



**LEE COUNTY HISTORIC PRESERVATION BOARD  
OLD LEE COUNTY COURTHOUSE  
2120 MAIN STREET  
FORT MYERS, FL 33901  
EAST ROOM**

**WEDNESDAY, FEBRUARY 15, 2012  
10:00 AM**

**AGENDA**

- 1. Call to Order/Review of Affidavit of Publication**
- 2. Approval of Minutes – January 18, 2012**
- 3. Public Hearing on a Special Certificate of Appropriateness (COA)**  
(For public review, plans for the COA case are available at the Riverdale Branch Public Library, 2421 Buckingham Road, Fort Myers, FL 33905 starting February 8, 2012).
  - A. COA 2012-00016 Historic Flint House, New Construction: School House and Barn, 13731/741 Bird Road, Fort Myers, FL 33905 (corner of Bird and Buckingham Road)**  
The proposed project generally entails the addition of a handicap ramp at the rear of the Flint House and the construction of two new buildings: a school house and barn.
- 4. Items by the Public; Board Members; Staff**
- 5. Next Meeting Date: Wednesday, March 21, 2012; Adjournment**

Any person appealing a decision made at this hearing must ensure a record of the proceedings is made. In accordance with the Americans with Disabilities Act, Reasonable Accommodations will be made upon request. If you are in need of a Reasonable Accommodation or would like additional information, please contact Janet Miller at (239) 533-8583.

**DRAFT**

**MINUTES REPORT  
LEE COUNTY HISTORIC PRESERVATION BOARD  
January 18, 2012**

**MEMBERS PRESENT:**

Ruby Daniels	James Ink
Toni Ferrell	Kevin Williams (Vice Chair)

**MEMBERS ABSENT:**

Marsa Detscher (Chair)  
Theresa Schober  
Rae Ann Wessel

**STAFF PRESENT:**

Scott Coovert, Asst. Cty. Atty.	Gloria Sajgo, Principal Planner
Janet Miller, Recording Secretary	

**Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication**

Mr. Williams, Vice Chair, called the meeting to order. Mr. Scott Coovert, Assistant County Attorney, certified the affidavit of publication and submitted it for the record.

**Agenda Item 2 – Approval of Minutes – December 21, 2011**

**Ms. Ferrell made a motion to approve the December 21, 2011 meeting minutes, seconded by Mr. Ink. There being no further discussion, the motion passed 6-0.**

**Agenda Item 3 – Public Hearing on Special Certificates of Appropriateness (COA)**

**A. COA2011-00167 Wilson Residence, 16281 Quail Trail, Bokeelia, FL 33922**

Ms. Sajgo reviewed the staff report and recommendations (attached).

Per a question by Ms. Daniels, Ms. Sajgo clarified there were no longer any outside stairs to access the second floor.

Ms. Ferrell noted it was stated in the staff report that the house is unsound. She asked for clarification if that only meant the second floor.

Ms. Sajgo clarified that the statement included the first floor as well. She explained that the foundations of the first floor needed to be shored up and that the house was not in good shape structurally. She noted that much of this was due to the fact that a second story unit was constructed without shoring it up, which caused problems.

Mr. Ink felt this project was handled in a pleasing way and that it fixed problems with the exterior wood stairs. He noted all the improvements were in the rear of the house, which means it still appears as it always has from the street. He did not have any issues with the project.

**Ms. Ferrell made a motion to approve COA2011-00167 Wilson Residence at 16281 Quail Trail, approve the project as presented by the applicant and make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of Interior's Standards for Rehabilitation and Chapter 22 of the LDC, seconded by Mr. Ink. The motion was called and passed 4-0.**

**B. COA2011-00111 Goldpenny, 4725 Pine Island Road, NW, Matlacha, FL 33993**

Ms. Sajgo reviewed the staff report and recommendations (attached).

Ms. Ferrell referred to the paragraph under "The lot" on the 1<sup>st</sup> page of the staff report that states, "*There are two detached structures on the subject parcel: a carport which will be removed and a laundry room which will remain and is not part of the proposed project.*" She clarified that it is two detached accessory structures, so there are really three structures in all.

Ms. Ferrell referred to the plans and asked if the door at the rear is opening onto a sloping ramp.

Ms. Sajgo stated that was incorrect and clarified that the door at the rear is being removed and turned into a window.

Ms. Daniels asked if the Matlacha Historic District addressed the issue of height.

Ms. Sajgo stated the Zoning Ordinance has a height cap, but that this project is well below the height cap. The main issue today deals with the Secretary of Interior's Standards and whether or not adding a second story at the rear of the house is in compliance with the Secretary of Interior's Standards given the change it would make to the historic house and district. She noted there were only two instances where the Board allowed a second story structure in the area and in both instances the applicants had very small lots. However, this particular property has a large lot for Matlacha.

Ms. Daniels asked why the applicant was choosing to have a second story versus expanding the footprint of the first floor. At this point, the applicant's representative, Mr. Andrew Conlyn, addressed the Board.

Mr. Conlyn stated he was the applicant's representative. He referred to page 4 of the staff report where it states, "*While the applicant has tried to minimize the impact of the second floor addition, staff objects to the addition because it will substantially alter the massing, size and scale of the building.*" He noted that whether you have an addition on the ground floor or elevated it will alter the massing, size, and scale of the building. He noted the report made it sound like a fairly large addition, but when compared to the addition already in place, it is about the same size. He referred to another passage of the same paragraph that says, "*...which at some point had slight additions to the rear and north side elevations.*" He noted that it was the same size in terms of total square footage, but it represents a 37% increase in the size of the existing building. When the building was smaller, the square footage of the original addition represented about an 85% increase in the size and it was considered slight. He also noted that he never intentionally called this a second floor. He always referred to it as a loft addition because it is a third of the area of the house. It could also be considered a mezzanine depending on how you interpret the building code. He noted it was only a 7 foot high increase to the space and it is set far back from the street. He did not feel it should be classified as a full second floor addition. He believed the historical society regulations states that full second floor additions are not allowed.

Ms. Sajgo clarified that what she and the Board were referring to is the Secretary of the Interior's Standards that call for projects to be in keeping with the scale, pattern, rhythm, and proportion.

Mr. Conlyn stated the elevation change is 28 feet back from the front of the house making it 38 feet back from the right of way and 7 feet in additional height. He reviewed a rendering of what it will look like from the street. He noted that once they raised the house up, set it back, and then set this addition back all the way, it will barely be visible from the street because it will be blocked from the neighbors on the side. He did not feel the Board would be setting a precedent because this is not a full second story addition. It is a loft that is only 7 feet higher due to the clever design used. Regarding Ms. Daniels questions, the applicants do not wish to build 400 square feet to the back of their building because it would encroach on their backyard which they use and enjoy. Any addition would be either on the side of the building, which would be visible from the street and would change the massing, or directly behind the building, which would block their views from the existing house off the bay. Having the addition go upstairs would mean that their view will not be blocked, they will have the full use of their backyard, and the appearance will not change from the street.

Ms. Ferrell stated she was in agreement with staff's analysis of the addition. While it can be named a loft or mezzanine, it still impacts the size and scale of the structure and its relationship to this district especially since the district is so diminutive. It also affects the rooflines, which are major features in terms of significant character defining features for a building. This proposal completely changes the character of this building. The other issue is that the stair is about 100 square feet if you count both floors. The applicants are adding 300 square feet on the second floor plus this stair that takes away about 50 square feet on each floor. Therefore, the addition could be even smaller if it was on one floor and the stair is eliminated.

Mr. Ink did not feel it was just a matter of how it would be viewed from the street because in Matlacha there is a lot of traffic on the water. A second story would be visible to the public on the water behind the home. He noted that a second story element was not prevalent in Matlacha.

Ms. Daniels referred to Item Number 10 in the staff report that says, "*If the second story is built and removed in the future, the original footprint of the rear first floor would still be there. However, the integrity of the first floor would be lost and impaired...*" Ms. Daniels stated she was concerned with this possibility.

Mr. Williams stated this concerned him as well even more than issues of scale and proportion. He felt the project was sensitively done and would have a limited impact.

Due to a question by Mr. Williams, Ms. Sajgo clarified that the district was established in 1990 (22 years from today).

Mr. Williams noted it was almost to the point where the buildings that preceded the district would almost qualify. Therefore, he did not have the same strong feelings as other members of its impact on the issues of context. He shared Ms. Daniels concern and noted the Secretary of Interior's Standards prefers that a modern addition be removed if it does not damage the historic structure.



Mr. Conlyn stated he was instructed to maintain the ceiling. He will not tear the ceiling down off the existing room. If the second story is built, they would remove the off centered hip roof. If it is taken down, it will be possible to put it back again. They will take the trusses apart and put additional support inside along the middle to one column. A beam will be installed in the middle of the family room to carry the second floor. He noted they would be able to bring the building back to the original design if that were ever desired to be done.

Mr. Williams stated this building precedes the district that was established in 1990. However, he felt enough effort was put into limiting its impact.

**Ms. Ferrell made a motion to deny the proposal as presented by the applicant (COA2011-00111 Goldpenny, 4725 Pine Island Road, NW, Matlacha, FL 33993) and make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as presented is not in compliance with the Secretary of Interior's Standards for Rehabilitation and Chapter 22 of the LDC, seconded by Mr. Ink.**

Mr. Williams asked for more specifics on the reasons for the denial.

**To more clearly define the reasons for denial, Ms. Ferrell referred to the staff report, in particular Item Number 5 in the itemized list of the proposed project, which is the construction of the second story addition on the rear of the house. She noted that: 1) the addition is a 37% increase in square footage of the house; 2) the mass of the addition includes a second story that is not in keeping with the pattern, scale, and size of the predominant number of contributing structures along the historic district; 3) the Secretary of Interior's Standards specifically referenced the importance of the roofline, which this significantly changes, and the importance to the relationship between buildings and their historic district and neighborhood and the character of the defining features. She added that it is not the square footage of the addition, but the massing of the addition by elevating to a second story that is the concern; and 4) an additional concern is that the project does not warrant a second story addition given the size of the property and the available area and also given the fact that the second story increases the addition by 25% due to the installation of a stair to make it a second story.**

**Mr. Ink agreed to these clarifications to the motion.**

Mr. Conlyn asked if the Board had to deny everything including the parts that the board recommends approval of.

Ms. Sajgo stated this would not be the case because the Board referenced the staff report and recommendation. This means the Board is in support of items staff supported. The problem is only with the second floor addition.

**The motion was called and passed 3-1. Mr. Williams was opposed.**

#### **Agenda Item 6 – Items by the Public; Committee Members; Staff**

**Public** – None

## **Committee Members**

Mr. Ink reviewed a newsletter from Robert N. Macomber that had been distributed at the beginning of the meeting, in particular pages 5 and 6 that outline some cruises he is conducting where he talks about the history around this area.

**Staff** - None

## **Agenda Item 7 – Next Meeting Date: Wednesday, February 15, 2012; Adjournment**

The next meeting will be held in the East Room, Old Lee County Courthouse, 2120 Main Street, Fort Myers, FL 33901 on Wednesday, February 15, 2012, at 10:00 a.m.

The meeting adjourned at 10:50 a.m.

LEE COUNTY HISTORIC PRESERVATION PROGRAM  
SPECIAL CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION

COA NO.: \_\_\_\_\_  
DESIGNATION NO.: \_\_\_\_\_  
DATE FILED: \_\_\_\_\_  
DATE ISSUED: \_\_\_\_\_  
APPROVED: \_\_\_\_\_  
DENIED: \_\_\_\_\_

Lee County Division of Planning P.O. Box 398 Fort Myers, FL 33902  
TELEPHONE: (239) 533-8585 / FAX: (239) 485-8319

Contributing	Non-Contributing	<input checked="" type="checkbox"/> Individual Designation	Not Historical
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Designation Number: HD (IND) 2002-02-01

COA # COA2012-00016

Name of Project: HISTORIC FLINT HOUSE & MUSEUM

Location: N.W. CORNER OF BIRD ROAD & BUCKINGHAM ROAD

Strap No.: 32-43-26-00-00007.0010

Name of Applicant or Agent: ROBERT W. CASE, P.E. c/o LIS ENGINEERING, LLC

Address: 21430 PALM BEACH BLVD.

City / State: ALVA, FL Zip Code: 33920 Phone: 239-693-9244

Fax: 239-693-9828 E-mail: BOBCC@LISENGINEERING.US

Name of Historic District, if applicable, \_\_\_\_\_

- Check all that apply:
- Building
  - Archaeological Site
  - Object
  - Landscape Feature

Project Description: (describe all work proposed)

- Type of Work:
- Alteration
  - Demolition
  - New Construction
  - Reconstruction
  - Rehabilitation
  - Relocation

Narrative: PROJECT CONSISTS OF ADDING A HANDICAP RAMP TO THE EXISTING HISTORIC STRUCTURE, AND CONSTRUCTING A NEW 1500 S.F. SCHOOLHOUSE TYPE BUILDING.

