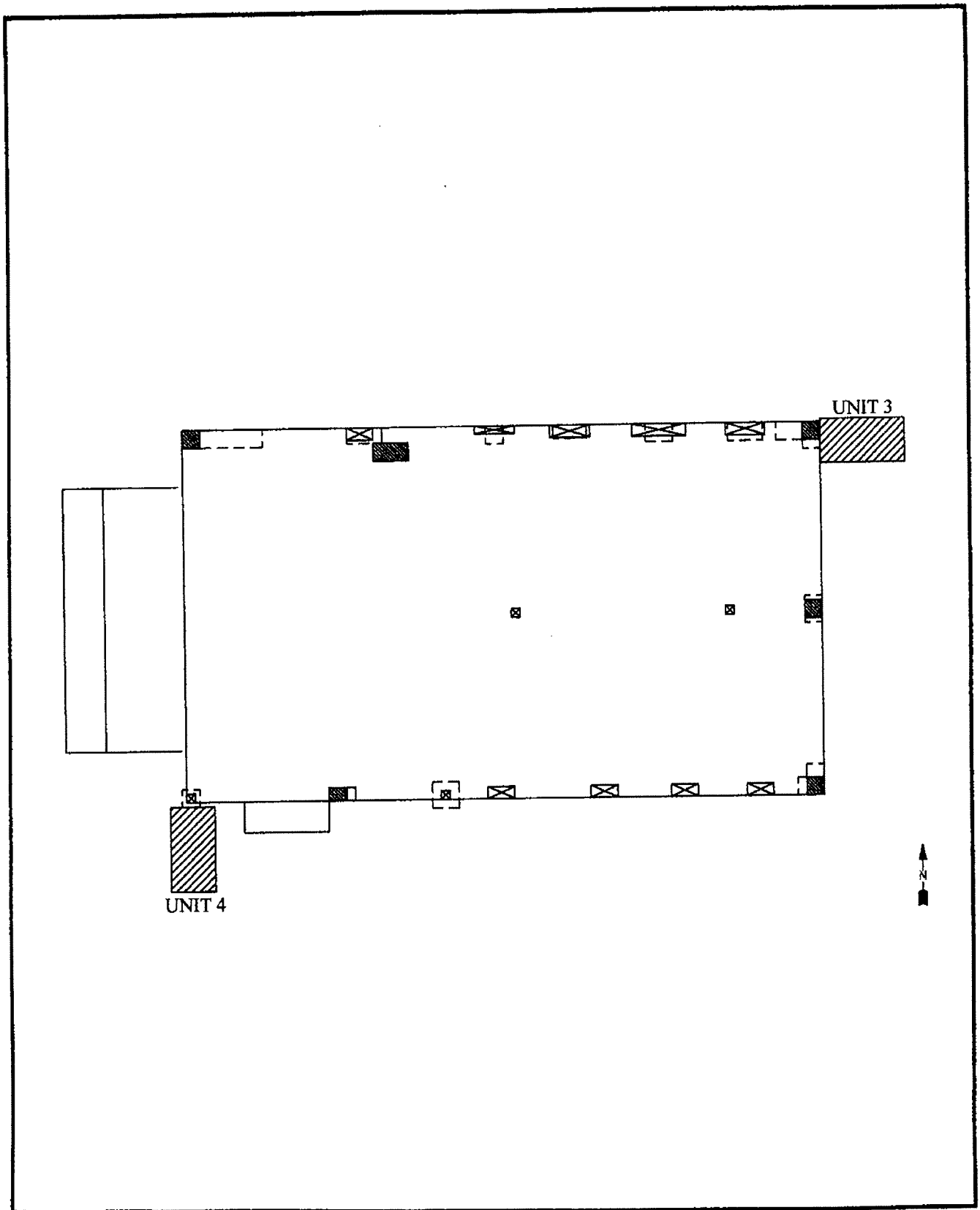


FIGURE 16. LOCATION OF EXCAVATION UNITS, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

BASE MAP: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services

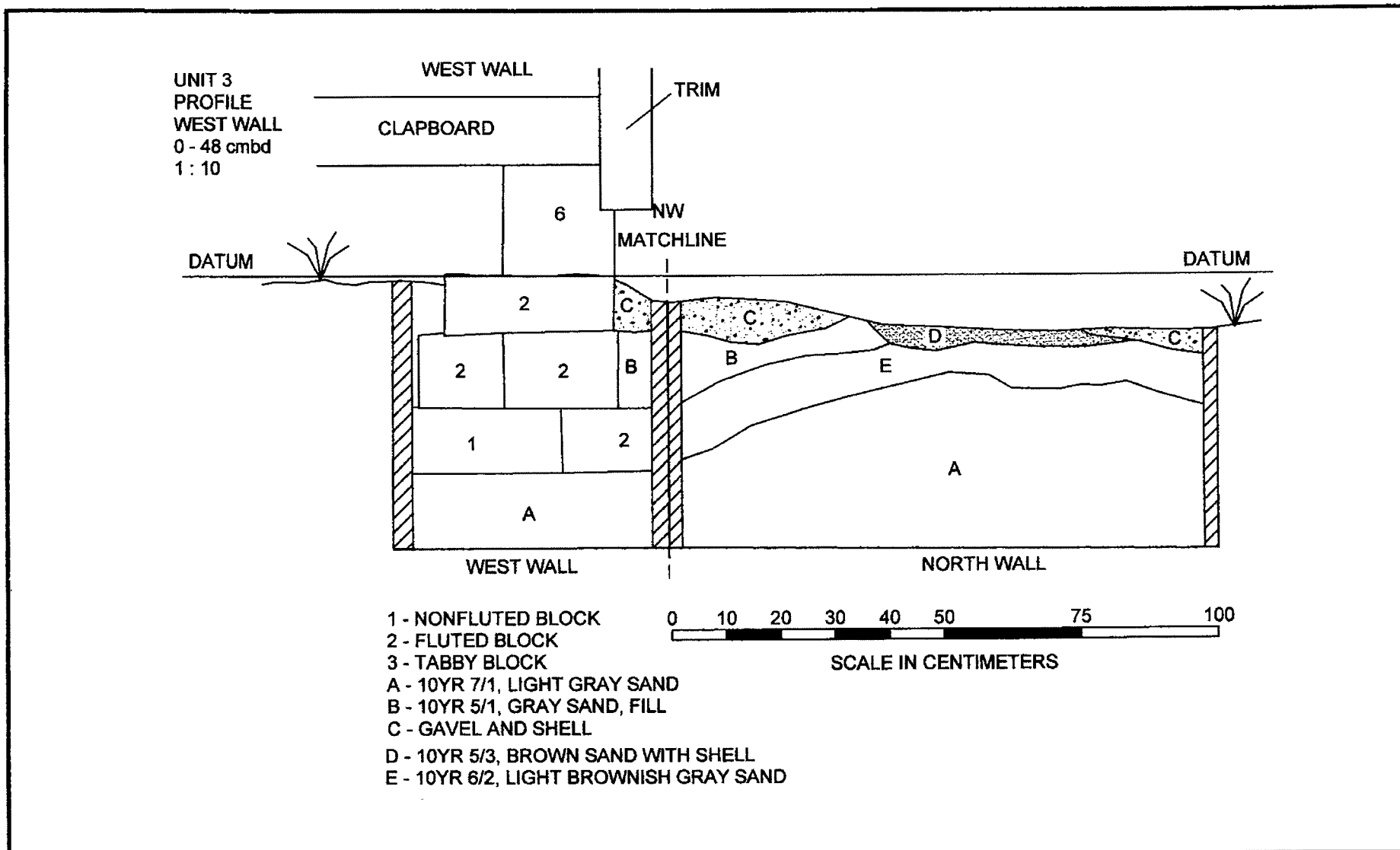


FIGURE 17. UNIT 3 PROFILE, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services



FIGURE 18. PHOTOGRAPHS, UNIT 3 PROFILE, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

Unit 4, Small Machine Shop

Unit 4 was placed at the south side of the southwest corner of the building, extending south from the pier (Figure 16). A 3/4-inch water pipe running parallel to the building was located in Level 2 of the unit. Level 4 exposed two features adjacent to the building (Figure 19). The area immediately adjacent to the building appears to be the builders trench for the pier, although it extended well beneath the pier (Figures 20 and 21). It also contained a rust stain from the water pipe which extended approximately 25 cm below the pipe (Figure 20). The second feature is a deep post hole approximately 40 cm wide, extending approximately 115 cm below surface with a rounded bottom (Figure 20). A wire extended throughout the depth of the feature on the north edge. This suggests that the feature may have been a utility pole with a grounding wire. This seems to be supported by recovery of porcelain insulator fragments from the unit.

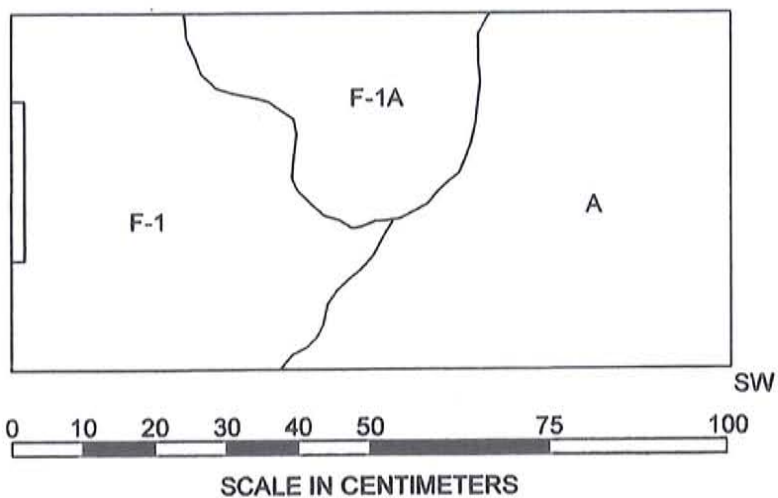
Although the adjacent protruding foundation was not exposed in the unit, it appears to be rock which is dry laid below ground surface to a depth of about 25 cm.

Unit 4 yielded more artifacts than any of the other units, many of which were consistent with an industrial structure (Table 4). This included vehicle parts, electrical items, and bottle glass and bottle caps. The only dishware was a cup rim. The only personal items were two milk glass buttons typically used for shirts. The higher artifact count is probably due to the location of the unit near the entrance to the building.