Change in Use:  yes  no

If yes, explain: CONVERT RESIDENTIAL HOUSE INTO A MUSEUM

Does this use require a variance, special permit, or special exception under the Zoning Ordinance?  yes  no

If yes, explain: REFER TO: DC12011-00011

Has a development order or exemption been applied for prior to or concurrent with this application?  yes  no

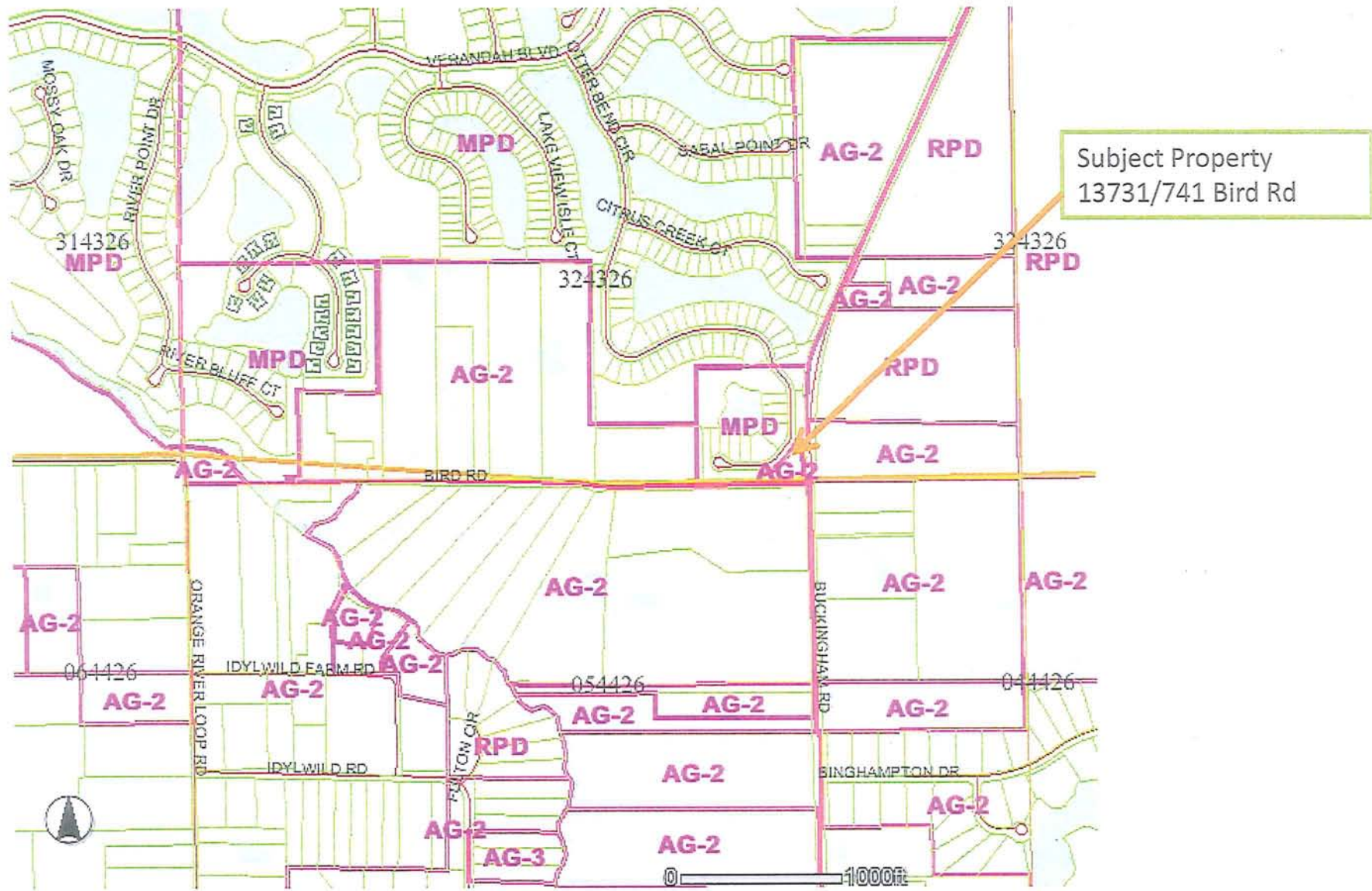
If yes, explain: REFER TO: DOS 2011-00027







COA2012-00016 Flint - 13731/741 Bird Rd, Fort Myers – 32-43-26-00-00007.0010



**LEE COUNTY HISTORIC PRESERVATION BOARD  
STAFF REPORT**

**TYPE OF CASE:** Special Certificate of Appropriateness

**CASE NUMBER:** COA 2011 00016 Flint House and School House Building 13731/741 Bird Rd Fort Myers, Fl 33905 (at the corner of Bird and Buckingham Roads)

**HEARING DATE:** February 15, 2012

**SUMMARY:**

The proposed project entails the addition of a handicap ramp at the rear of the historic Flint house, the addition of the new “school house building” and the addition of a barn enclosed by a fence. The property is designated structure as HD (Individual) 2002-02-01 Flint House. Staff analyzed the proposed project for compliance with the Secretary of the Interior’s Standards for Rehabilitation. The STRAP number for the subject property is 32 43 26 00 00007 0010; the address is 13731/741 Bird Rd Fort Myers Fl 33905.

**STAFF ANALYSIS:**

**Existing conditions:** The subject lot is a roughly triangle-shaped lot at the corner of Bird and Buckingham Roads. Originally the subject .75 acre parcel was part of the Verandah, a single family development by Bonita Bay Properties. The two-story residence is commonly known as the Flint House, as it was the residence of members of the Flint Family - a prominent Lee County pioneer family that settled mainly in the Buckingham and adjoining area.

After realizing the historic significance of the subject structure, the Lee Trust for Historic Preservation, Inc. (Lee Trust), a non-profit historic preservation organization that also serves as a revolving fund, worked with Bonita Bay Properties to preserve the structure. As a result in 2001 a .75 acre tract was carved out of the original tract and deeded over to the Lee Trust. Since then the property has had two owners who have worked to rehabilitate it. The current owner has fully stabilized and rehabilitated the house – including the interior and exterior finishes.

The house may date from 1900 to 1910 period and is typical of residences of moderately prosperous individuals of that time. The house is a two-story gable-front-and-wing house with a metal roof. The roof is a front facing gable roof with gable ends on the east and west elevations and a side gabled wing on the south elevation. The house features an interior, enclosed central staircase. The exterior cladding material is horizontal wood siding and the roof material is metal. The house is elevated above grade on piers. There are exposed brick chimneys on the north and west elevations the house.

On the front (east) elevation the house (under a partial hip roof) is the single story front porch with knee walls. On the rear (west) elevation the house features a single story; shed roofed wing, which houses the kitchen and bathroom.

The 2-story house features single and paired 2/2 windows. In general, the elevations feature identical numbers of windows and window spacing on the first and second floors. The north elevation is an exception as it features two single windows on the second floor and a pair of windows on the first floor.

### **The proposed project:**

The property owner is applying to rezone the property from agricultural (AG-2) to a Commercial Planned Development (DCI 2011-00011 – Minor PD) to allow cultural facilities. (Please see the site plan.)The case has been tentatively scheduled before the Hearing Examiner on March 14, 2012. In general:

- The second story of the Flint House would be limited to office use.
- The proposed new school house building could be used as a school or place of worship.
- Both the proposed new school house building and the existing first floor of the Flint House could be used as administrative offices, museums (cultural facilities), specialty retail places or studios.

In general the proposed project entails 1) preserving the Flint House as is and making it handicap accessible with the addition of a ramp at the rear, 2) adding a 1,500 sq ft school house building, and 3) adding a 576 sq ft barn building.

#### 1) Preserving the Flint House as is and making it handicap accessible with the addition of a ramp at the rear:

Currently the rear elevation of the Flint House features a single story shed roofed wing with a width of 18-ft 7-in which is accessed by a small rear staircase and landing. The proposal calls for removing the small rear staircase and landing and installing a deck.

The proposed deck (16-ft by 16) would be centered on the rear elevation of the house. It would be accessed by two sets of stairs: on the north and south sides. Additionally on the south side, the deck would be accessed by a handicap ramp with landing. The deck would feature a wooden guard rail with vertical posts.

#### 2) Adding a 1,500 sq ft school house building

The proposal calls for the construction of a new 1,500 sq ft building. It is a multiple use building: among the main uses proposed are: school house building, museum or place of worship. The proposed building would be located north of the Flint house and in line with the Flint house's front setback from Buckingham Rd.—roughly 30-ft from Buckingham Rd. The building is rectangular in shape (30-ft by 50-ft) with the short leg of the rectangle fronting on Buckingham Rd. The building features a front facing metal gable roof fronting on Buckingham Rd. with metal shed roof porches on the front and rear elevations. The wall material is horizontal hardi board with corner trim boards.

The height of the building is roughly 22-ft from grade to roof peak or roughly 19-ft from finished floor to roof peak. By comparison the historic Flint house is roughly 2-ft higher. On the proposed building the mass and height of the roof is minimized with a break in the pitch of the gable roof. The higher portion of the roof has an 8 -12 pitch but as the roof tapers down the pitch changes to 4-12. There is a bell tower on top of the roof at the front of the building; it is roughly 4-ft high and 6-ft long bell tower.

The front porch is be accessed by a handicap ramp on the south side and the rear porch by a handicap ramp at the center of the rear porch. The porches and the ramps would feature wooden rails with vertical posts. The building would be set on foundation pilings with lattice infill.

The front elevation under the central front porch the building features a set of French Doors flanked by narrow single windows on either side. On the front elevation, outside of the porch the building features a single multiple light window on either side of the porch. Each side elevation features three single multiple light windows roughly across from each other. The rear elevation just features a single door.

3) Adding a 576 sq ft barn building.

On the western portion of the parcel, is a roughly triangular area which will be fenced with a 6-ft wood horse fence. Within this triangular area the proposal calls for the construction of a barn. This will be a square shaped building – roughly 24-ft by 24-ft. It will be roughly 14-ft high from grade to roof peak. It will be setback roughly 15-ft from Bird Rd. The roof will be a metal hip roof with horizontal siding. For ventilation there will be roughly a 1-ft opening between the roof and the top of the wall. The building will house 2 stalls and a tack area and on the northeast corner will be an open area.

**The Secretary of the Interior's Standards for Rehabilitation**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposal calls for minimum changes to the Flint house –only the installation of a rear deck with handicap ramp. By building detached structures on the site, the applicant will have the additional space needed to accommodate the new uses while still preserving the integrity of the historic Flint House.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The character of the Flint house will be maintained.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Not Applicable

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not Applicable

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

The distinctive features of the Flint House will be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

The Flint House has been rehabilitated.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not Applicable

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not Applicable



9 New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

The proposal calls for minimum changes to the Flint house –only the installation of a rear deck with handicap ramp, which is easily differentiated from the old and is compatible with the massing, size, scale and architectural features of the property.

10 New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed new school house building and the barn are detached from the historic Flint house and if removed in the future the essential form and integrity of the historic property and its environment will remain unimpaired. The new buildings will be visually compatible with the Flint house and its rural surroundings. These new buildings are compatible with the historic character of the area and also in keeping with the size, scale, design and material of the Flint house.

**STAFF RECOMMENDATION:**

Staff recommends that the Historic Preservation Board:

- Approve the preferred proposal as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project as approved is in compliance with the Secretary of the Interior’s Standards for Rehabilitation and Chapter 22 of the LDC.



Front (East)



Front (East) Side (North)



Front Porch

Front Porch





Front (East) Side (South)



Front (East) Side (South)





Front (East) Side (North)



Side (North)



Side (North)



Rear (West) Side (South)



Rear (West) Side (South)



Side (North)





Buckingham Rd. North



Buckingham Rd. South



Bird Rd



West side property line



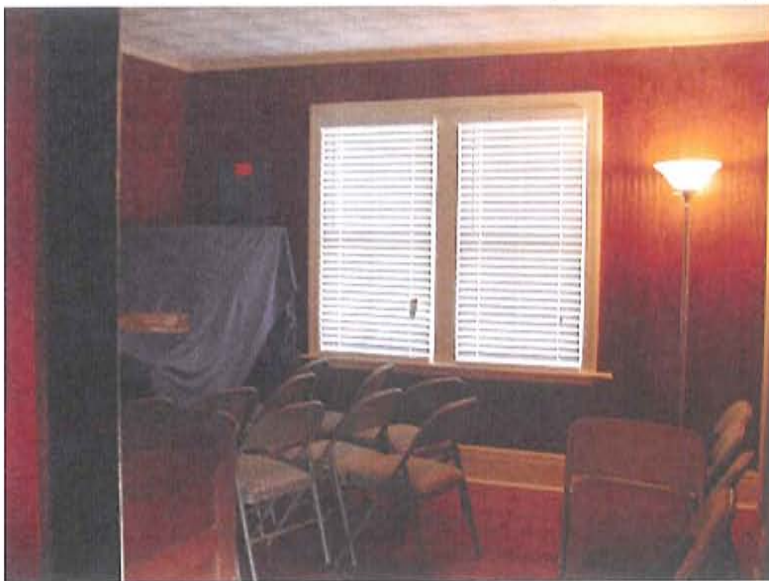
First floor living area/fireplace

First floor living area

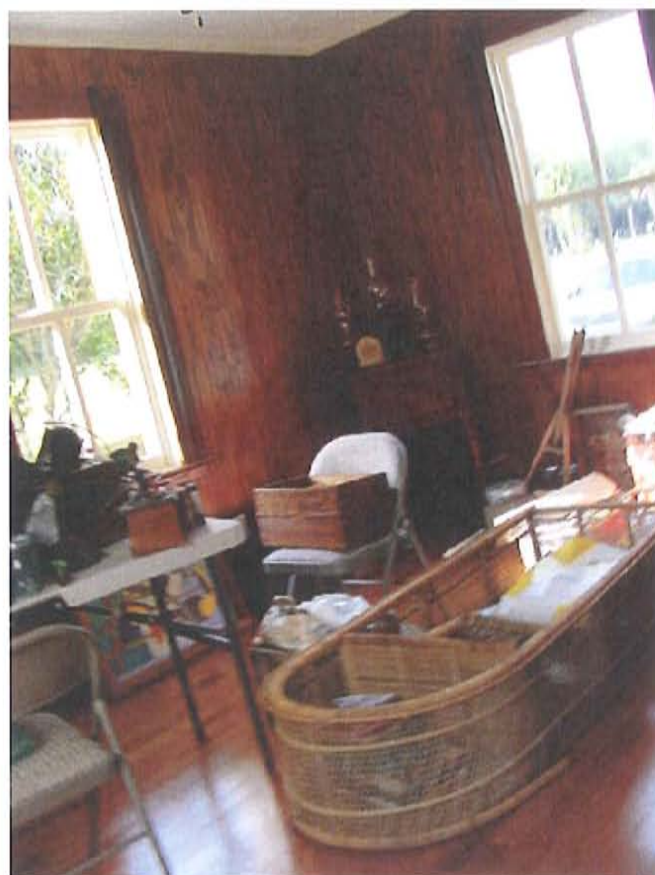


First floor living area





First floor dinning area



Restored room on first floor



Restore opening and window





Restored doors in second floor

Restored doorway detail



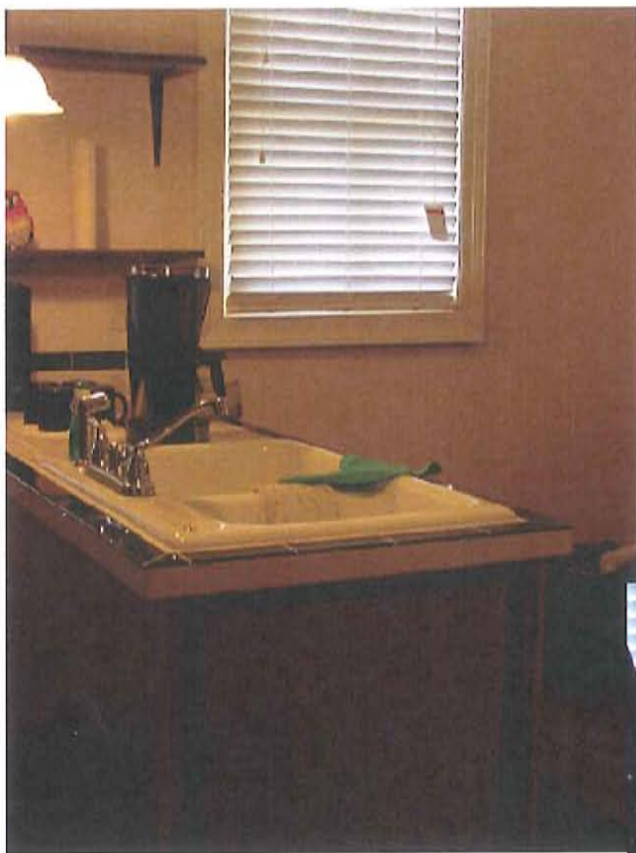
Second floor



Restored door second floor

Window and floor

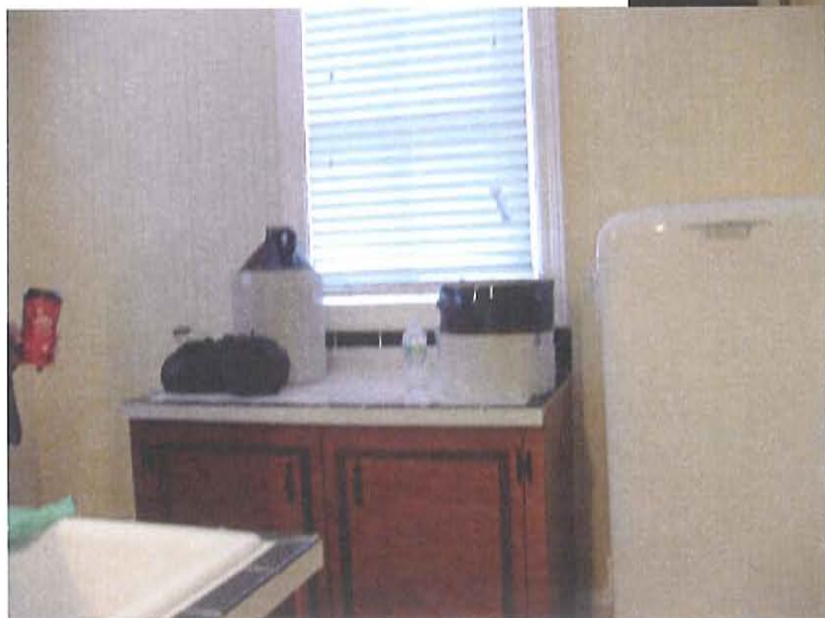




Kitchen

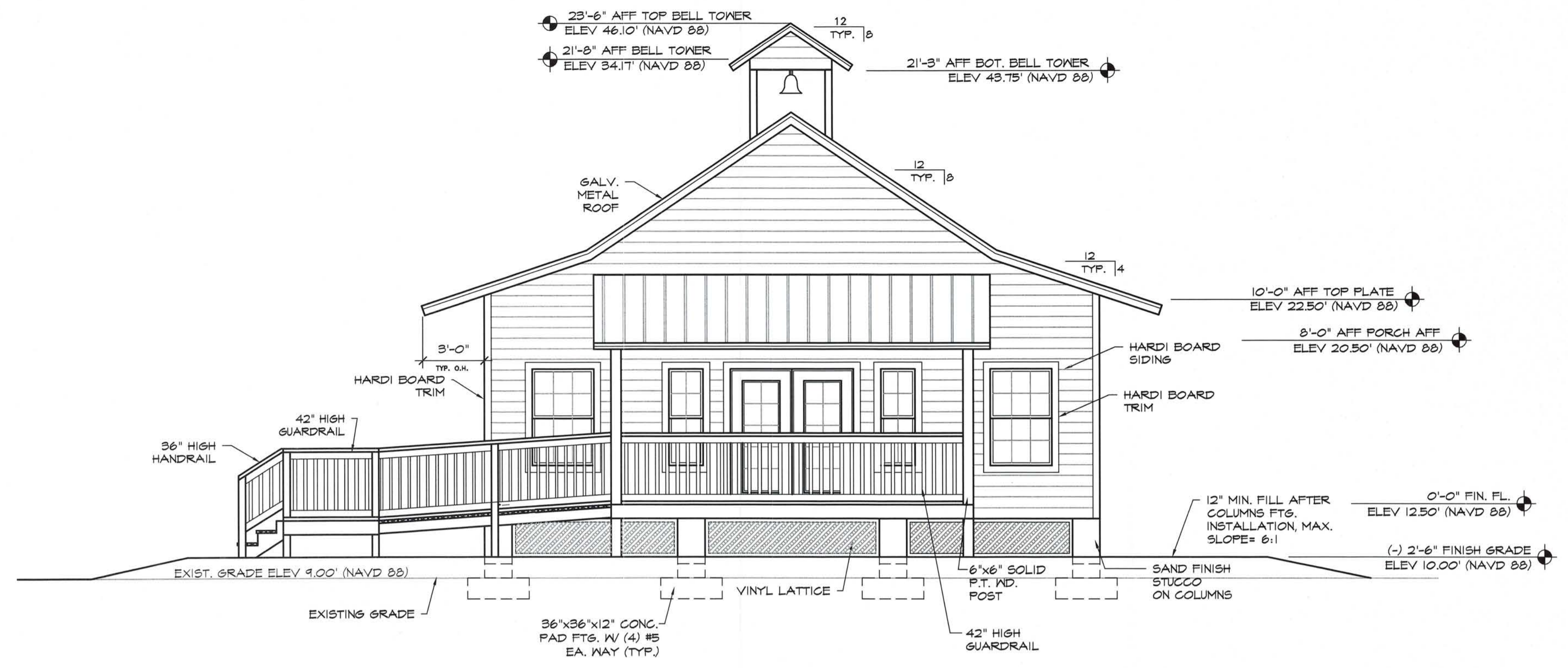
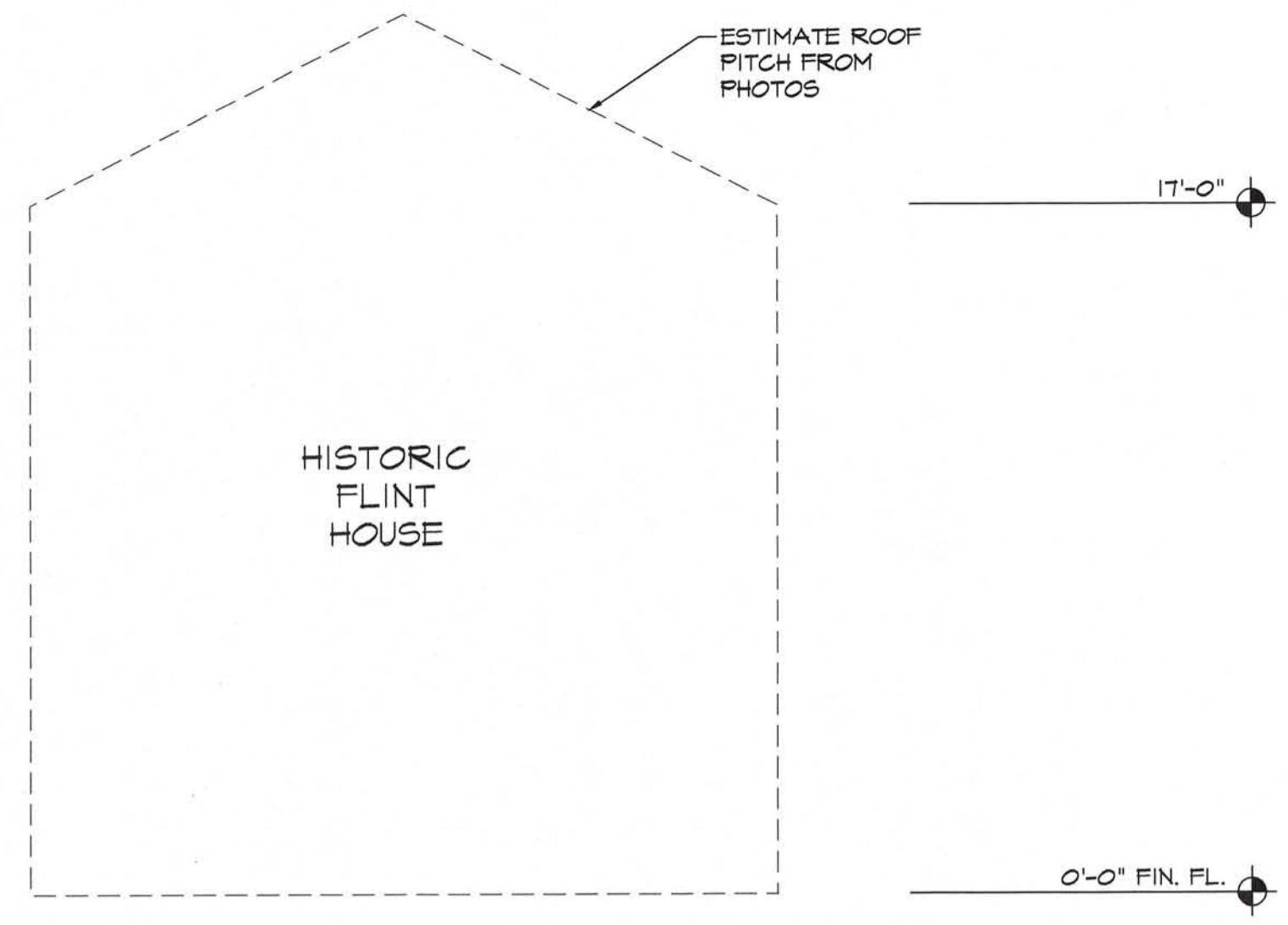


Period refrigerator



Kitchen





**DESIGN PARAMETERS:**

**APPLICABLE CODES:**  
 BUILDING CODES = FLORIDA BUILDING CODE, RESIDENTIAL 2007\* AND FLORIDA BUILDING CODE, BUILDING 2007\*  
 MECHANICAL CODE = FLORIDA BUILDING CODE, MECHANICAL 2007\*  
 PLUMBING CODE = FLORIDA BUILDING CODE, PLUMBING 2007\*  
 ELECTRICAL CODE = 2005 NEC  
 FIRE CODE = NFPA 10  
 LIFE SAFETY CODE = NFPA 101  
 ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2007\*  
 ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2007\*

\*= REFERENCES TO ALL 2007 FLORIDA BUILDING CODES INCLUDE THE 2004 AMENDMENTS

**METHOD OF DESIGN:**  
 DESIGNED PURSUANT TO 2007 FLORIDA BUILDING CODES AND SECTION 1604\*

**BASIC WIND SPEED:**  
 130 MPH (3-SECOND GUST) = 114 MPH (FASTEST MILE)  
 120 MPH (3-SECOND GUST) = 104 MPH (FASTEST MILE)

**IMPORTANCE FACTOR:**  
 0.11 (BUILDING CATEGORY I)     1.15 (BUILDING CATEGORY III)  
 1.00 (BUILDING CATEGORY II)     1.15 (BUILDING CATEGORY IV)

**BUILDING OCCUPANCY CLASSIFICATION:**

<input checked="" type="checkbox"/> GROUP A - ASSEMBLY	<input type="checkbox"/> GROUP H - HAZARDOUS
<input type="checkbox"/> GROUP B - BUSINESS	<input type="checkbox"/> GROUP I - INSTITUTIONAL
<input type="checkbox"/> GROUP D - DAY CARE CENTER	<input type="checkbox"/> GROUP M - MERCANTILE
<input type="checkbox"/> GROUP E - EDUCATIONAL	<input type="checkbox"/> GROUP R - RESIDENTIAL
<input type="checkbox"/> GROUP F - FACTORY INDUSTRIAL	<input type="checkbox"/> GROUP S - STORAGE

**BUILDING CONSTRUCTION TYPE:**  
 TYPE I-A     TYPE II-B     TYPE IV  
 TYPE I-B     TYPE III-A     TYPE V-A  
 TYPE II-A     TYPE III-B     TYPE V-B