Table 4. Unit 4 Artifacts, Small Machine Shop, Koreshan State Historic Site

<u>Artifact</u>	<u>Count</u>	<u>Weight</u>
Kitchen Category		
Clear bottle glass	10	11.8
Crown bottle cap	1	4.4
Aluminum tab top	1	0.7
Porcelain cup rim	1	1.3
Architectural Category		
Window glass	5	4.6
Limerock	1	15.5
Masonite	1	1.9
Wire nails, 1 roofing	71	278.4
Wire	9	24.1
Wood screw	3	7.6
Clothing Category		
Milk glass button	2	0.8
Activities Category		
Tincan fragments	40	42.5
Auto gasket	3	4.1
Compression/oil ring fragment	1	3.7
Tire valve	2	2.2
Carriage bolt	1	14.9
Porcelain insulator	3	40.6
Aluminum fragment	1	1.4

UNIT 4 PLAN
42 cmbd 1:10



- 1 - TABBY BLOCK
- A - 10YR 8/1, WHITE SAND WITH GRAVEL AND SHELL
- F-1 - 10YR 7/2, LIGHT GRAY W/ RUST STAINS
- F-1A - 10YR 4/1, DARK GRAY AND 10YR 6/1, GRAY SANDS, SHOVEL LOADED



FIGURE 19. UNIT 4 PLAN, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

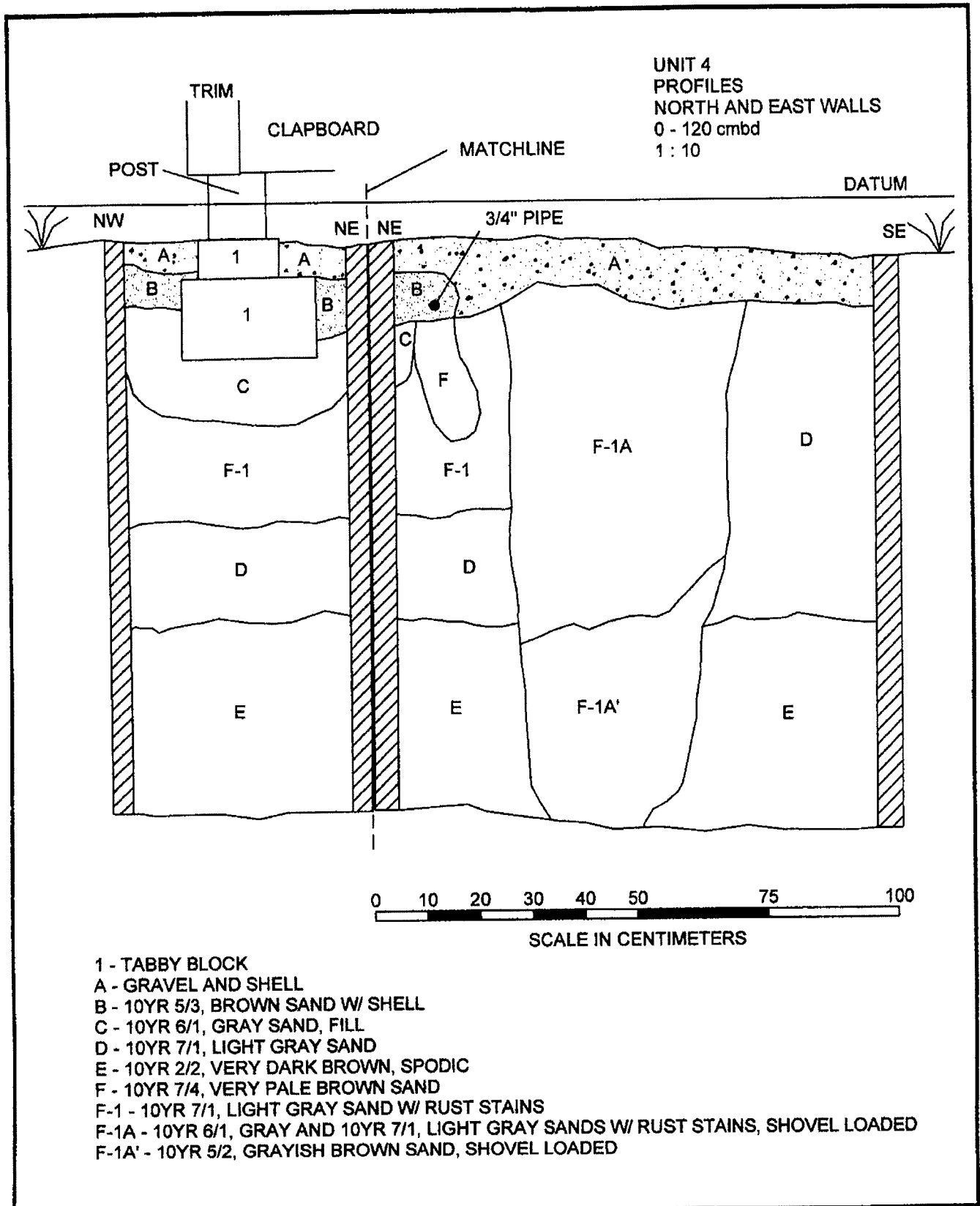


FIGURE 20. UNIT 4 PROFILE, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services



FIGURE 21. PHOTOGRAPHS, UNIT 4 PROFILE, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

SouthArc, Inc.

Archaeological and
Historical Services

Brass, unidentified	1	0.5
Brass bracket	1	20.9
Copper fragment	3	7.3
Copper strap	1	3.2
Copper switch part	1	3.9
Unidentified iron/steel parts	10	172.7
Steel spring	2	8.5
Nuts, bolts	2	18.6
Washers	2	6.3
Plastic, black	5	17.7
Fence staple	1	0.5
Faunal Category		
Bone, unidentified	1	0.1
Shell, quahog clam, whelk	<u>4</u>	<u>379.8</u>
TOTAL ARTIFACTS	190	1100.5

Conclusions and Recommendations

The excavations placed at the Membership Cottage demonstrated that the building was initially placed on wooden piers with a wood sill. Since these have almost totally rotted away, they may have been cypress, the wood most commonly used at the Settlement. At a later date, the wood piers were replaced with concrete block, probably manufactured by the Koreshans. More recently this block has been replaced with modern concrete block. Artifacts from this unit were consistent with the construction of the building and the early to mid-20th century residential occupation.

The Small Machine Shop appears to have always been on concrete block piers, with the original piers similar to those at the Membership Cottage, and probably Koreshan-made. A shallow builders trench was identifiable at each of the piers in the excavation units. The present concrete piers rest on top of the lower courses of the original piers. A utility pole seems to have been located adjacent to the southwest corner of the building. Artifacts recovered from this building are consistent with an industrial/shop activity. The few kitchen artifacts were associated with beverage consumption, and the only other domestic items were shirt buttons. The industrial items included both a carriage bolt and automobile parts, testimony to the long-term occupation of this property.

In addition to providing information for the HSR project, the four excavation units clearly demonstrate the potential to recover artifacts associated with the functions of the buildings. More extensive archaeological excavations at the Koreshan State Historic Site would undoubtedly provide additional information on the lifeways of the Koreshan Unity community.

REFERENCES CITED

Anonymous (Anon.)

1894 The Koreshan Unity. *Fort Myers Press*, Nov. 29, 1894.

Berrey, Richard S.

1928 *The Koreshan Unity: An Economic History of a Communistic Experiment in Florida*. Gainesville, FL.

Brooks, H. K.

1981 *Guide to the Physiographic Divisions of Florida*. Florida Cooperative Extension Service, Institute of Food and Agricultural Sciences, University of Florida, Gainesville.

Damkohler, E. E.

1967 *Memoirs of the First Settler*. Fort Myers Beach, FL.

Florida Dept. of Environmental Protection (FDEP)

n.d.a *Koreshan State Historic Site*. Visitors guide. Koreshan State Historic Site, Estero, FL.

n.d.b Information on the Membership Cottage and Small Machine Shop from the Volunteer notebooks. Koreshan State Historic Site, Estero, FL.

1961 Deed of sale, Koreshan Unity Inc. to Florida Board of Parks and Historic Memorials. Official Record 95, page 258. Document ID 4410. LABINS web page.

2004 Land survey notes, land records. LABINS web page.

Hinds, William Alfred

1975 *American Communities and Cooperative Colonies*. Philadelphia, PA.

Koreshan Unity Alliance, Inc. (KUA)

n.d. *The Koreshan Unity Settlement*. Self-guided tour booklet. Koreshan State Historic Site, Estero, FL.

Lombard and Nardi

1991 The Role of Landscape and Master Plan in the Cultural Heritage of the Unity Settlement. Miami, FL.

Mackle, Elliot J., Jr.

1971 *The Koreshan Unity in Florida, 1894-1910*. M.A. thesis, Coral Gables, FL.

- Michel, Hedwig
n.d. *A Gift to the People.*
- Rahn, Claude
1962 *A Brief Outline of the Life of Dr. Cyrus R. Teed (Koresh) and of the Koreshan Unity.*
Estero, FL.
- Rainard, Robert Lynn
1974 *In the Name of Humanity--The Koreshan Unity.* M.A. thesis.
- Stevenson, Linda
2004 Background information on Koreshan State Historic Site, Small Machine Shop and Membership Cottage, and plans and elevations for the buildings. Stevenson Architects, Inc., Bradenton, FL.
- U. S. Dept. of Agriculture (USDA)
1984 *Soil Survey of Lee County, Florida.* Soil Conservation Service, Washington, DC.
- U. S. Geological Survey (USGS)
1972 Estero, Fla. 7.5-minute topographic quadrangle map.

1999 Estero, Florida, United States. Microsoft Terraserver web page.
- www.captiva.com
2004 Koreshan State Historic Site. State Parks web page.

UNANTICIPATED DISCOVERIES AND FLORIDA LAW

Due to the local nature of land use decisions, historic preservation laws are predominately enforced by state and local governments. The Florida legislature has enacted laws pertaining to unmarked human burials, intending that “all human burials and human skeletal remains be accorded equal treatment and respect based upon common human dignity without reference to ethnic origin, cultural background, or religious affiliation.”¹ This section discusses some of the laws which may apply in the event that certain unanticipated discoveries are encountered.

Applicable Florida Law

The mandates of Florida Statutes (Chapter 872, *Offenses Concerning Dead Bodies And Graves*) apply when human skeletal remains, human burial, or associated burial artifacts have been or are discovered “upon or within any public or private land in the state, including submerged lands.”² An “unmarked human burial”³ is statutorily defined as:

- “any human skeletal remains or associated burial artifacts”, or
- “any location, including any burial mound or earthen or shell monument, where human skeletal remains or associated burial artifacts are discovered or believed to exist on the basis of archaeological or historical evidence, excluding any burial marked or previously marked by a tomb, monument, gravestone, or other structure or thing placed or designed as a memorial of the dead.”