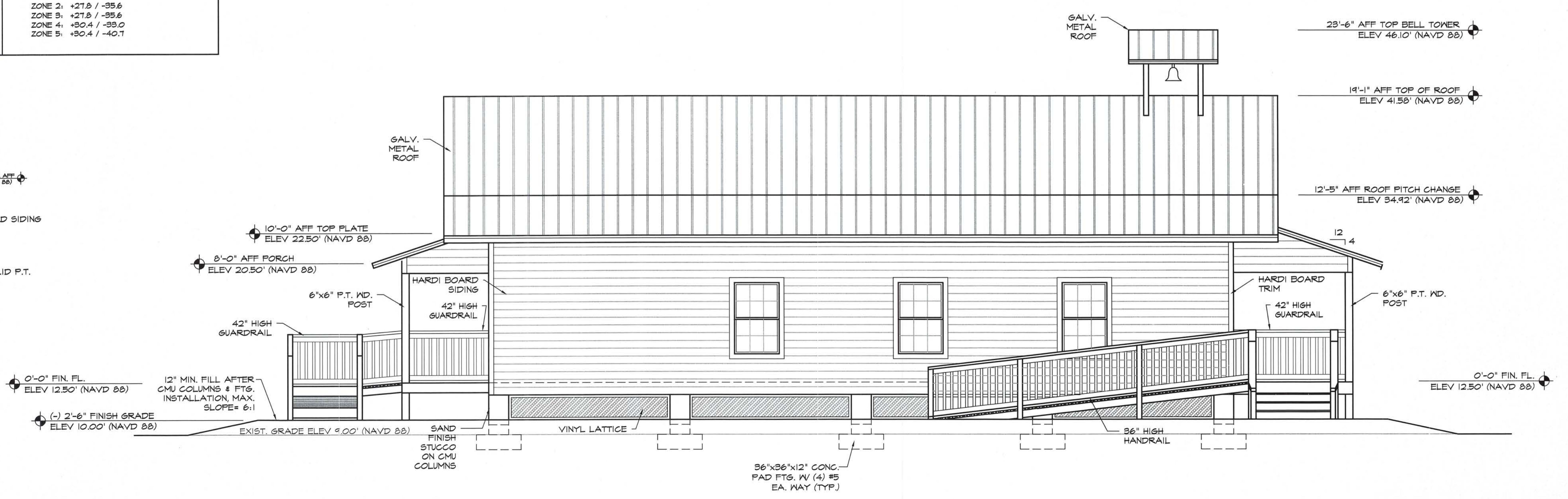
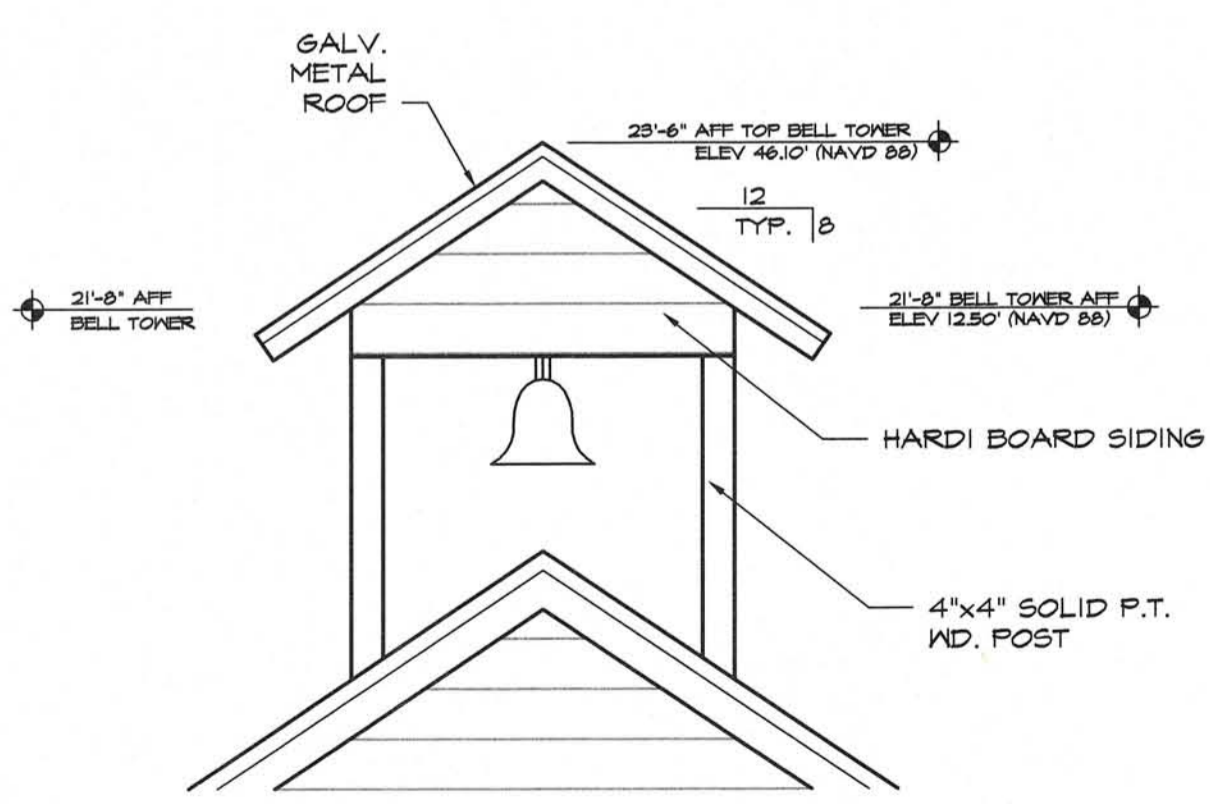
**EXPOSURE CATEGORY:**  
 A     C  
 B     D

**WINDBORNE DEBRIS REGION:**  
 NO  
 YES

**IMPACT RESISTANT:**  
 IMPACT RESISTANT GLAZING  
 IMPACT RESISTANT COVERING  
 COMBINATION OF IMPACT RESISTANT GLAZING & COVERING

**INTERNAL PRESSURE COEFFICIENTS:**  
 0.00 (OPEN)  
 +0.18, -0.18 (ENCLOSED)  
 +0.55, -0.55 (PARTIALLY ENCLOSED)

**COMPONENTS AND CLADDING PRESSURES:**  
 ZONE 1: +27.8 / -30.4  
 ZONE 2: +27.8 / -35.6  
 ZONE 3: +27.8 / -35.6  
 ZONE 4: +30.4 / -39.0  
 ZONE 5: +30.4 / -40.7



DATE: \_\_\_\_\_

NO. \_\_\_\_\_

REVISIONS: \_\_\_\_\_

APPROVED: *[Signature]*

ROBERT W. CASE  
FLORIDA P.E. #14643

A42602940  
CA NO.: 6883  
CA NO.: 29005  
LB1057

ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

**LIS**

HISTORIC FLINT HOUSE & MUSEUM  
BUCKINGHAM, LEE COUNTY, FLORIDA

**EXTERIOR ELEVATIONS**

21430, Right Basin Blvd.  
Ava, Fla. 32920  
Phone: (239) 693-9244  
Facsimile: (239) 693-9828

SCALE: 1/4" = 1'-0"

DATE: DECEMBER 20, 2011

SHEET

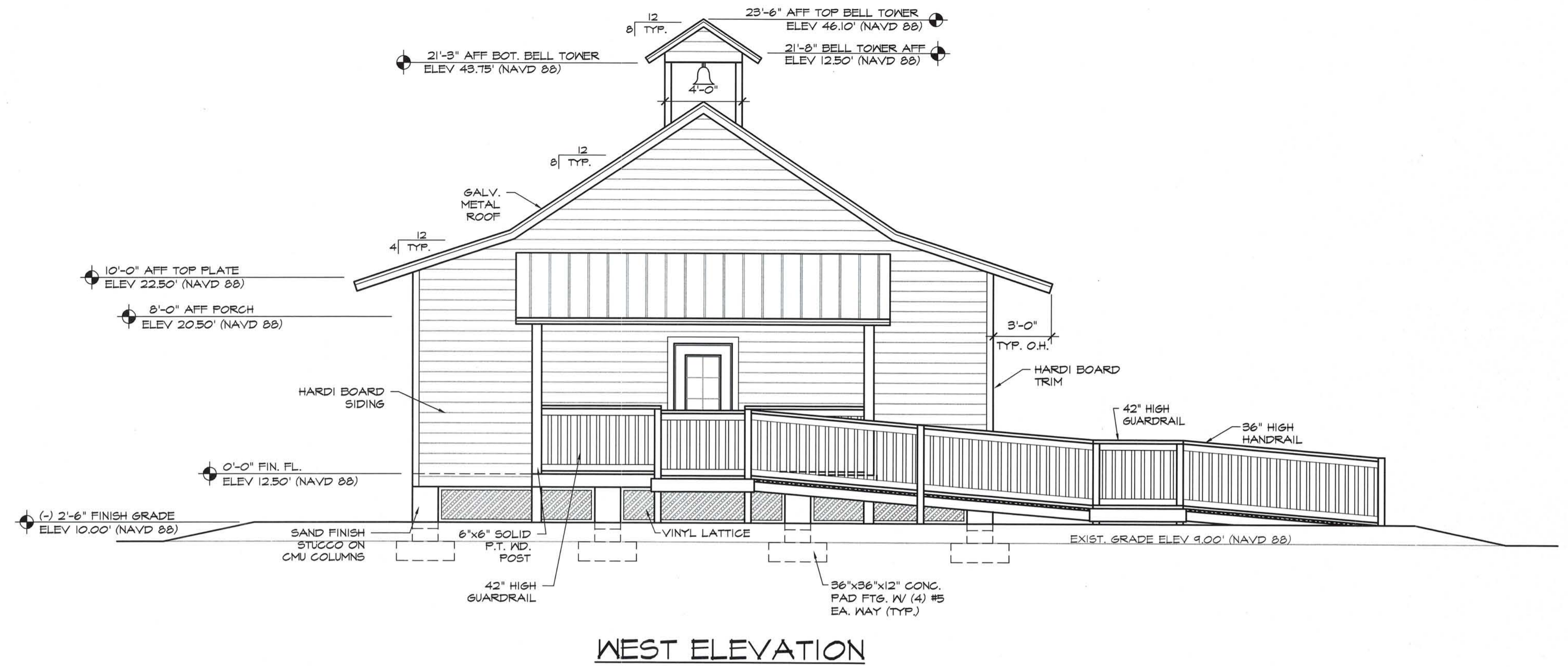
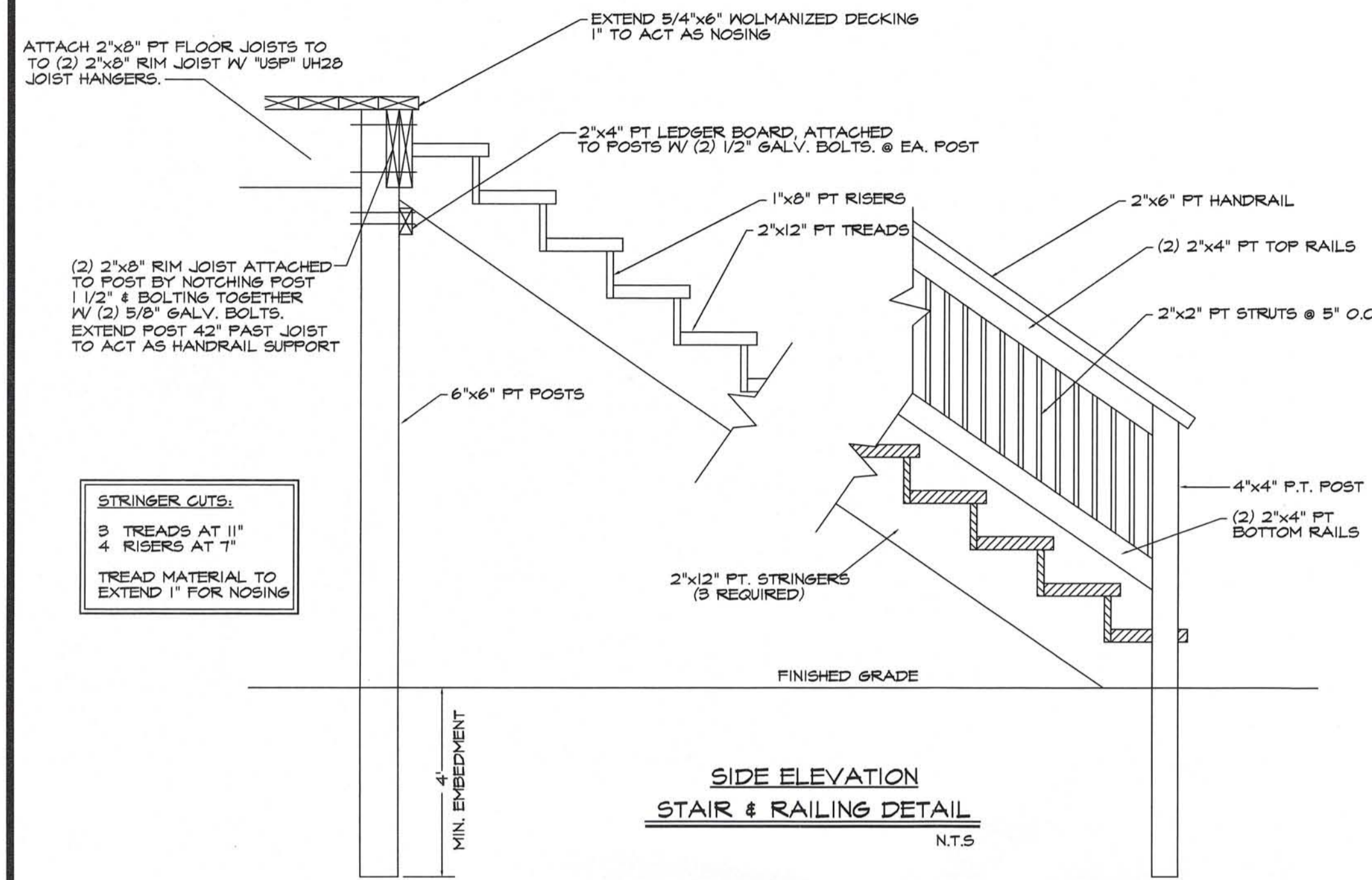
**A1**

T002



NOTE:  
 BOLT BEAMS TOGETHER W/ 1/2" GALV. BOLTS @ 2' O.C. & STAGGERED.  
 ATTACH BEAMS TO CMU COL'S W/ 'USP' FA23 FURLIN ANCHORS  
 ATTACH FLOOR JOISTS TO BEAMS W/ 'USP' UH210 JOIST HANGERS.