Duty to Immediately Cease Activity

Upon discovery of an unmarked human burial, other than during an archaeological excavation authorized by the state or an educational institution, “all activity that may disturb the unmarked human burial shall cease immediately, and the district medical examiner shall be notified. Such activity shall not resume unless specifically authorized by the district medical examiner or the State Archaeologist.”⁴ Thus, when an unmarked human burial is encountered, the contractor must notify the district medical examiner and cease all work in the vicinity, and should protect the area from further spoliation. SouthArc recommends covering the find with plastic sheeting or tarps, marking the location, and preventing further disturbances to the immediate area. Such discoveries should be

¹ FLA STAT. § 872.05 (1) (Unmarked Human Burials; Legislative Intent) 2002.

² *Id.* (stating “This section applies to all human burials, human skeletal remains, and associated burial artifacts not otherwise protected under chapter 497 or other state law”).

³ *Id.* § 2(f).

⁴ *Id.* § 2(b) (providing the “District medical examiner is a person appointed under F.S. § 406.06, §406.15, or §406.17”; and § 2(e), stating “State Archaeologist” means the person employed by the Division of Historical Resources of the Florida Department of State pursuant to §267.031(6)).

immediately reported to SouthArc at (352) 372-2633). SouthArc will respond to such calls and initiate the necessary actions to comply with Chapter 872.

Duty to Notify Authorities

Florida law imposes a mandatory duty to notify local law enforcement authorities of site disturbance. "Any person who knows or has reason to know that an unmarked human burial is being unlawfully disturbed, destroyed, defaced, mutilated, removed, excavated, or exposed shall immediately notify the local law enforcement agency with jurisdiction in the area where the unmarked human burial is located."⁵ Upon inspection, "any law enforcement agency that finds evidence that an unmarked human burial has been unlawfully disturbed shall notify the district medical examiner."⁶

Procedures Following the Discovery of an Unmarked Human Burial

Jurisdiction and duties of the district medical examiner (DME) are described at §872.05 (4)(a). Note: this section does not apply to an archaeological excavation authorized by the state or an educational institution.⁷ Initially, the DME shall assume jurisdiction over, and responsibility for, such unmarked human burial if he or she"

- determines that the unmarked human burial may be involved in a legal investigation, or
- represents the burial of an individual who has been dead less than 75 years

After receiving notification of the unmarked human burial, the DME has 30 days to determine if he or she shall maintain jurisdiction or refer the matter to the State Archaeologist. If the unmarked human burial is determined not to be involved in a legal investigation and represents the burial of an individual who has been dead 75 years or more, the DME will notify the State Archaeologist.

Duties of the State Archaeologist

Upon receiving notice from the DME, the Division of Historical Resources of the Department of State ("Division") may assume jurisdiction over and responsibility for the unmarked human burial pursuant to §872.05(6).⁸ This process is typically to initiate efforts to properly protect the burial, human skeletal remains, and associated burial artifacts. If the Division assumes jurisdiction, "the State Archaeologist shall consult a human skeletal analyst who shall report

⁵ *Id.* (3)(a).

⁶ *Id.* (3)(b).

⁷ See §872.05 (5) (Discovery of an Unmarked Human Burial During an Archaeological Excavation).

⁸ *Id.* (6).

within 15 days as to the cultural and biological characteristics of the human skeletal remains and where such burial or remains should be held prior to a final disposition.”⁹

The State Archaeologist must make “reasonable efforts to identify and locate persons who can establish direct kinship, tribal, community, or ethnic relationships with the individual or individuals whose remains constitute the unmarked human burial.”¹⁰ If possible, he or she “shall consult with the closest related family member or recognized community leaders, if a community or ethnic relationship is established, in determining the proper disposition of the remains found in the unmarked human burial.”¹¹

Ownership of A Historical, Archaeological, or Significant Unmarked Human Burial

The State Archaeologist is required to determine whether the unmarked human burial is historically, archaeologically, or scientifically significant. If the burial is deemed significant, reinterment may not occur until the remains have been examined by a human skeletal analyst designated thereby. Frequently, no links to family or the community can be identified. Under Florida law, this occurs when the State Archaeologist “is unable to establish a kinship, tribal, community, or ethnic relationship with the unmarked human burial, determine the proper disposition of the burial and consult with persons with relevant experience, including:

- (1) a human skeletal analyst,
- (2) two Native American members of current state tribes recommended by the Governor's Council on Indian Affairs, Inc., if the remains are those of a Native American,
- (3) two representatives of related community or ethnic groups if the remains are not those of a Native American, or
- (4) an individual who has special knowledge or experience regarding the particular type of the unmarked human burial.”¹²

If the State Archaeologist finds that an unmarked human burial is historically, archaeologically, or scientifically significant and if the parties (listed above) with whom he or she is required under §872.05(6)(c) to consult agree, the human skeletal remains, and the associated burial artifacts, shall belong to the State of Florida. The title thereto will be vested in the Division.

SouthArc's Scope of Work

SouthArc will provide coordination with state and local agencies, including the Division. We will work with property owners and contractors to alleviate construction delays or alterations resulting from such discoveries. Typically, construction is temporarily shifted to areas away

⁹ *Id.* (4)(c).

¹⁰ *Id.* (6)(b).

¹¹ *Id.*

¹² *Id.* (6)(c).

from the find while an assessment is conducted. Depending upon results of the assessment however, project redesign, and/or provisions for reburial, may be required.

Should the remains be classified as archaeologically or scientifically significant, SouthArc will negotiate a Scope of Work or a Management Plan with the State Archaeologist. A Management Plan may include disinterment, or preservation in place. If disinterment is selected, SouthArc will work with a physical anthropologist to carefully remove the remains for forensic examination. Following completion of the forensic investigation, a Management Report will be provided to facilitate decisions regarding whether site development activities may proceed in the vicinity of the discovery. The Management Report will also include all relevant correspondence between SouthArc, the District Medical Examiner, the State Archaeologist, and other agencies involved in the project.

When forensic and management analyses are completed, SouthArc will prepare a draft report to the client for review and approval. Florida Master Site File forms will be completed and updated as needed. In compliance with Florida law, SouthArc will submit a Final Report to the State Archaeologist.¹³

¹³ *Id.* (7) (providing “The archaeologist and human skeletal analyst involved in the archaeological excavation and scientific analysis of an unmarked human burial shall submit a written report of archaeological and scientific findings as well as a summary of such findings, in terms that may be understood by laypersons, to the State Archaeologist within 2 years after completion of an excavation. The division shall publish the summary within 1 year after its receipt and shall make such report available upon request.”).

APPENDIX A

**FLORIDA 1A-32 ARCHAEOLOGICAL RESEARCH PERMIT
AND SCOPE OF WORK
KORESHAN STATE HISTORIC SITE**



FLORIDA DEPARTMENT OF STATE

Glenda E. Hood

Secretary of State

DIVISION OF HISTORICAL RESOURCES

April 13, 2004

RECEIVED APR 13 2004

Lucy B. Wayne, Ph.D.
SouthArc, Inc.
3700 NW 91st Street
Suite D300
Gainesville, Florida 32606-7307

Re: 1A-32 Archaeological Research Permit Number 0304.57
Membership Cottage and Small Machine Shop, Koreshan State Park

Dear Dr. Wayne,

The application, which you submitted on behalf of SouthArc, Inc., for an archaeological research permit under Chapter 1A-32 of the Rules of the Department of State, was received by the Division of Historical Resources, Bureau of Archaeological Research (BAR) on April 9, 2004. We have reviewed the information contained in your application and find it to be complete and sufficient.

You are hereby granted a permit to conduct the proposed archaeological field investigations between April 19, 2004 and April 23, 2004 subject to the following stipulations:

- (1) As the Principal Investigator, you shall be responsible for the direction of all archaeological investigations and for the preparation of the final written report on the results of the permitted research. The Principal Investigator or another professional archaeologist must be on site during all fieldwork.
- (2) A copy of this permit shall be provided to the land managing agency and another copy shall be carried by field personnel during field work.
- (3) The effective field investigation dates are also subject to receipt of written permission from the State Park manager and from the DEP Division of Recreation and Parks, Bureau of Natural and Cultural Resources (attn: Steve Martin; 578-A Appleyard Drive, Tallahassee, FL 32304) and, in some instances, the State/Federal dredge-and-fill permitting program. Those agencies likely will require work performance conditions relevant to their resource management and

500 S. Bronough Street • Tallahassee, FL 32399-0250 • <http://www.flheritage.com>

Director's Office Archaeological Research Historic Preservation Historical Museums
(850) 245-6300 • FAX: 245-6435 (850) 245-6444 • FAX: 245-6436 (850) 245-6333 • FAX: 245-6437 (850) 245-6400 • FAX: 245-6433
 Palm Beach Regional Office St. Augustine Regional Office Tampa Regional Office
(561) 279-1475 • FAX: 279-1476 (904) 825-5045 • FAX: 825-5044 (813) 272-3843 • FAX: 272-2340

Lucy B. Wayne, Ph.D.

April 13, 2004

Permit No. 0304.57, page 2 of 4

permitting responsibilities. Copies of the land management agency permission and, when appropriate, the authorization of the dredge and fill permitting agency/agencies to conduct the subject work shall be provided to the BAR.

(4) Unless approved in writing by this office, no work beyond that described in and attached to your application, and approved in this permit, shall be performed. This permit, however, is valid for up to one year following the requested report due date. Requests for changes in fieldwork and report/artifact due dates may be made and approved by phone or in writing during this time and do not require amendments to the permit.

(5) All work conducted under this permit must meet the report standards and guidelines required by Rule 1A-46, Florida Administrative Codes.

(6) Archaeological and historical sites encountered during the permitted work must be recorded on the appropriate Florida Master Site File (FMSF) forms and accompany the final report. FMSF Survey Log sheets must accompany each final report submitted as a requirement of this permit. Contact the FMSF at (850) 245-6440 for additional information on current forms and

(7) All artifacts and related materials recovered from state-owned lands are the property of the State of Florida, and are hereby loaned to the permit recipient until the completion of the project on July 1, 2004.

(8) The permit recipient agrees to be responsible for the proper curation and conservation of recovered artifacts and other recovered site materials until such time as those artifacts and other site materials are conveyed to the BAR for curation.

(9) The permit recipient further agrees not to remove from a stable site environment artifacts and materials which the permit recipient is unable to properly curate and conserve.

(10) Copies of all notes, maps, photographs, videotapes, and other field records pertaining to research conducted under this permit shall be provided to the BAR following completion of the project.

(11) All artifacts obtained from state-owned or controlled lands shall be accessioned/catalogued in accordance with instructions provided by BAR staff (see attachment). Please call the BAR Conservation and Collections Management Lab at (850) 245-6444 to discuss the manner in which collected artifacts should be bagged and accessioned, as well as to resolve any other collections management issues.

(12) Following completion of the project all artifacts and related materials obtained from state-owned or controlled lands are to be conveyed to the BAR for permanent curation or processing for loan. Loan requests shall be in writing to the BAR and shall include a listing of the items requested for loan. Loan requests also shall include a written commitment from the curation facility to assume responsibility for the loaned materials.

(13) At least one copy of the final written technical report and at least one copy of a popular report describing the results of the permitted research shall be provided to the BAR by July 1, 2004. The format of the popular report shall be mutually agreed to by the applicant and the land management agency.

Lucy B. Wayne, Ph.D.

April 13, 2004

Permit No. 0304.57, page 3 of 4

At least one copy of each of these documents must be sent to the Bureau of Archaeological Research, 1A-32 Permit Program, Division of Historical Resources, 500 South Bronough Street, Tallahassee, Florida 32399-0250, and are in addition to any copies that may be sent to the Division of Historical Resources for other purposes."

(14) In any release of information, including public presentations, media contacts, and the final written report, there shall be acknowledgment that the portion of the project involving state-owned and controlled land was conducted under the terms of an archaeological research permit issued by the Florida Department of State, Division of Historical Resources, Bureau of Archaeological Research.

(15) If unmarked human remains are discovered, the permit recipient shall comply with the provisions of 872.05, Florida Statutes, and, when appropriate, Rule 1A-44, Florida Administrative Code. Specifically, upon discovery of unmarked human remains, all activities that might further affect those remains shall be halted and the remains protected from further disturbance until an appropriate course of action has been determined by the local medical examiner or by the State Archaeologist, as appropriate.

(16) In issuing this permit, the State assumes no liability for the acts, omissions to act or negligence of the permit recipient, its agents, servants or employees; nor shall the permit recipient exclude liability for its own acts, omissions to act or negligence to the State.

(17) The permit recipient agrees to assume all responsibility for, indemnify, defend and hold the Division of Historical Resources harmless from and against any and all claims, demands, liabilities, or suits of any nature whatsoever arising out of, because of, or due to any act or occurrence of omission or commission arising out of the permit recipient's operations pursuant to this permit and shall investigate all claims at its own expense. In addition, the permit recipient hereby agrees to be responsible for any injury or property damage resulting from any activities conducted by the permit recipient.

(18) The parties hereto agree that the permit recipient, its officers, agents and employees, in performance of this permit, shall act in the capacity of an independent contractor and not as an officer, employee or agent of the State.

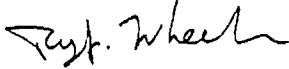
Lucy B. Wayne, Ph.D.

April 13, 2004

Permit No. 0304.57, page 4 of 4

If you have any questions about the permit process or about the requirements, please write or call Brenda Swann, Permit Administrator, or contact her by e-mail at bswann@dos.state.fl.us. Please refer to the permit number in all such contacts.

Sincerely,



Ryan J. Wheeler, Ph.D.
Chief, Bureau of Archaeological Research

Please sign in the space below indicating your acceptance of the terms and conditions of this permit. Please return an executed copy to this agency. This permit will not become effective until an executed copy has been received by the Division of Historical Resources, Bureau of Archaeological Research. Please call to verify receipt before beginning fieldwork.

I understand and accept the terms of this Chapter 1A-32 Archaeological Research Permit.

Lucy B Wayne
Signature

4/14/04
Date

enclosure (1)

xc: Steve Martin



Jeb Bush
Governor

Department of Environmental Protection

Bureau of Natural and Cultural Resources
578-A S Appleyard Drive Tallahassee, Florida 32304

Colleen M. Castille
Secretary

April 16, 2004

Dr. Lucy Wayne, President
SouthArc, Inc.
3700 N.W. 91st Street
Suite D300
Gainesville, Florida 32606-7307

Dear Dr. Wayne:

The Division of Recreation and Parks has received a copy of your application for an archaeological research project submitted under Rules 1A-32, F.A.C., to the Division of Historical Resources. Our office has coordinated with staff of the district and park to consider possible impacts that the project may have on resources, operations, and administration of Koreshan Historic Site State Park.

In accordance with Division procedures for the review of archaeological projects, you are hereby advised that the project to investigate below-ground elements of building foundation piers for the Membership Cottage and Small Machine Shop as part of the Historic Structures Report for these buildings has been approved. This letter authorizes the work described in your archaeological research permit application dated March 16, 2004, and the permit issued by the Bureau of Archaeological Research (BAR) dated March April 13, 2004. Your project may proceed subject to the conditions set forth by the State Archaeologist and this letter

1. The project must be conducted in a manner consistent with all laws, rules, and operational procedures and guidelines established for state park lands. The park manager's office may provide copies of such materials for your reference.
2. If any proposed changes to the project scope or methodology may adversely affect park management or resources, written approval of such changes must be obtained from the park manager prior to commencement of such project changes.
3. The park manager must be contacted before field work is initiated so that management can meet with researchers on site to review the project on the property. Particular concerns that shall be addressed, among others, are the possible presence of threatened or endangered, or otherwise listed, flora and fauna on the property; and concerns regarding the extent of any temporary structures, equipment or materials that may be brought to the property. All ground disturbances associated with the authorized research project must be backfilled and the ground surface must be returned to pre-existing conditions or as stipulated by park management.
4. Copies of the final written report describing the results of the project should be included as a volume within the project documents for the Historic Structures Report in accordance with the project scope of work.
5. This authorization may not be transferred or subcontracted to another party.

Dr. Lucy Wayne
April 16, 2004
Page Two

6. Park management retains the right to revoke authorization of the project if activities adversely impact: natural or cultural resources; the safety of the public or staff; park operations; or, the research team fails to perform in accordance with conditions contained herein, or set forth in the permit issued by the State Archaeologist

7. The archaeological investigation shall include excavation of locations around the foundations of the Membership Cottage and the Small Machine Shop to support needed information for the historic structures report. The park requests notification when SouthArc conveys artifacts to the Department of State, Division of Historical Resources as required under the archaeological research permit. The park would like to consider requesting a loan or conveyance of any appropriate artifacts to the park for interpretive purposes.

8. The goal of disseminating information must be balanced with the need to protect sensitive information whose disclosure might result in damage to historic properties. Therefore, any significant finds shall be promptly reported to the Park Manager, or his designee, who is solely responsible for the content and distribution of information to the public

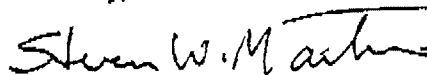
9. The principle investigator is responsible for obtaining all required Federal, State and local government permits. This approval is not valid unless the applicant has an active permit under Rules 1A-32, F.A.C., a copy of which must be provided to the park's designated staff contact or park manager prior to project commencement.

10. In issuing this approval, the State assumes no liability for the acts, omissions to act, or negligence of the researchers, their agents, servants or employees; nor shall the researchers exclude liability for their own acts, omissions to act or negligence to the State, except where otherwise provided by law to registered volunteers for the park

11. The research team shall perform as an independent party and not as an agent, representative, or employee of the Division or Department

If you should have any questions about this approval, please contact me at (350) 921-8485

Sincerely,



Steven W. Martin
Cultural Resources Manager
Bureau of Natural & Cultural Resources
Division of Recreation and Parks

SWM/

cc: Dana Bryan, Chief, Bureau of Natural & Cultural Resources
Michael Murphy, Chief, Bureau of Parks District 4
Robert Baker, Manager, Koreshan Historic Site State Park
Ryan Wheeler, Chief, Bureau of Archaeological Research, DHR
Susan Harp, Bureau of Historic Preservation, DHR
Linda Stevenson, President, Stevenson Architects, Inc.



Department of Environmental Protection

Jeb Bush
Governor

Colleen M. Castille
Secretary

Department of Environmental Protection
Koreshan State Historic Site
PO Box 7
Estero, FL 33928

April 19, 2004

Dr. Lucy Wayne, President
SouthArc, Inc.
3700 N. W. 91st Street
Suite D300
Gainesville, FL 32606

Dear Dr. Wayne:

Management at Koreshan State Historic Site is pleased and approves the project you have been contracted to investigate in the park's historic settlement through the Florida 1A-32 Archaeological Research Permit you have been issued.

Koreshan staff will meet with the Southarc team on Monday, April 19th before the team commences investigation of the below ground elements of building foundation piers for the Membership Cottage and Small Machine Shop as part of the Historic Structures Report.

Sincerely,

Karen LaCivita
Assistant Park Manager
Koreshan State Historic Site

KGL/

cc: Robert Baker, Manager, Koreshan State Historic Site

**SCOPE OF WORK
ARCHAEOLOGICAL TESTING
KORESHAN STRUCTURES
KORESHAN STATE HISTORIC SITE**

**SouthArc, Inc.
March 16, 2004**

The survey delineated in this scope of work will be conducted under a Florida 1A-32 Archaeological Research Permit, which will be obtained prior to initiation of any fieldwork.

Purpose and Goal

Two structures at the Koreshan State Historic Site are undergoing the Historic Structures Report (HSR) process. Archaeological research has been requested in order to provide additional information to the architect for the HSR. This research is to be "limited to delineating foundations and/or builders trenches" (Stevenson 2004). The structures are primarily frame buildings constructed on piers. As a result, foundation and/or building trench information will be limited in nature. The structures are:

1. Membership Cottage: a 13 x 32 foot frame building on piers: the entry porch is also on posts or piers.
2. Small Machine Shop: a 12 x 18 foot frame structure on piers: the entry porch is also on posts.