NOTE:  
 FRONT & REAR PORCHES TO BE 4' BELOW LIVING FINISHED FLOOR



WEST ELEVATION

**STAIR, GAURDRAIL, & HANDRAIL NOTES**

STAIRS SHALL COMPLY WITH 2007 FBC CH. 1008, & 1009.

THE HEIGHT OF RISERS SHALL NOT EXCEED 7", AND TREADS SHALL NOT BE LESS THAN 11" WIDE PER 2007 FBC, SEC. 1009.3 & NFPA

ALL LANDINGS ON STAIRS SHALL FOLLOW SECTION 1009.4 AND OF THE 2007 FLORIDA BUILDING CODES.

GAURDRAILS SHALL COMPLY WITH 2007 FBC, CH. 1012.

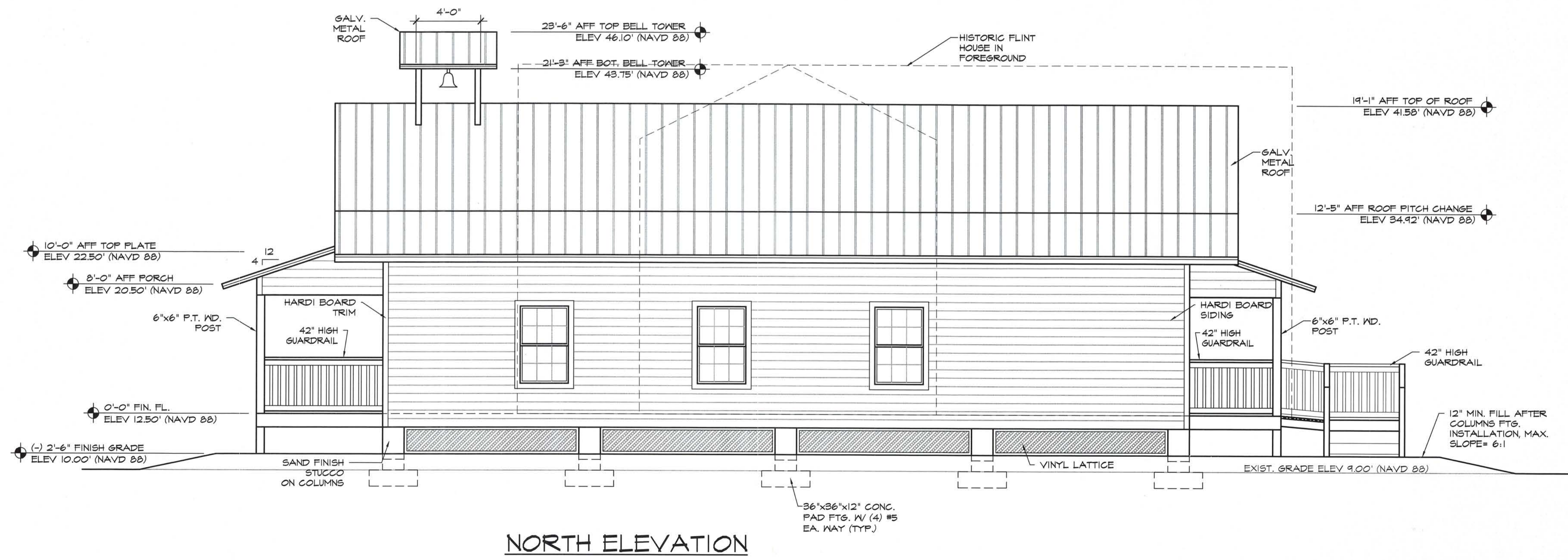
STAIRWAYS HAVING FOUR OR MORE RISERS ABOVE A FLOOR OR FINISHED GROUND LEVEL, SHALL BE EQUIPPED WITH HANDRAILS LOCATED NOT LESS THAN 34" NOR MORE THAN 38" ABOVE THE LEADING EDGE OF A TREAD PER SECTIONS 1009.11 OF THE 2007 FBC.

ALL LANDINGS, STAIRS AND PORCHES WHICH ARE MORE THAN 30" ABOVE FINISHED GROUND LEVEL OR A FLOOR BELOW SHALL BE PROTECTED BY A SOLID WALL, OR GUARDRAIL 42" HIGH PER SECTION 1012 OF THE 2007 FLORIDA BUILDING CODES.

STAIRS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIR TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THIS MINIMUM SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIR AND LANDINGS, PER SECTIONS 1009.2 OF THE 2007 FLORIDA BUILDING CODE.

HANDRAILS ARE REQ'D. ON EACH SIDE OF OF ALL STAIRS (AND RAMPS), PER FBC SEC. 1009.11 OF THE 2007 FLORIDA BUILDING CODE.

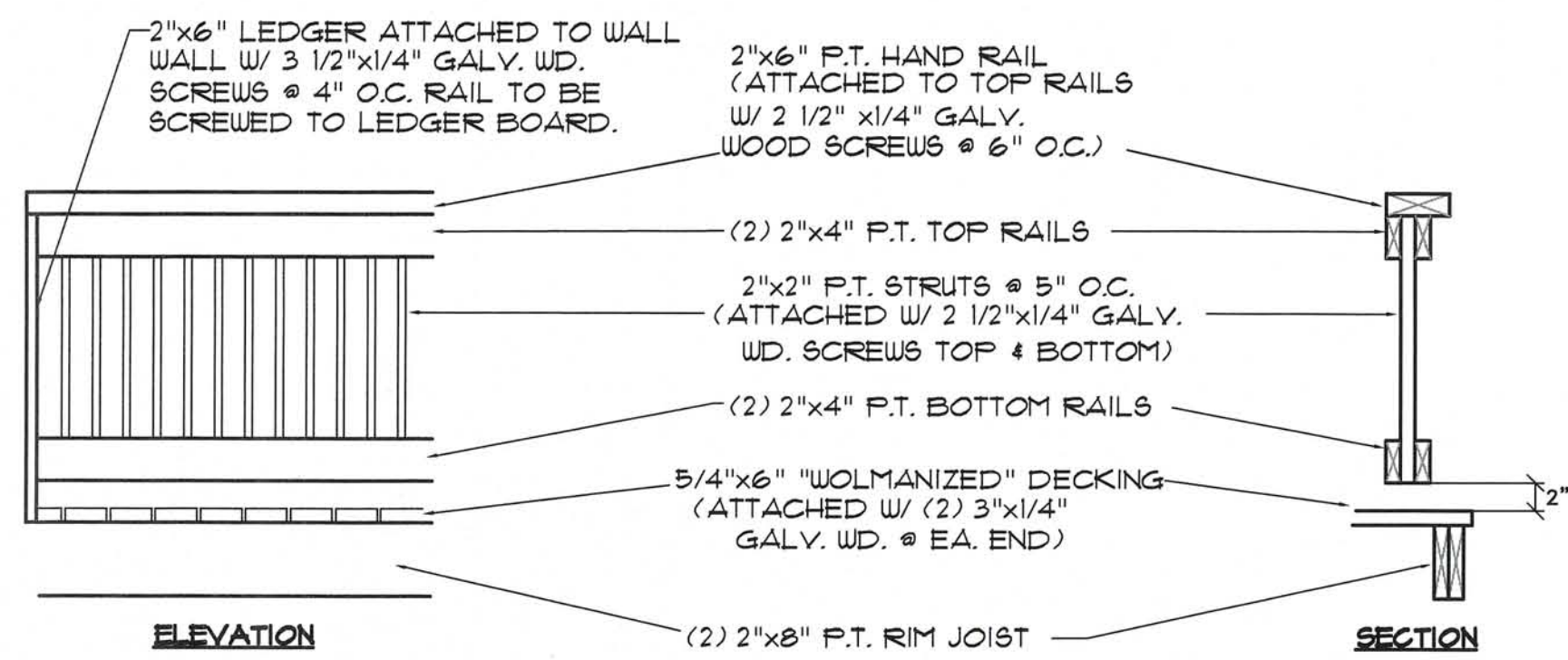
NEW HANDRAILS THAT ARE NOT CONTINUOUS BETWEEN FLIGHTS SHALL EXTEND HORIZONTALLY, AT THE REQUIRED HGT., AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR A DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.



NORTH ELEVATION

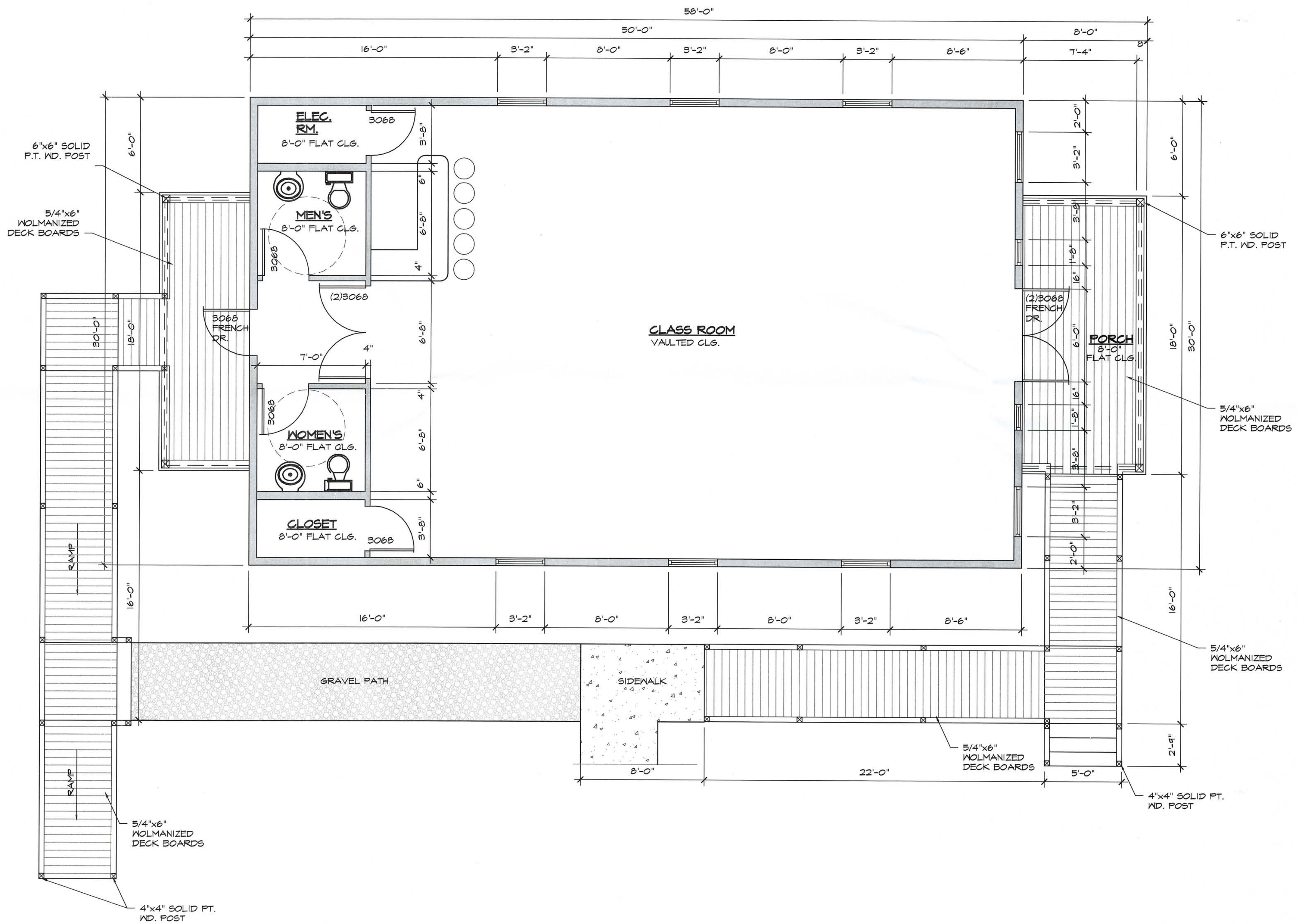
DATE	
REVISIONS	
NO.	
APPROVED	
ARCHITECTURE	ARCHITECTURE
ENGINEERING	ENGINEERING
LAND SURVEYING	LAND SURVEYING
CA NO. 6851	CA NO. 28005
CA NO. 28005	CA NO. 28005
25150 W. State Road 3726	25150 W. State Road 3726
Suite 204, Ocala, FL 34474	Suite 204, Ocala, FL 34474
Phone: (352) 244-0402	Phone: (352) 244-0402
Fax: (352) 244-9419	Fax: (352) 244-9419
LISS	LISS
HISTORIC FLINT HOUSE & MUSEUM	HISTORIC FLINT HOUSE & MUSEUM
BUCKINGHAM, LEE COUNTY, FLORIDA	BUCKINGHAM, LEE COUNTY, FLORIDA
EXTERIOR ELEVATIONS	EXTERIOR ELEVATIONS
SCALE:	1/4"=1'-0"
DATE:	DECEMBER 20, 2011
SHEET	A2





**PORCH RAIL DETAIL**

N.T.S.



**AREAS:**

CLASSROOM	= 1500
PORCH	= 123
<b>TOTAL</b>	<b>= 1623</b>

DATE: \_\_\_\_\_  
NO. \_\_\_\_\_  
REVISIONS \_\_\_\_\_

APPROVED: *[Signature]*  
ROBERT W. CASE  
FLORIDA P.E. #44643

ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

**LIS**  
2430 S.W. 8th St., Ft. Lauderdale, FL 33304  
Phone: (339) 693-9244  
Fax: (339) 693-9228

HISTORIC FLINT HOUSE & MUSEUM  
BUCKINGHAM, LEE COUNTY, FLORIDA

**FLOOR PLAN**

SCALE:  
1/4"=1'-0"

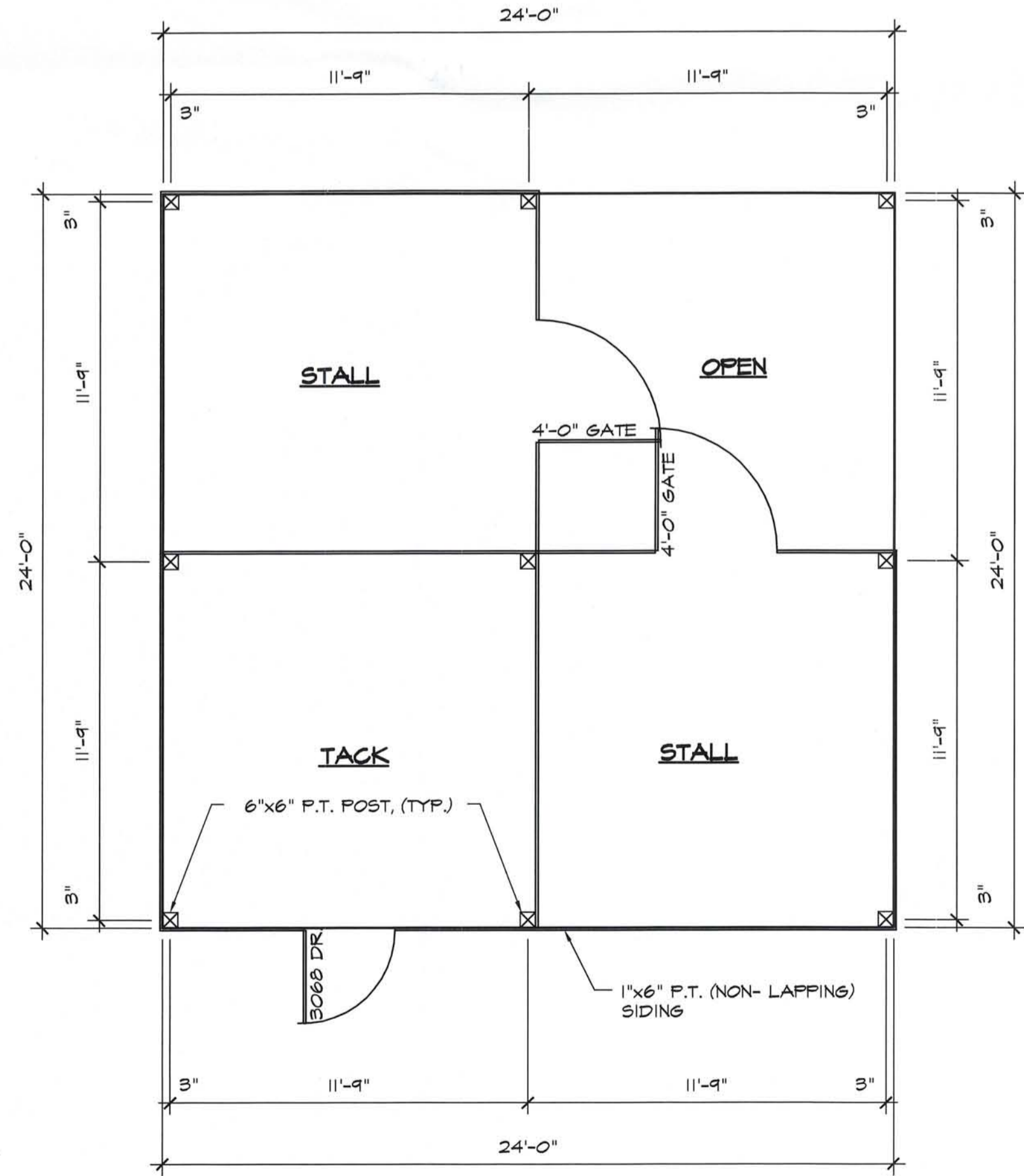
DATE:  
DECEMBER 7, 2011

SHEET  
**A3**

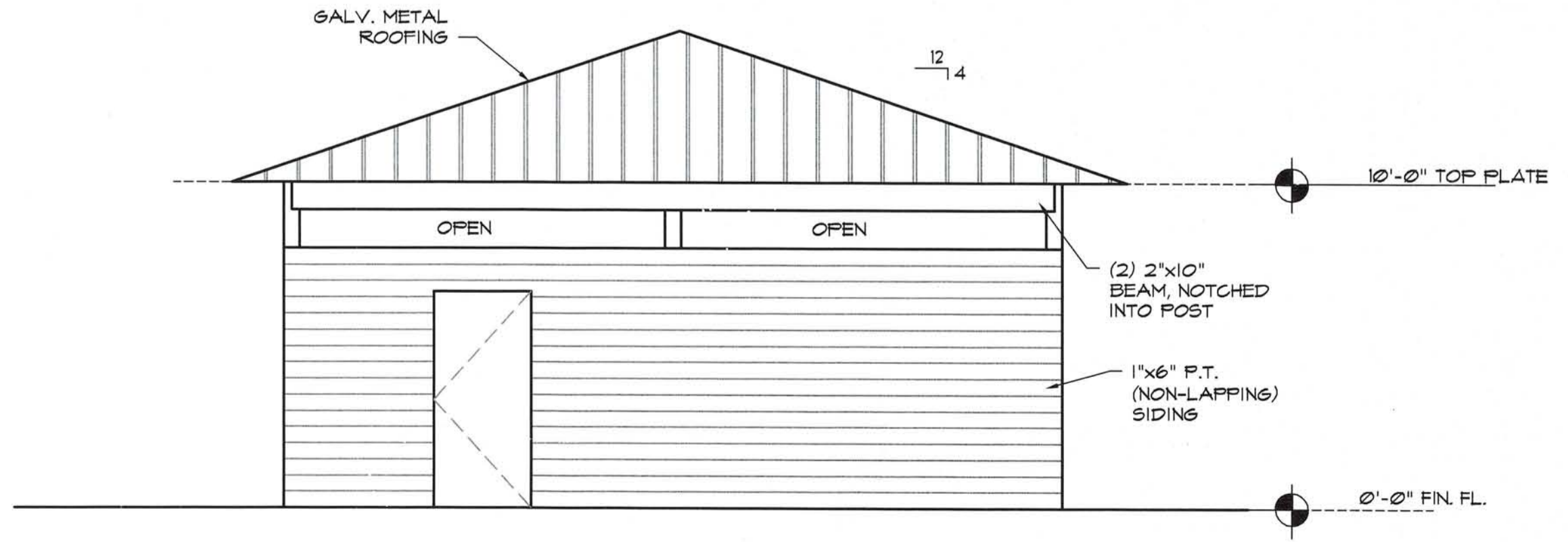
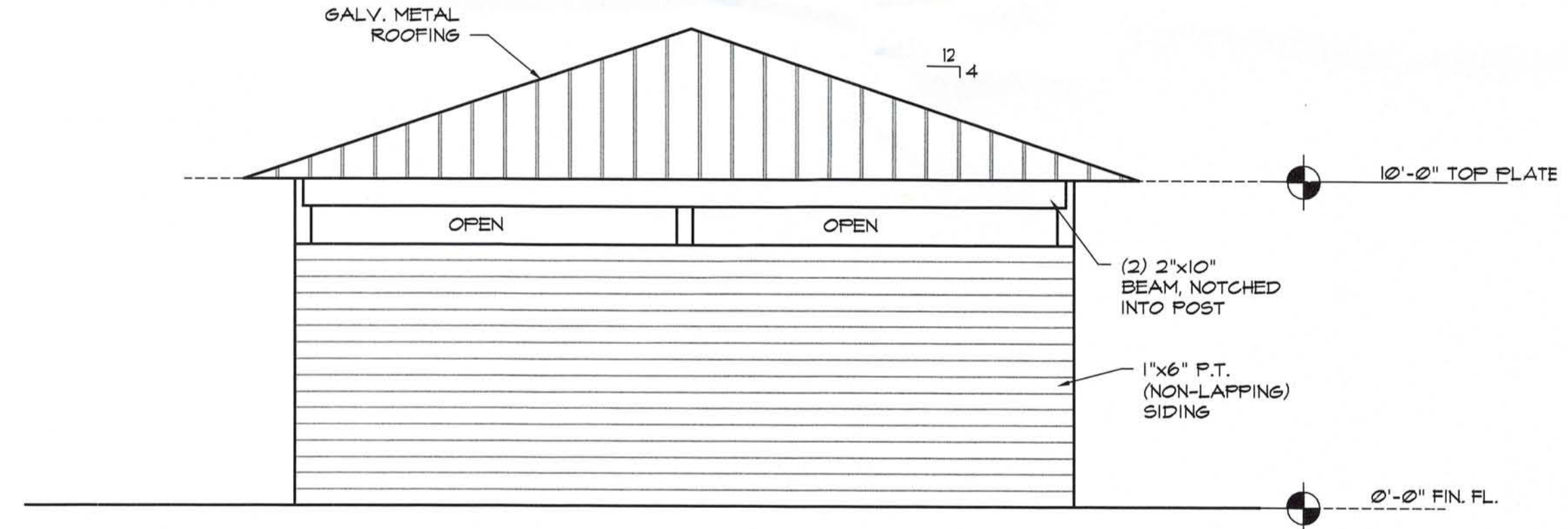
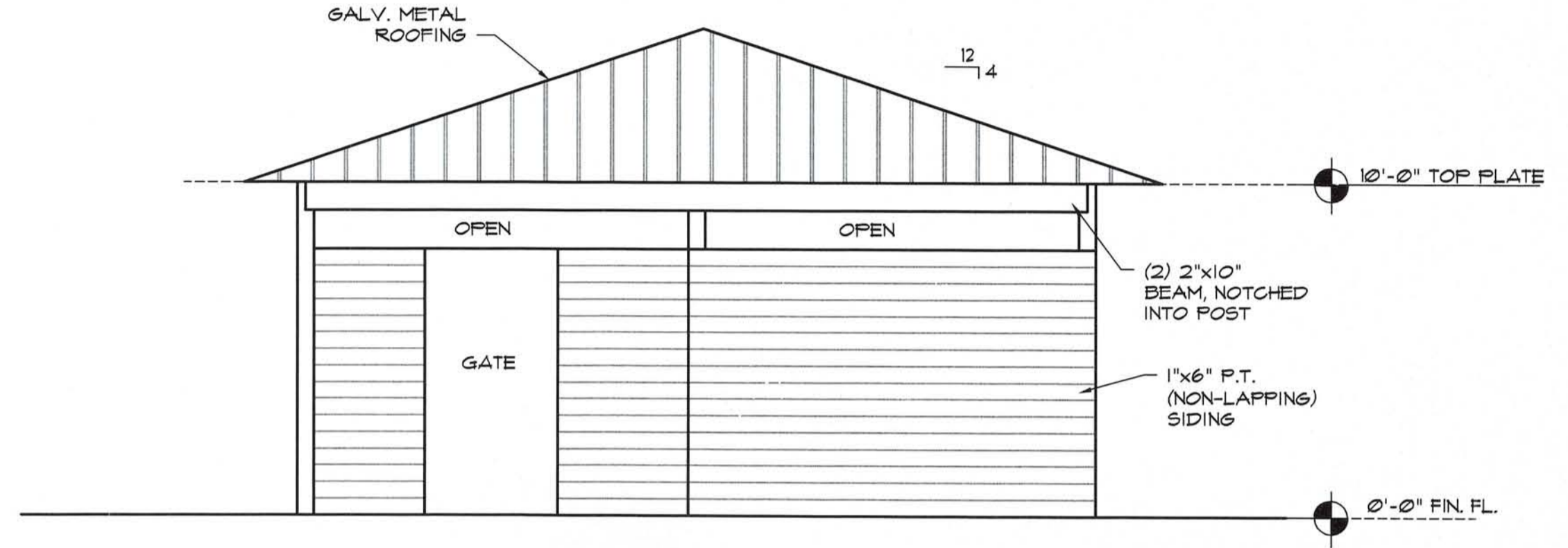
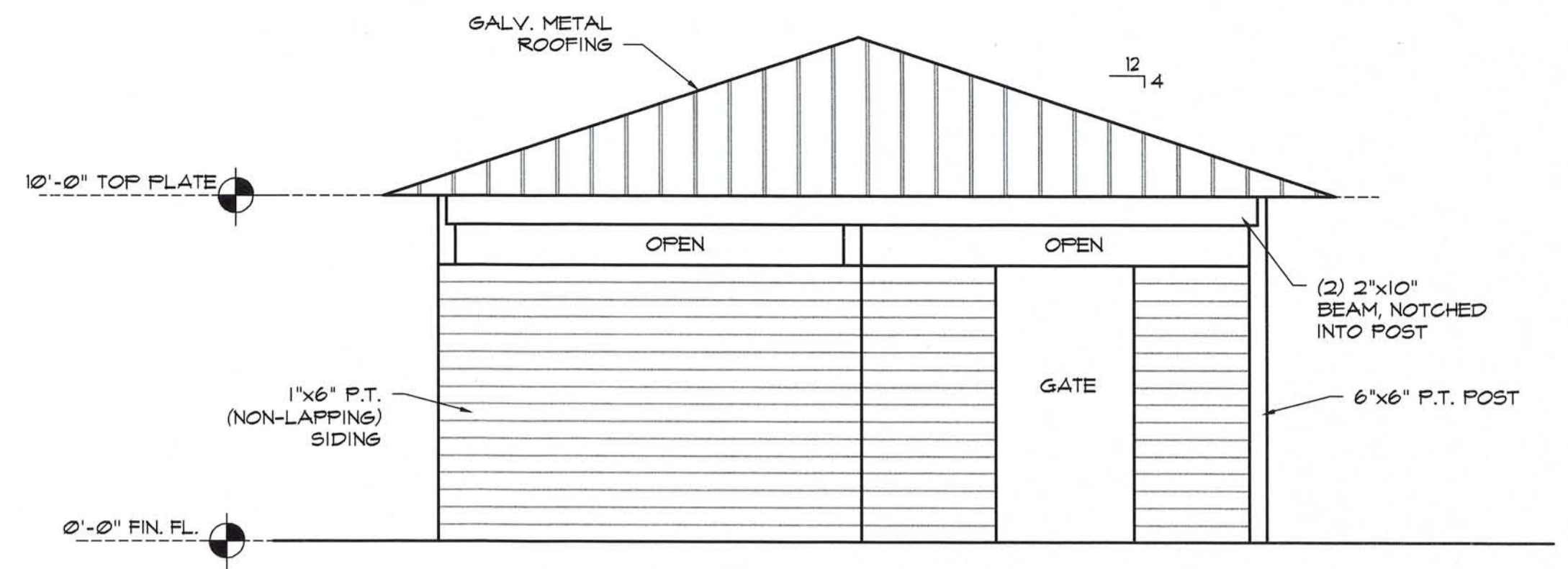