Project Approach

Since this project is limited in scope, SouthArc proposes to use a series of small excavation units placed adjacent to the piers or foundations of the structures. Units will be approximately 50 centimeters (cm) wide and less than one meter long perpendicular to the foundation or pier. Units will be judgmentally placed in consultation with the project architect. It is probable that one unit will be placed on each side of the buildings. Excavation will be by natural soil strata with soil screened through 1/4-inch hardware cloth. The units will not necessarily be excavated to culturally sterile depths as the goal is to provide structural information. Thus excavation may be stopped at the base of the foundations or builders trenches (if present). Recovered artifacts will be identified by unit and level; artifacts will be returned to Gainesville for analysis. Field notes will document all excavations, including location, soil stratigraphy and cultural features. A field map will be maintained showing all test unit locations. Scale drawings and photographs will complete the documentation of the units.

Analysis and Documentation

All cultural materials will be gently cleaned and catalogued using regional and historic typologies. The completed catalog will be correlated with field records and background information to complete the project report. Graphics, photographs and tables will be provided as needed to supplement the text. New and/or updated Florida Master Site File forms will be completed to document the project. A draft copy of the report will be provided to the park manager for review. Once the review comments are received, copies of the final report will be distributed as required by the 1A-32 Archaeological Research Permit. All recovered artifacts and project records will be delivered to the Bureau of Archaeological Research for permanent curation.

References Cited

Stevenson, Linda

2004 Personal communication. Project architect, Stevenson Architects.

APPENDIX B

**ARTIFACT CATALOG
MEMBERSHIP COTTAGE AND
SMALL MACHINE SHOP
KORESHAN STATE HISTORIC SITE**

ARTIFACT CATALOG, MEMBERSHIP COTTAGE AND SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE

FS#	LOCATION	DEPTH	DESCRIPTION	COUNT	TOTAL #	WEIGHT (g)	TOTAL WGT.
MEMBERSHIP COTTAGE							
1	UNIT 1	L-1, 0 - 20cmbd	CERAMIC, WHITEWARE, PLAIN	1		7.2	
1	UNIT 1	L-1, 0-20cmbd	RING, BRASS, PROB. GOLD PLATED W/ 3 POSS. OPAL BEADS	1		1.2	
1	UNIT 1	L-1, 0-20cmbd	NAILS, WIRE, 1 ROOF, 4 FINISH	21		65.6	
1	UNIT 1	L-1, 0-20cmbd	WIRE	3	26	2.1	76.1
2	UNIT 1	L-2, 20-30cmbd	GLASS, CLEAR, BOTTLE FRAG.	1		1.1	
2	UNIT 1	L-2, 20-30cmbd	SLATE	1		1.2	
2	UNIT 1	L-2, 20-30cmbd	SHELL, WHELK COLUMNELLA	1		9.3	
2	UNIT 1	L-2, 20-30cmbd	METAL, CAN OR BUCKET FRAGS, 1 W/ RIVET	3		3.1	
2	UNIT 1	L-2, 20-30cmbd	NAILS, WIRE	15	21	30.6	45.3
3	UNIT 1	L-3, 30-45cmbd, FEATURE 1	NAILS, WIRE, CORRODED	3	3	3.9	3.9
4	UNIT 1	L-3, 30-40cmbd, FEATURE 2	NAILS, WIRE, 1 COMPLETE	3		10.1	
4	UNIT 1	L-3, 30-40cmbd, FEATURE 2	METAL, TINCAN FRAGS.	2	5	1.1	11.2
5	UNIT 1	L-4, 40-50cmbd, FEATURE 2	WOOD FRAGS.	42		27.2	
5	UNIT 1	L-4, 40-50cmbd, FEATURE 2	NAILS, WIRE	2	44	10.8	38.0
6	UNIT 1	L-4, 40-50cmbd	BRICK FRAG.	1		3.6	
6	UNIT 1	L-4, 40-50cmbd	FURNITURE TACK	1	2	0.8	4.4
UNIT 1 TOTALS					101		178.9
7	UNIT2	L-1, 10-20cmbd	GLASS, CLEAR, WINDOW	1		9.9	
7	UNIT2	L-1, 10-20cmbd	METAL, TINCAN FRAG	1	2	>0.1	9.9
8	UNIT 2	L-2, 20-30cmbd	SAFETY PIN FRAG.	1		0.8	
8	UNIT 2	L-2, 20-30cmbd	GROMMETS	2		0.4	
8	UNIT 2	L-2, 20-30cmbd	GLASS, MILK	1		0.3	
8	UNIT 2	L-2, 20-30cmbd	WHITEWARE, PLAIN	1		0.7	
8	UNIT 2	L-2, 20-30cmbd	GLASS, CLEAR, WINDOW	3		3.8	
8	UNIT 2	L-2, 20-30cmbd	GLASS, CLEAR, BOTTLE	1		0.9	
8	UNIT 2	L-2, 20-30cmbd	GLASS, CLEAR, LAMP	1		0.2	
8	UNIT 2	L-2, 20-30cmbd	METAL, TINCAN FRAGS.	3		1.8	
8	UNIT 2	L-2, 20-30cmbd	NAILS, WIRE	11		34.7	
8	UNIT 2	L-2, 20-30cmbd	SHELLS, UNID. CLAM	4	28	1.2	44.8
9	UNIT 2	L-3, 30-40cmbd	GLASS, CLEAR, BOTTLE	1		16.3	
9	UNIT 2	L-3, 30-40cmbd	METAL, TINCAN FRAG.	1		0.2	
9	UNIT 2	L-3, 30-40cmbd	WIRE FRAG.	3		0.9	
9	UNIT 2	L-3, 30-40cmbd	NAILS, WIRE, 1 COMPLETE	5	10	21.7	39.1
10	UNIT 2	L-4, 40-50cmbd, FEATURE 1	NAILS, WIRE	4		6.3	
10	UNIT 2	L-4, 40-50cmbd, FEATURE 1	BONE, VERTEBRA, UNID. FISH	1	5	0.2	6.5
11	UNIT 2	L-5, 50-64cmbd	WIRE FRAG.	1	1	0.2	0.2
UNIT 2 TOTALS					46		100.5
MEMBERSHIP COTTAGE TOTALS					147		279.4

ARTIFACT CATALOG, MEMBERSHIP COTTAGE AND SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE

ES#	LOCATION	DEPTH	DESCRIPTION	COUNT	TOTAL #	WEIGHT (g)	TOTAL WGT.
SMALL MACHINE SHOP							
12	UNIT 3	L-1, 0-18cmbd	GLASS, CLEAR, WINDOW	4		7.6	
12	UNIT 3	L-1, 0-18cmbd	LEAD SPRUE	1		0.9	
12	UNIT 3	L-1, 0-18cmbd	METAL, TINCAN FRAGS.	2		0.6	
12	UNIT 3	L-1, 0-18cmbd	NAILS, WIRE	14	21	54.2	63.3
13	UNIT 3	L-2, 18-28cmbd	GLASS, CLEAR, WINDOW	2		5.2	
13	UNIT 3	L-2, 18-28cmbd	WHITEWARE, PLAIN, RIM	1		0.9	
13	UNIT 3	L-2, 18-28cmbd	METAL, HEAVILY CORRODED, POSS. WIRE	12	15	63.4	69.5
14	UNIT 3	L-3, 28-38cmbd	METAL, TINCAN FRAG.	1		0.3	
15	UNIT 3	L-3, 28-38cmbd, builder's trench	MORTAR	1	2	2.5	2.8
16	UNIT 3	L-4, 38-48cmbd	NAIL, WIRE, HEAVILY CORRODED	1	1	4.3	4.3
UNIT 3 TOTALS					39		139.9
17	UNIT 4	L-1, 0-15cmbd	GLASS, CLEAR, WINDOW	4		3.4	
17	UNIT 4	L-1, 0-15cmbd	GLASS, CLEAR, BOTTLE	8		8.5	
17	UNIT 4	L-1, 0-15cmbd	BUTTON, MILK GLASS	1		0.4	
17	UNIT 4	L-1, 0-15cmbd	CERAMIC, PORCELAIN, CUP RIM	1		1.3	
17	UNIT 4	L-1, 0-15cmbd	CERAMIC, PORCELAIN, INSULATOR	2		27.6	
17	UNIT 4	L-1, 0-15cmbd	PLASTIC, BLACK	2		4.0	
17	UNIT 4	L-1, 0-15cmbd	TIRE VALVES	2		2.2	
17	UNIT 4	L-1, 0-15cmbd	MASONITE FRAG.	1		1.9	
17	UNIT 4	L-1, 0-15cmbd	AUTO GASKET FRAGS.	3		4.1	
17	UNIT 4	L-1, 0-15cmbd	METAL, COMPRESSION / OIL RING FRAG.	1		3.7	
17	UNIT 4	L-1, 0-15cmbd	METAL, COPPER, STRAP FRAG.	1		3.2	
17	UNIT 4	L-1, 0-15cmbd	METAL, BRASS, UNID.	1		0.5	
17	UNIT 4	L-1, 0-15cmbd	CARRIAGE BOLT FRAG.	1		14.9	
17	UNIT 4	L-1, 0-15cmbd	NUT	1		7.4	
17	UNIT 4	L-1, 0-15cmbd	WASHERS, 1 LOCK, 1 FLAT	2		6.3	
17	UNIT 4	L-1, 0-15cmbd	WOOD SCREWS	2		3.1	
17	UNIT 4	L-1, 0-15cmbd	STAPLE	1		0.5	
17	UNIT 4	L-1, 0-15cmbd	NAILS, ROOFING	8		16.5	
17	UNIT 4	L-1, 0-15cmbd	NAILS, WIRE	35		135.0	
17	UNIT 4	L-1, 0-15cmbd	METAL, TINCAN FRAGS	14		12.8	
17	UNIT 4	L-1, 0-15cmbd	METAL, HEAVILY CORRODED, UNID.	1		11.5	
17	UNIT 4	L-1, 0-15cmbd	METAL, WIRE FRAGS	4		18.8	
17	UNIT 4	L-1, 0-15cmbd	SHELL, QUAHOG, 1 COMPLETE HALF	2	98	158.6	446.2
18	UNIT 4	L-2, 15-25cmbd	GLASS, CLEAR, WINDOW	1		1.2	
18	UNIT 4	L-2, 15-25cmbd	GLASS, CLEAR, SODA BOTTLE	1		0.7	
18	UNIT 4	L-2, 15-25cmbd	CERAMIC, PORCELAIN, INSULATOR	1		13.0	
18	UNIT 4	L-2, 15-25cmbd	BOTTLE CAP, CROWN TOP	1		4.4	
18	UNIT 4	L-2, 15-25cmbd	NUT W/ BOLT FRAG.	1		11.2	
18	UNIT 4	L-2, 15-25cmbd	PLASTIC, BLACK	3		13.7	

ARTIFACT CATALOG, MEMBERSHIP COTTAGE AND SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE

FS#	LOCATION	DEPTH	DESCRIPTION	COUNT	TOTAL #	WEIGHT (g)	TOTAL WGT.
18	UNIT 4	L-2, 15-25cmbd	METAL, ALUMINIUM	1		1.4	
18	UNIT 4	L-2, 15-25cmbd	METAL, COPPER	3		7.3	
18	UNIT 4	L-2, 15-25cmbd	METAL, SPRING	1		8.4	
18	UNIT 4	L-2, 15-25cmbd	METAL, IRON OR STEEL, CIRCULAR, UNID.	2		37.8	
18	UNIT 4	L-2, 15-25cmbd	METAL, TIN CAN FRAGS.	19		25.3	
18	UNIT 4	L-2, 15-25cmbd	WOOD SCREW	1		4.5	
18	UNIT 4	L-2, 15-25cmbd	NAILS, WIRE	18		96.0	
18	UNIT 4	L-2, 15-25cmbd	WIRE FRAGS.	3		4.1	
18	UNIT 4	L-2, 15-25cmbd	BONE, UNID.	1		0.1	
18	UNIT 4	L-2, 15-25cmbd	SHELLS, 1QUAHOG, 1 WHELK	2		221.2	
18	UNIT 4	L-2, 15-25cmbd	LIMEROCK FRAG.	1	60	15.5	465.8
19	UNIT 4	L-3, 25-35cmbd	METAL, COPPER, SWITCH PART	1		3.9	
19	UNIT 4	L-3, 25-35cmbd	METAL, TINCAN FRAGS.	3		2.6	
19	UNIT 4	L-3, 25-35cmbd	NAILS, HEAVILY CORRODED	4	8	16.4	22.9
20	UNIT 4	L-4, 35-47cmbd, FEATURE 1A	METAL, SPRING FRAG.	1		0.1	
20	UNIT 4	L-4, 35-47cmbd, FEATURE 1A	METAL, IRON, UNID.	1		1.7	
21	UNIT 4	L-4, 35-47cmbd	GLASS, CLEAR, JAR	1		2.6	
21	UNIT 4	L-4, 35-47cmbd	METAL, IRON, UNID.	4		5.6	
21	UNIT 4	L-4, 35-47cmbd	METAL, TINCAN FRAGS.	4		1.8	
21	UNIT 4	L-4, 35-47cmbd	NAILS, WIRE, CORRODED, 1 COMPLETE	4		5.5	
21	UNIT 4	L-4, 35-47cmbd	WIRE FRAGS.	2		1.2	
22	UNIT 4	L-4, 35-47cmbd, FEATURE 1	METAL, BRASS, BRACKET	1	18	20.9	39.4
23	UNIT 4	L-5, 47-55cmbd, FEATURE 1	BUTTON, MILK GLASS	1		0.4	
24	UNIT 4	L-5, 47-55cmbd, FEA. 1A	NAIL, WIRE, CORRODED	1	2	6.3	6.7
25	UNIT 4	L-8, 81-91cmbd, FEA. 1A	METAL, ALUMINIUM CAN PULL TOP	1	1	0.7	0.7
26	UNIT 4	L-10, 103-119cmbd, FEA. 1A	METAL, IRON, POSS. CAP	2		116.1	
26	UNIT 4	L-10, 103-119cmbd, FEA. 1A	NAIL, ROOFING	1	3	2.7	118.8
UNIT 4 TOTALS					190		1,100.5
SMALL MACHINE SHOP TOTALS					229		1,240.4



ARCHAEOLOGICAL SITE FORM

Electronic Version 1.1.0

Site #8 LL02064
Recorder _____
Site# _____
Field Date 4/18/2004
Form Date 6/6/2004
Form No. 200404
Field Date
(YYYYMM)

Original YES
?

GENERAL INFORMATION

Site Name Membership Cottage Multiple Listing (DHR only) _____
Alternate Names _____ >> _____
Project Name Limited testing, Koreshan State Historic Site FMSF Survey # 10040
County Lee Ownership Type _____ State _____ National Register Site Category _____

Mapping

USGS 7.5' Map Name ESTERO Publication Date 1972 >> _____

Township 46S Range 25E Section 33 1/4 section: NW >> _____
Irregular Section Name: _____

Land Grant _____ Tax Parcel # (s) _____
City / Town (within 3 mi.) Estero In Current City Limits Known
UTM: Zone 7 Easting 18850 Northing 2923800
Address / Vicinity of / Route Koreshan State Historic Site Membership Cottage
Name of Public Tract (e.g., Koreshan State Historic Site park)

FUNCTIONAL AND CULTURAL INFORMATION

Type of Site (select all that apply)

House >> _____
Other Site Type _____

Historic Contexts (select all that apply)

American-20th Century >> Nineteenth C. American 1821-1899
Other (Less common phases are not check-listed. For historic sites, also give specific dates 1930s-1965 if known.) _____

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local YES Name of Local Register if Koreshan State Historic Site
Individually Eligible for National YES Eligible:
Potential Contributor to an NR YES

Explanation of Evaluation (required if evaluated; limit to 3 lines; attach full justification) intact archaeological remains associated with historic structure in historic district

Recommendations for Owner or SHPO future research prior to any ground disturbance
Action _____

FIELD METHODS (select all that apply)

Site Detection Methods Screened Shovel Test >> _____
Unspecified >> _____

Other Methods; Number, Size, Depth, Pattern of Units, Screen Size (attach site plan) two 1 x 0.5 meter units, 63 cm deep, 1/4" screen

ARCHAEOLOGICAL SITE FORM

8LL02064

SITE DESCRIPTION

Extent / Size _____ (m2)
 Depth / Stratigraphy of cultural deposit 0-63 cm

Temporal Interpretation - Single Component
 Describe each occupation in plan (refer to attached large scale map) and stratigraphically. Discuss temporal late pre to early 20th c.

Integrity / Overall Condition: None Seen
 Disturbances / Threats / Protective Measures none/none/no excavation without further archaeology

Surface: Area Collected _____ (m2) # Collection Units _____ Excavation: # Noncontiguous Blocks _____

ARTIFACTS

Total Artifacts # 147 Count or Estimate? _____ Count _____ # Surface _____ # Subsurface 147

Artifact Collection Strategy (select all that apply)

Controlled (subareas) >> Unselective (all artifacts collected)

Artifact Categories and Dispositions (for each artifact category collected, select a category and corresponding disposition, then click add)

<u>Cate g o r y</u>	<u>D i s p o s i t i o n</u>	
<u>Bone-animal or unidentif</u>	<u>All of category collected</u>	>> <u>Shellfood remains; All of category collected</u>

Other Strategy(s), Category(s) or Disposition(s) _____

Diagnosti (enter a type or mode, and frequency for each diagnostic, e.g., Suwanee ppk, heat-treated chert, Deptford Check-Stamped, ironstone/white ware)

wire N=7 >> slate; 1

ENVIRONMENT

Nearest Fresh Water Name (Incl. relict source) Estero River Nearest Fresh Water Type River

Distance (m) 200

Natural Community (FNAI category or leave blank) MESIC FLATWOODS

Local Vegetation landscaped park

Topograph Levee-stream shore Min Elevation 3 meter s Max Elevation 3 meter s

Other Topography state park

US Soil Series Immokalee sand Soil Association Oldsmar-Malabar-Immokalee

FURTHER INFORMATION

Informant Name (Last, First) _____
 Informant(s) Address / Phone _____

Accessible Documentation or Collections NO1 (including field & analysis notes, photos, plans, other important documents that are filed with EMSE permanently accessible)

Document type: <u>All materials one location</u>	Maintaining Organization: <u>FDHR/BAR: 1A32 permit</u>
File or Accession #: _____	Descriptive Information: <u>artifacts, photos, catalog, notes</u>

>> _____

Recorder Name (Last, First) Wayne, Lucy B.
 Recorder Address / Phone 3700 NW 91st St., Ste. D300, Gainesville, FL 32606, (352) 372-2633

Recrder Affiliation Southarc Inc, Gainesville

Other Affiliation _____

Is Text-only supplement file attached (Surveyor only)? NO

ARCHAEOLOGICAL SITE FORM

8LL02064

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: _____ Electronic Form Used: _____ Form Type Form Code: _____ Form Status Code: _____ Supplement Information Supplement File Status: _____	SHPO's Evaluation Date: _____
FMSF Computer Entry Date: _____	
Form Comments: _____ _____ _____	

**REQUIRED
PAPER
ATTACHMENTS**

USGS 7.5" MAP WITH SITE BOUNDARY MARKED

Supplementary Printout

- > **ARTIFACTS: Category/Disposition**
 - Ceramics-nonaboriginal;All of category collected
 - Glass;All of category collected
 - Metal;All of category collected
 - Shellfood remains;All of category collected

- > **DIAGNOSTICS: Type/Number**
 - plain whiteware;2
 - clear bottle glass;3
 - milk glass;1
 - nail;64
 - window glass;4
 - ring;1
 - safety pin;1
 - lamp glass;1
 - tincan;10
 - slate;1

- > **Alternate names:**

- > **USGS map name/year of publication or revision:**

- > **Township/Range/Section/Qtr:**

- > **Type of site:**

- > **Historic contexts:**
 - Nineteenth C. American 1821-1899

- > **Methods for site detection:**

- > **Methods for site boundaries:**

- > **Collection Strategy**
 - Unselective (all artifacts collected)