**DESIGN PARAMETERS:**

- APPLICABLE CODES:**  
 BUILDING CODES = FLORIDA BUILDING CODE, RESIDENTIAL 2007\* AND FLORIDA BUILDING CODE, BUILDING 2007\*  
 MECHANICAL CODE = FLORIDA BUILDING CODE, MECHANICAL 2007\*  
 PLUMBING CODE = FLORIDA BUILDING CODE, PLUMBING 2007\*  
 ELECTRICAL CODE = 2005 NEC  
 FIRE CODE = NFPA 101  
 LIFE SAFETY CODE = NFPA 101  
 ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2007\*  
 ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2007\*  
 \* = REFERENCES TO ALL 2007 FLORIDA BUILDING CODES INCLUDE THE 2009 AMENDMENTS
- METHOD OF DESIGN:**  
 DESIGNED PURSUANT TO 2007 FLORIDA BUILDING CODES AND SECTION 1604\*
- BASIC WIND SPEED:**  
 130 MPH (3-SECOND GUST) = 114 MPH (FASTEST MILE)  
 120 MPH (3-SECOND GUST) = 104 MPH (FASTEST MILE)
- IMPORTANCE FACTOR:**  
 0.77 (BUILDING CATEGORY I)     1.15 (BUILDING CATEGORY III)  
 1.00 (BUILDING CATEGORY II)     1.15 (BUILDING CATEGORY IV)
- BUILDING OCCUPANCY CLASSIFICATION:**
- |  |  |
|--|--|
| <input checked="" type="checkbox"/> GROUP A - ASSEMBLY | <input type="checkbox"/> GROUP H - HAZARDOUS     |
| <input type="checkbox"/> GROUP B - BUSINESS            | <input type="checkbox"/> GROUP I - INSTITUTIONAL |
| <input type="checkbox"/> GROUP D - DAY CARE CENTER     | <input type="checkbox"/> GROUP M - MERCANTILE    |
| <input type="checkbox"/> GROUP E - EDUCATIONAL         | <input type="checkbox"/> GROUP R - RESIDENTIAL   |
| <input type="checkbox"/> GROUP F - FACTORY INDUSTRIAL  | <input type="checkbox"/> GROUP S - STORAGE       |
- BUILDING CONSTRUCTION TYPE:**  
 TYPE I-A     TYPE II-B     TYPE IV  
 TYPE I-B     TYPE III-A     TYPE V-A  
 TYPE II-A     TYPE III-B     TYPE V-B
- EXPOSURE CATEGORY:**  
 A     C  
 B     D
- WINDBORNE DEBRIS REGION:**  
 NO  
 YES
- IMPACT RESISTANT GLAZING  
 IMPACT RESISTANT COVERING  
 COMBINATION OF IMPACT RESISTANT GLAZING & COVERING
- INTERNAL PRESSURE COEFFICIENTS:**  
 0.00 (OPEN)  
 +0.18, -0.18 (ENCLOSED)  
 +0.55, -0.55 (PARTIALLY ENCLOSED)
- COMPONENTS AND CLADDING PRESSURES:**  
 ZONE 1: +21.8 / -30.4  
 ZONE 2: +21.8 / -35.6  
 ZONE 3: +21.8 / -35.6  
 ZONE 4: +30.4 / -39.0  
 ZONE 5: +30.4 / -40.7



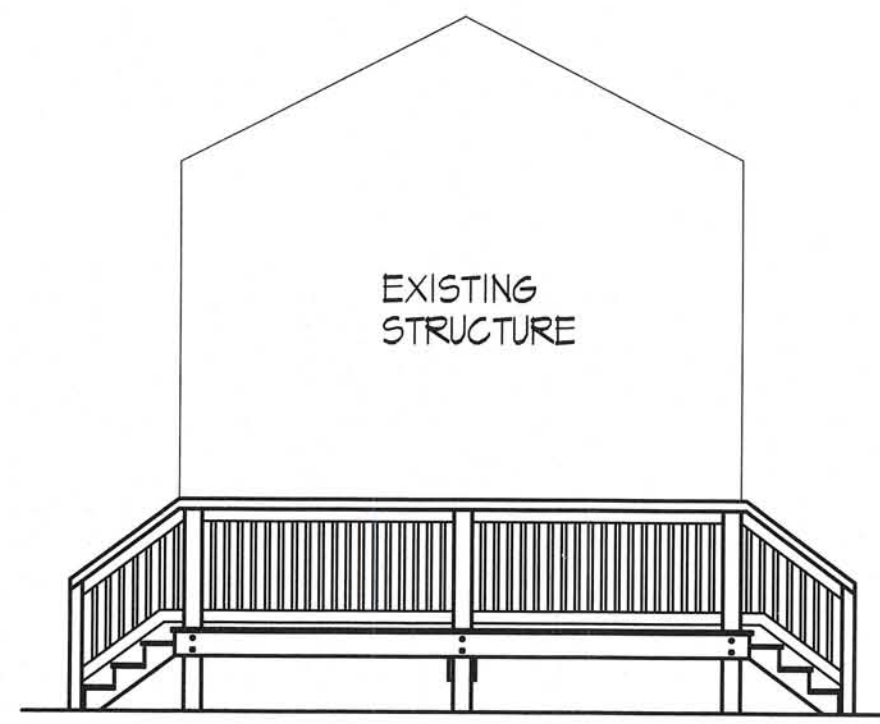
AREA:	
BARN	= 576
TOTAL	= 576



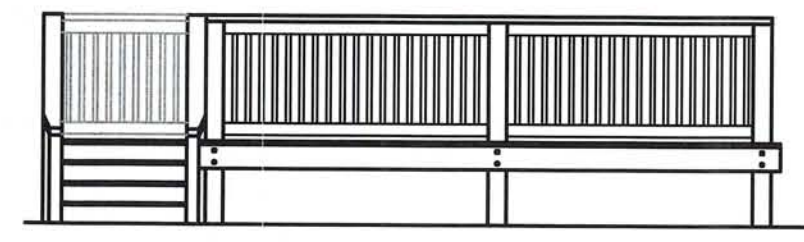
APPROVED  
 ARCHITECTURE  
 ENGINEERING  
 LAND SURVEYING  
**LIS**  
 TOM COOK - FLINT HOUSE  
 BUCKINGHAM, LEE COUNTY, FLORIDA  
**24'x24' BARN**  
 SCALE: 1/4"=1'-0"  
 DATE: DECEMBER 7, 2011  
 SHEET  
**A1**

AZ26002040  
 CA NO.: 6553  
 CA NO.: 28005  
 LPI057  
 2572 West State Road 426  
 Suite 2054, Oviedo, FL 32765  
 Phone: (321) 244-0402  
 Facsimile: (321) 244-9419  
 ROBERT W. CASE  
 FLORIDA P.E. #44643

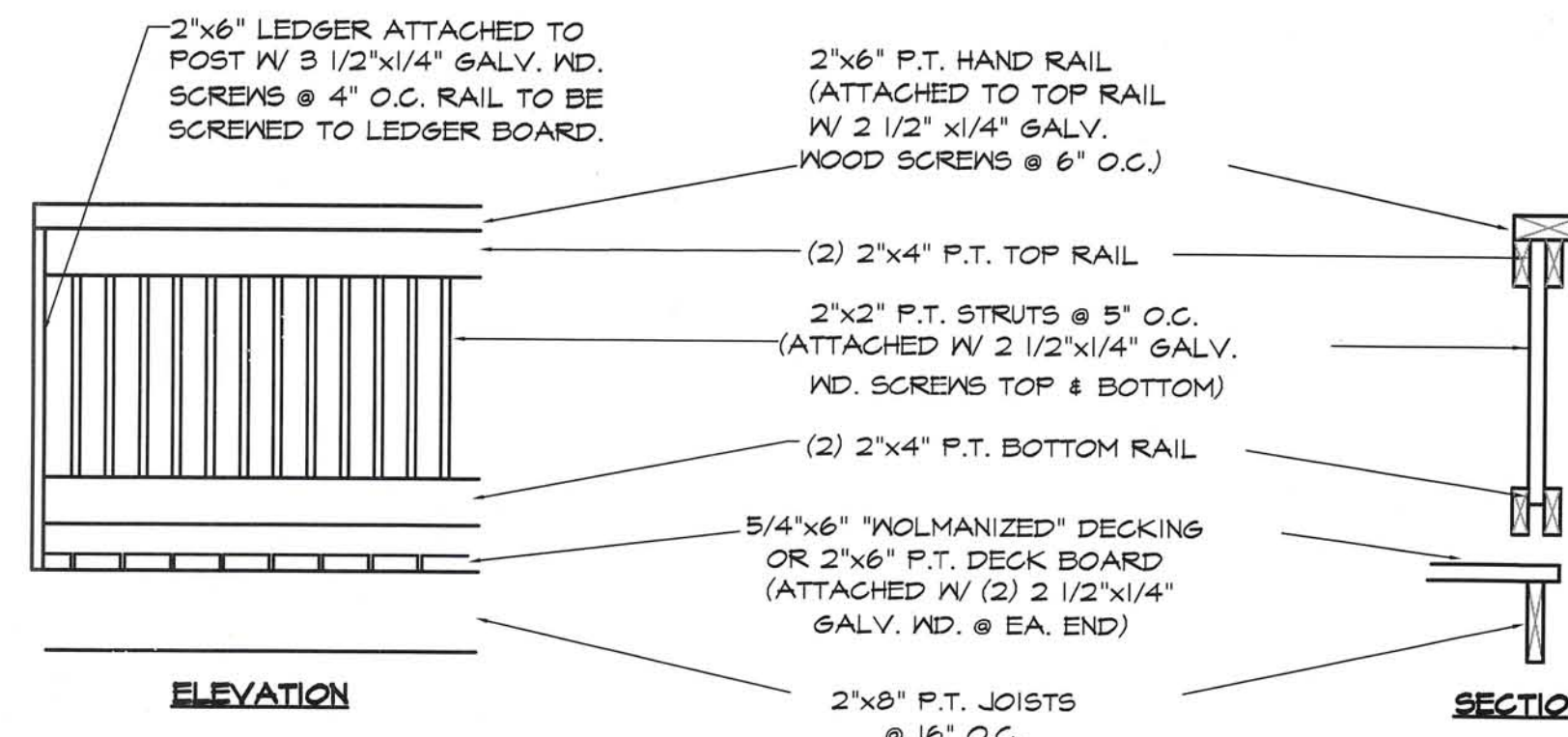




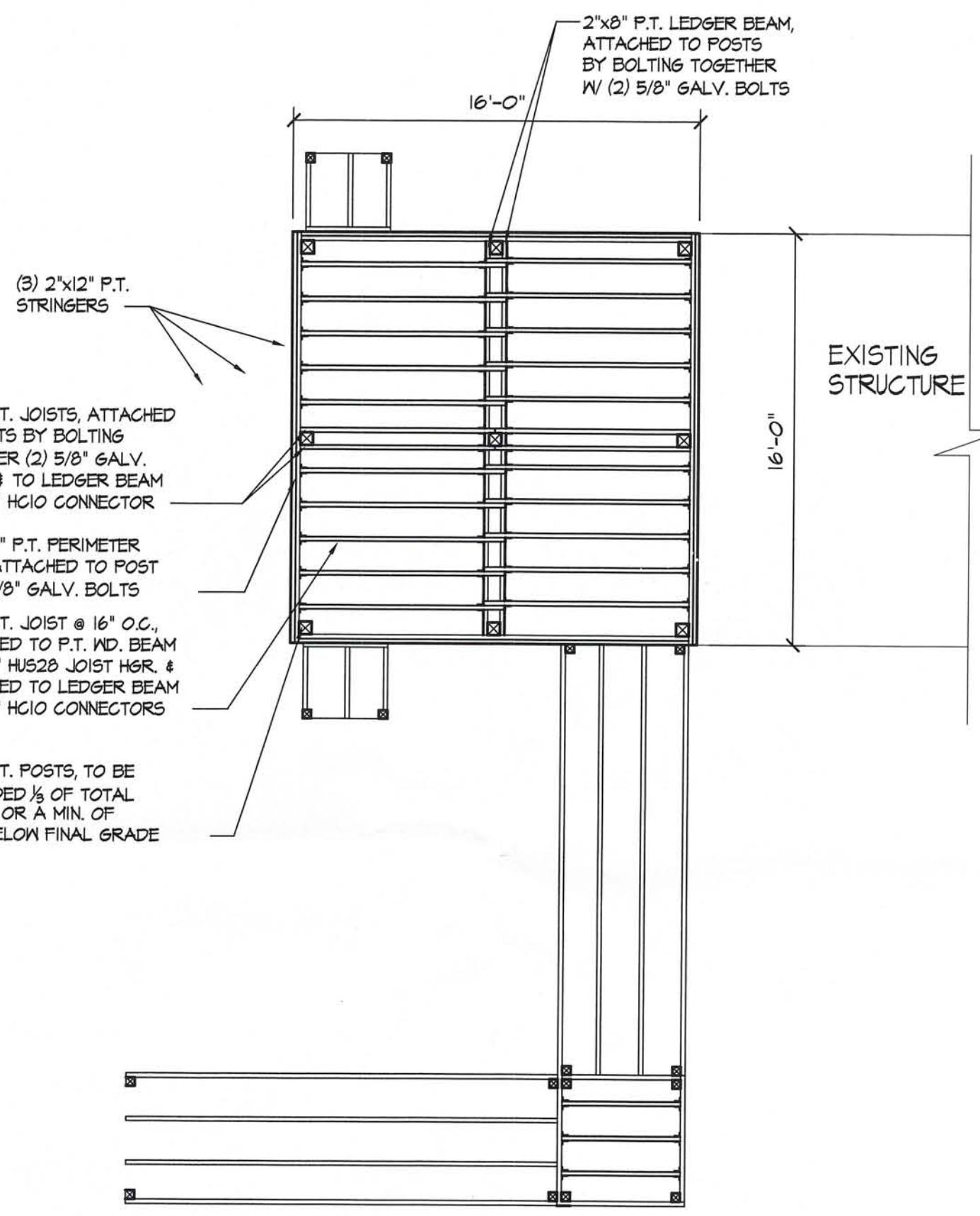
**SIDE VIEW**  
SCALE: N.T.S.