- > **Repositories: Collection/Housed/Accession#/Describe**

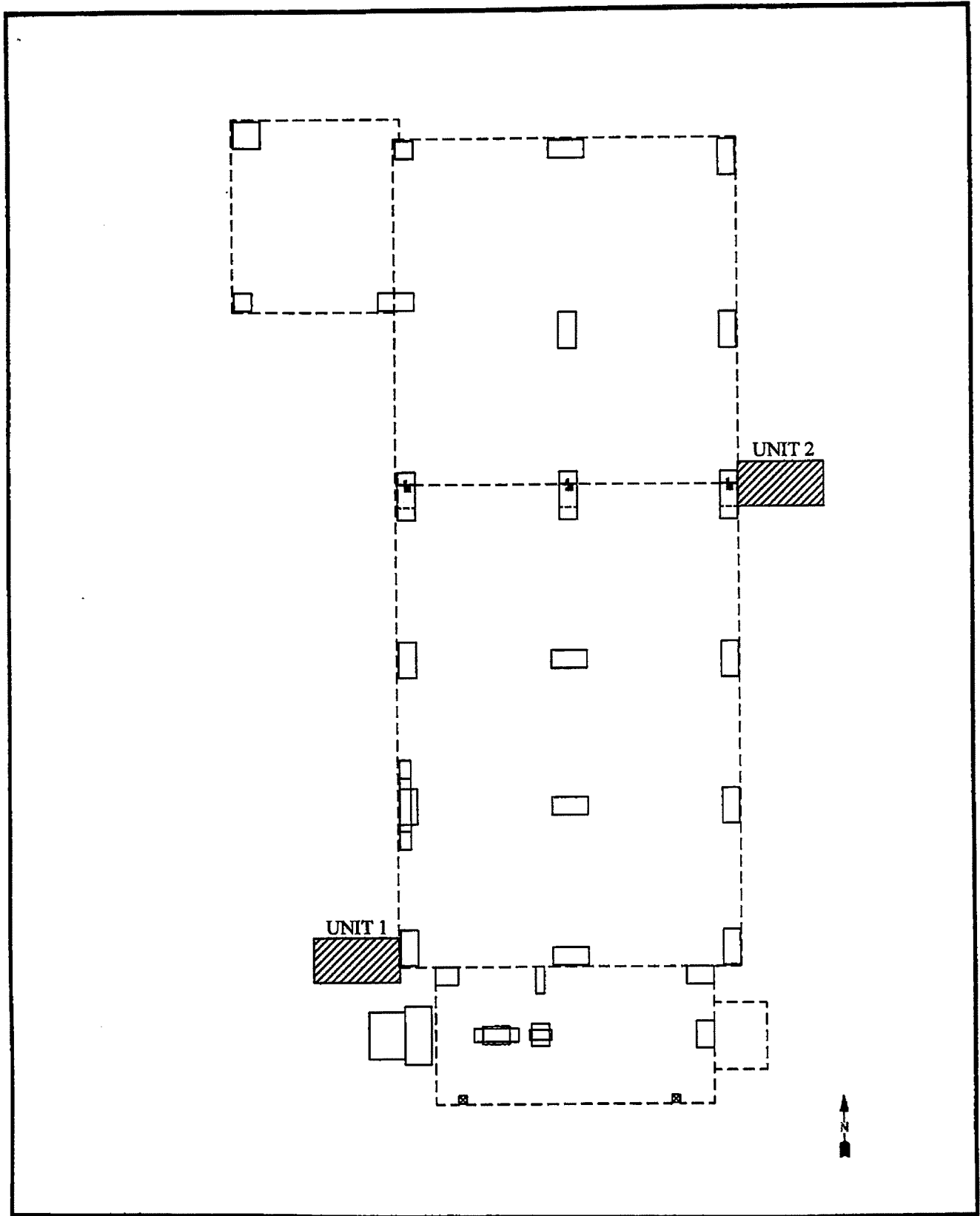
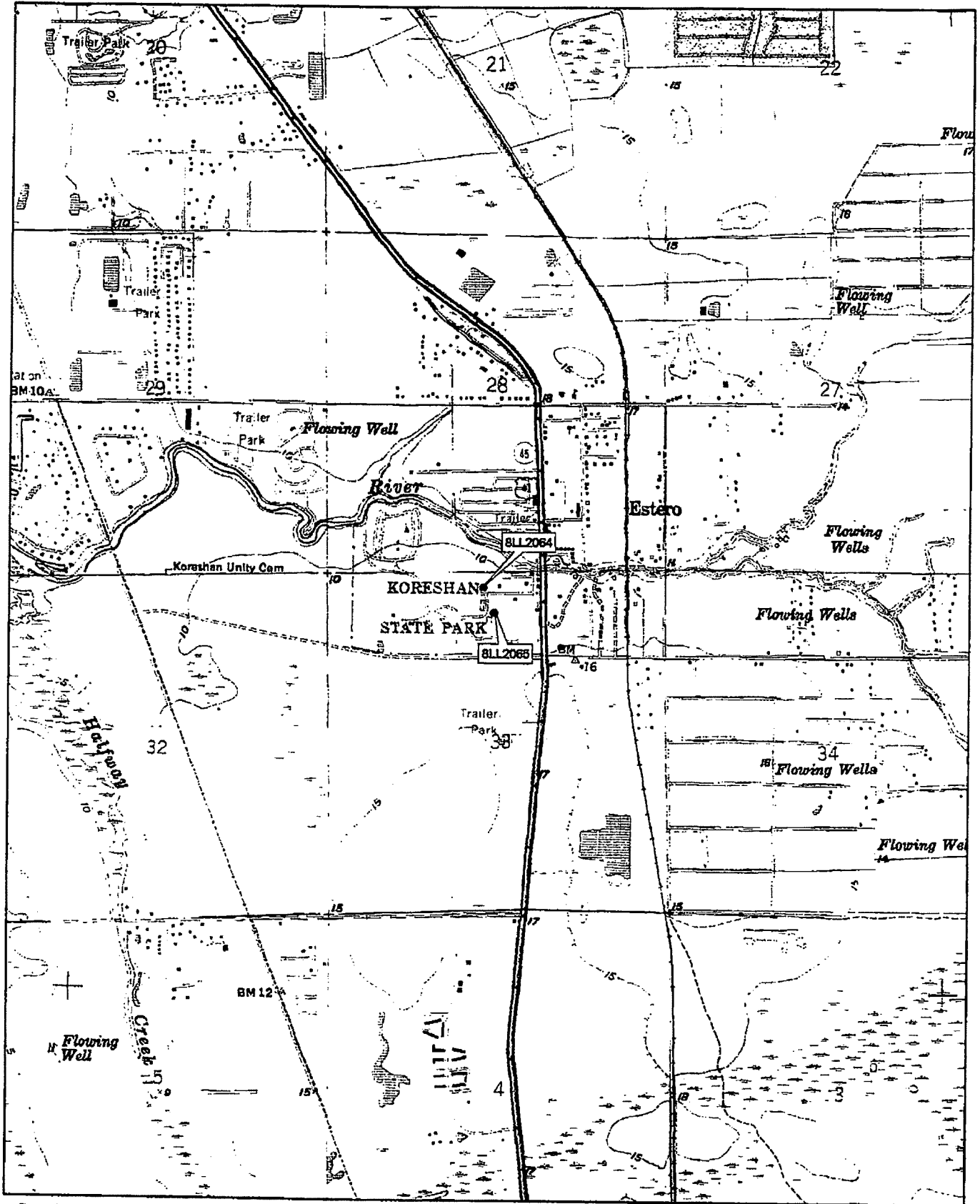


FIGURE 8. LOCATION OF EXCAVATION UNITS, MEMBERSHIP COTTAGE, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

BASE MAP: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services



Copyright © 2000 DeLorme. TopoTools Advanced Print Kit TE. Scale: 1 : 24,000 Zoom Level: 13-0 Datum: NAD27

2000 ft



ARCHAEOLOGICAL SITE FORM

Electronic Version 1.1.0

1 mem

Site # LL02065
Recorder _____
Site# _____
Field Date 4/18/2004
Form Date 6/6/2004
Form No. 200404
Field Date
(YYYYMM)

Original YES
?

GENERAL INFORMATION

Site Name Small Machine Shop Multiple Listing (DHR only) _____
Alternate Names >> _____
Project Name Limited testing Koreshan State Historic Site FMSF Survey # 10040
County Lee Ownership Type _____ State _____ National Register Category _____ Site _____

Mapping

USGS 7.5' Map Name ESTERO Publication Date 1972 >> _____
Township: 46S Range: 25E Section: 33 1/4 section: NW >> _____
Irregular Section Name: _____

Land Grant _____ Tax Parcel # (s) _____
City / Town (within 3 mi.) Estero In Current City Limits Known
UTM: Zone 7 Easting 18900 Northing 2923690
Address / Vicinity of / Route Koreshan State Historic Site

Name of Public Tract (e.g., _____ park) Koreshan State Historic Site

FUNCTIONAL AND CULTURAL INFORMATION

Type of Site (select all that apply)
Industrial** >> _____
Other Site Type workshop

Historic Contexts (select all that apply)
American-20th Century >> Nineteenth C. American 1821-1899
Other (Less common phases are not check-listed. For historic sites, also give specific dates 1905-present if known.)

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local YES Name of Local Register If Eligible: Koreshan State Historic Site
Individually Eligible for National YES
Potential Contributor to an NR YES

Explanation of Evaluation (required if evaluated; limit to 3 lines; attach full justification) intact archaeological remains associated with historic structure in historic district

Recommendations for Owner or SHPO Action future research prior to ground disturbance

FIELD METHODS (select all that apply)

Site Detection Methods Screened Shovel Test >> _____
Unspecified >> _____
Other Methods; Number, Size, Depth, Pattern of Units, Screen Size (attach site plan) two 1 x 0.5 meter units, 120 cm deep, 1/4-inch screen

ARCHAEOLOGICAL SITE FORM

8LL02065

SITE DESCRIPTION

Extent / Size _____ (m2)
Depth / Stratigraphy of cultural deposit up to 120 cm

Temporal Interpretation - Single Component
Describe each occupation in plan (refer to attached large scale map) and stratigraphically. Discuss temporal late 19th to early 20th c. machine shop

Integrity / Overall Condition: Minor
Disturbances / Threats / Protective Measures none/none/no excavation without further archaeology

Surface: Area Collected _____ (m2) # Collection Units _____ Excavation: # Noncontiguous Blocks _____

ARTIFACTS

Total Artifacts # 229 Count or Estimate? _____ Count _____ # Surface _____ # Subsurface 229

Artifact Collection Strategy (select all that apply)

Controlled (subareas) >> Unselective (all artifacts collected)

Artifact Categories and Dispositions (for each artifact category collected, select a category and corresponding disposition then click add)

Category	Disposition
<u>Shellfood remains</u>	<u>All of category collected</u> >> <u>Bone-animal or unidentif; All of category collected</u>

Other Strategy(s), Category(s) or Disposition(s)

Diagnosis (enter a type or mode, and frequency for each diagnostic, e.g., Suwanee ppk, heat-treated chert, Deptford Check-Stamped, ironstone/whiteware)

misc. hardware N=24 >> porcelain insulator; 3

ENVIRONMENT

Nearest Fresh Water Name (incl. relief source) Estero River Nearest Fresh Water Type River

Nearest Fresh Water Distance (m) 225
Natural Community (FNAI category or leave blank) MESIC FLATWOODS

Vegetation landscaped park
Topography Levee-stream shore Min Elevation 3 meter Max Elevation 3 meter

Other Topography _____
Present Land Use state park

SCS Soil Series Immokalee sand Soil Association Oldsmar-Malabar-Immokalee

FURTHER INFORMATION

Informant Name (Last, First) _____
Address / Phone _____

Accessible Documentation or Collections NOT (including field & analysis notes, photos, plans, other important documents that are permanently accessible)

Document type: All materials one location Maintaining Organization: FDHR/BAR: 1A32 permit
File or Accession #: _____ Descriptive Information: artifacts, photos, notes, catalog

Recorder Name (Last, First) Wayne, Lucy B.
Recorder Address / Phone 3700 NW 91st St., Ste. D300, Gainesville, FL 32606 (352) 372-2633
Recorder Affiliation Southarc Inc, Gainesville

Is Text-only supplement file attached (Survey only)? No

ARCHAEOLOGICAL SITE FORM

8LL02065

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type: _____ Electronic Form Used: _____ Form Type: _____ Form Quality: _____ Form Status: _____ Code: _____ Supplement Information: _____ Supplement File: _____ Status: _____	SHPO's Evaluation Date: _____ e: _____
Form Comments: _____ _____ _____	FMSF Status: _____ Date: _____

REQUIRED PAPER ATTACHMENTS **USGS 7.5" MAP WITH SITE BOUNDARY MARKED**

11

Supplementary Printout

- > **ARTIFACTS: Category/Disposition**
 - Ceramics-nonaboriginal;All of category collected
 - Glass;All of category collected
 - Metal;All of category collected
 - Bone-animal or unidentif;All of category collected

- > **DIAGNOSTICS: Type/Number**
 - plain whiteware;1
 - bottle glass;10
 - window glass;11
 - nails;86
 - tincan;43
 - lead sprue;1
 - wire;21
 - crown cap;1
 - plain porcelain;1
 - masonite;1
 - milk glass button;2
 - auto parts;6
 - carriage bolt;1
 - porcelain insulator;3

- > **Alternate names:**

- > **USGS map name/year of publication or revision:**

- > **Township/Range/Section/Qtr:**

- > **Type of site:**

- > **Historic contexts:**
 - Nineteenth C. American 1821-1899

- > **Methods for site detection:**

- > **Methods for site boundaries:**

- > **Collection Strategy**
 - Unselective (all artifacts collected)

- > **Repositories: Collection/Housed/Accession#/Describe**

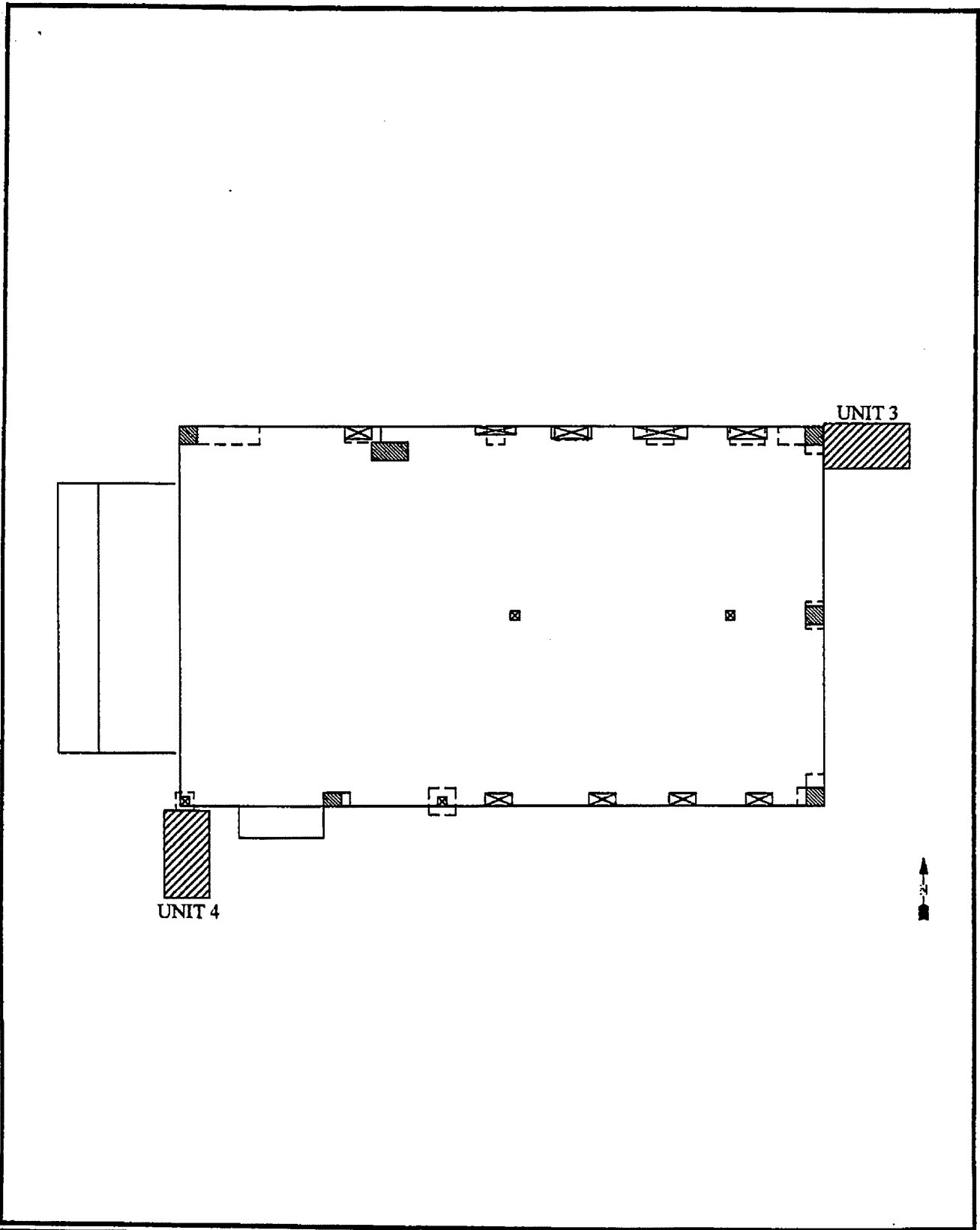
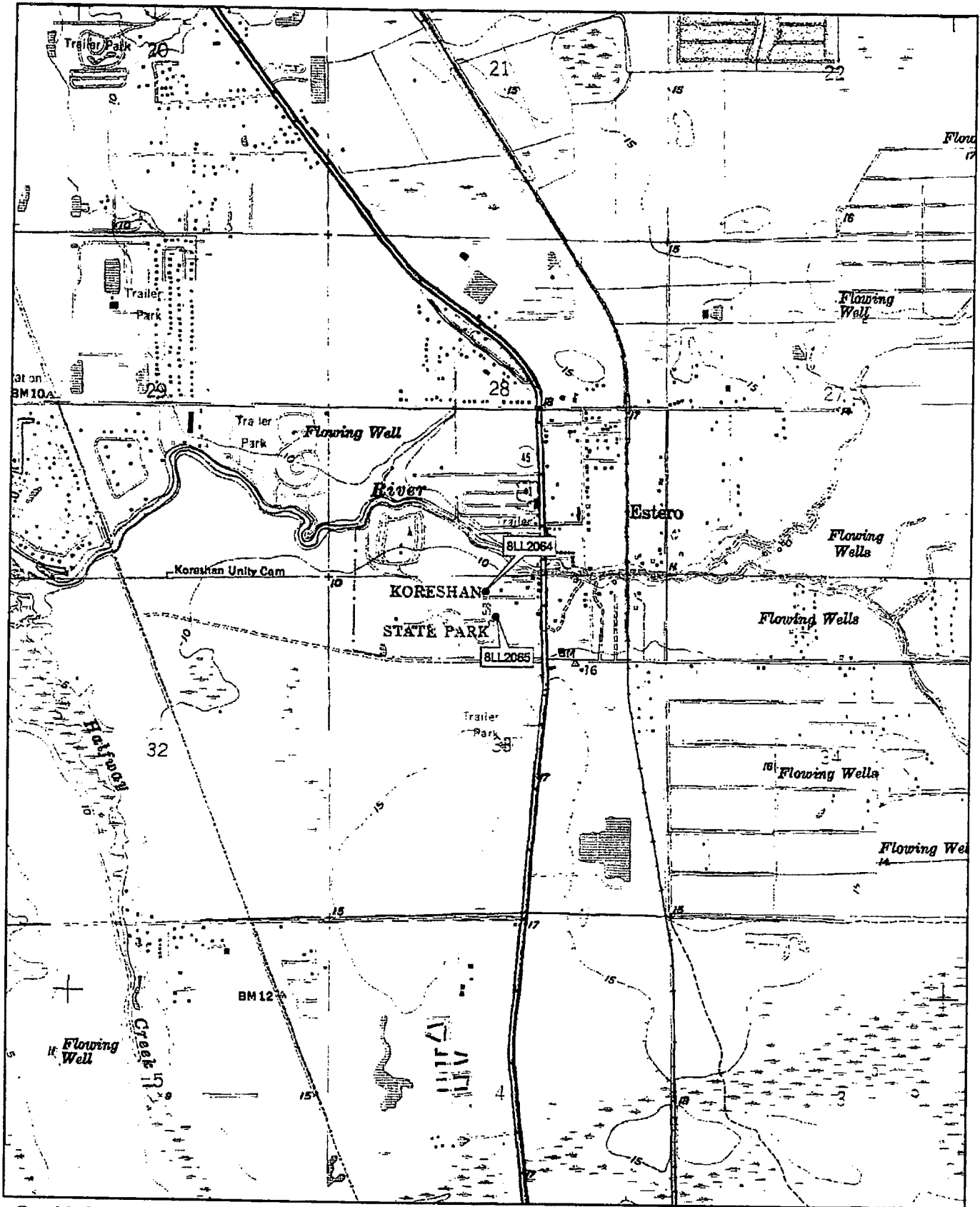


FIGURE 16. LOCATION OF EXCAVATION UNITS, SMALL MACHINE SHOP, KORESHAN STATE HISTORIC SITE, LEE COUNTY, FLORIDA

BASE MAP: STEVENSON 2004

SouthArc, Inc.

Archaeological and
Historical Services



Copyright © 2000 DeLorme. TopoTools Advanced Print Kit TE. Scale: 1 : 24,000 Zoom Level: 13-0 Datum: NAD27