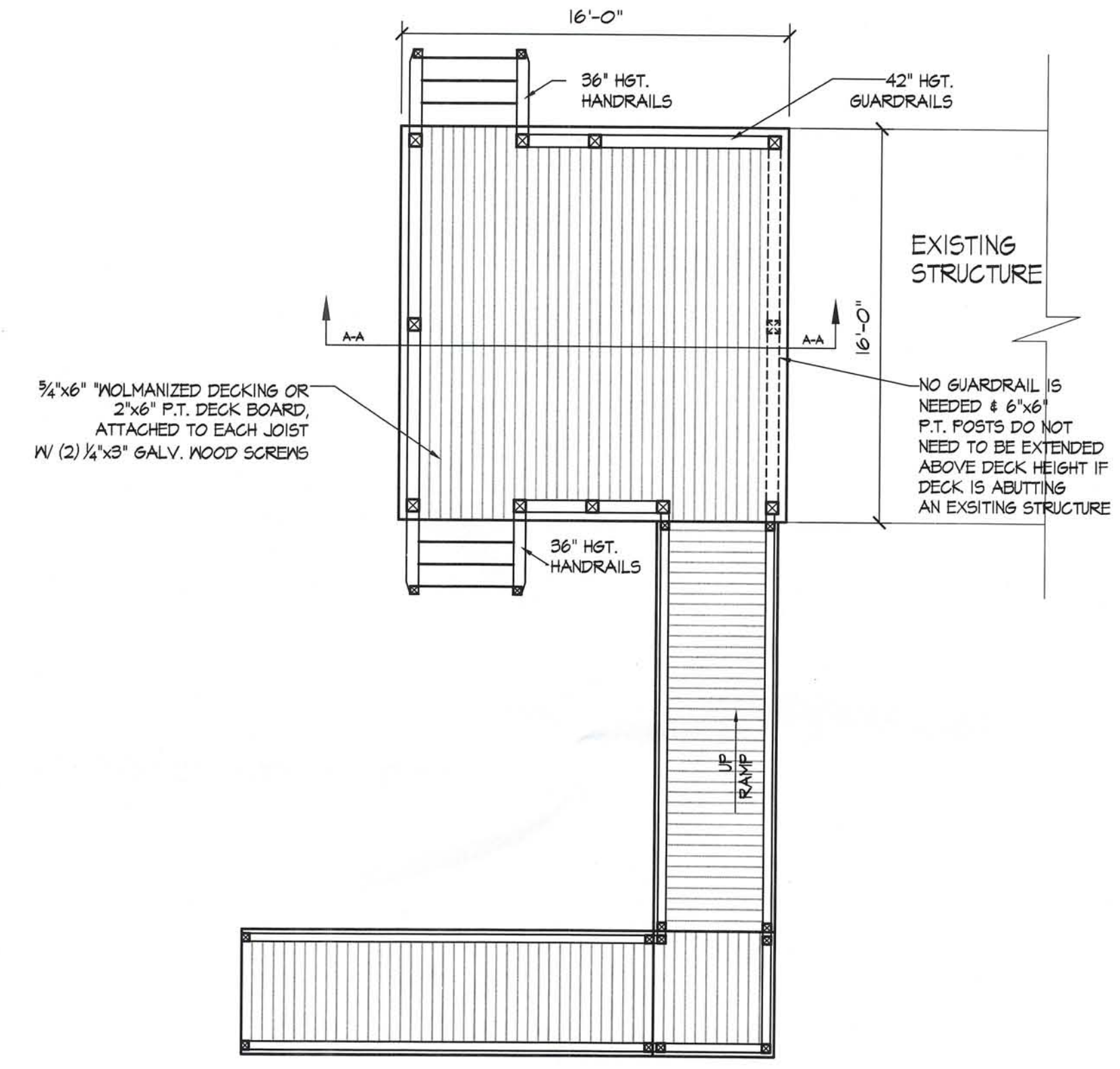
**FRONT VIEW**  
SCALE: N.T.S.



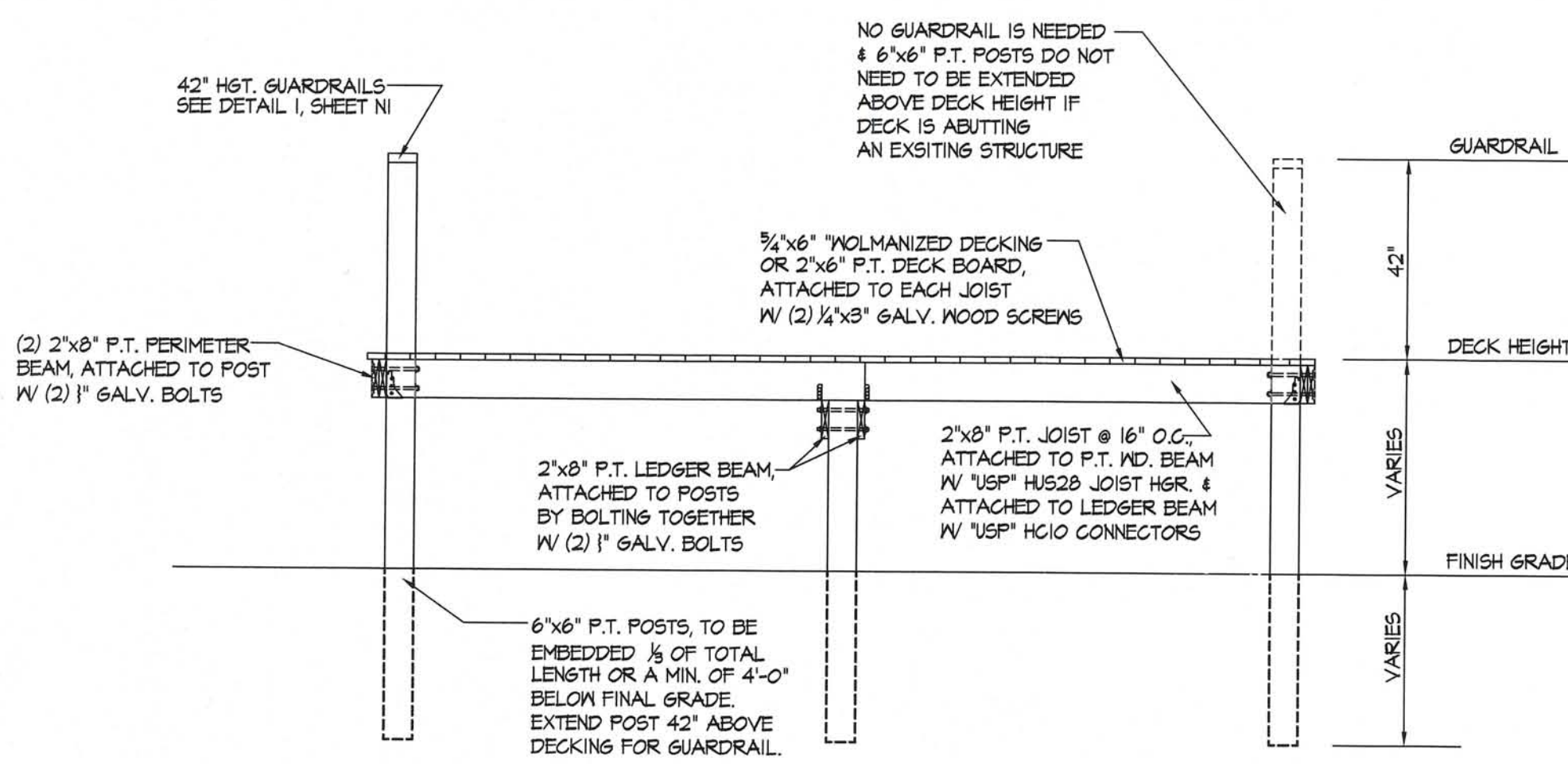
**PORCH RAIL DETAIL**  
N.T.S.



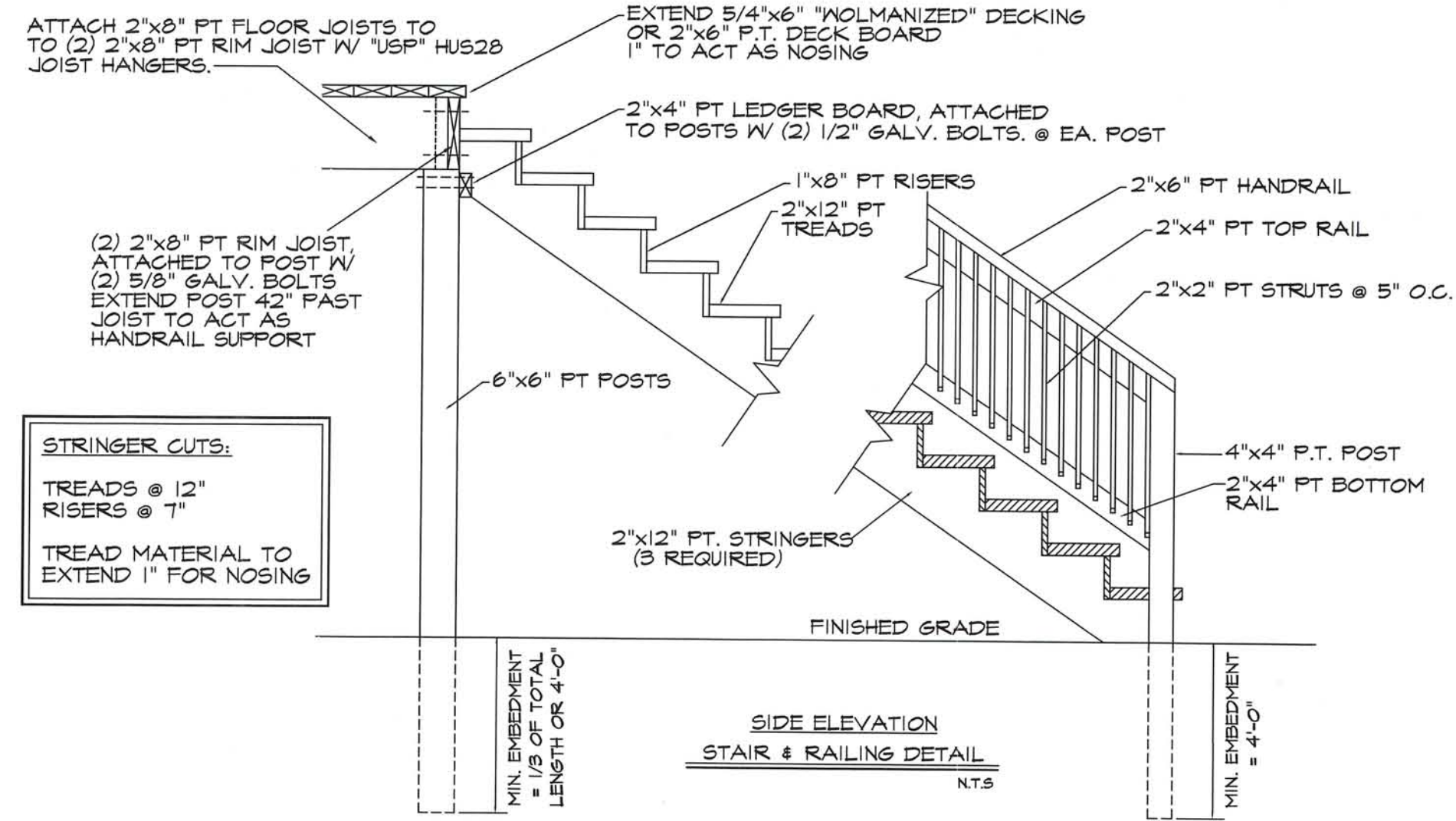
**FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**A-A TYPICAL WOOD FRAME DECK SECTION**  
SCALE: N.T.S.



**SIDE ELEVATION STAIR & RAILING DETAIL**  
N.T.S.

**DESIGN PARAMETERS:**

<p><b>APPLICABLE CODES:</b></p> <p>BUILDING CODES = FLORIDA BUILDING CODE, RESIDENTIAL 2007* AND FLORIDA BUILDING CODE, BUILDING 2007*</p> <p>MECHANICAL CODE = FLORIDA BUILDING CODE, MECHANICAL 2007*</p> <p>PLUMBING CODE = FLORIDA BUILDING CODE, PLUMBING 2007*</p> <p>ELECTRICAL CODE = 2005 NEC</p> <p>FIRE CODE = NFPA 101</p> <p>LIFE SAFETY CODE = NFPA 101</p> <p>ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2007*</p> <p>ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2007*</p> <p>* = REFERENCES TO ALL 2007 FLORIDA BUILDING CODES INCLUDE THE 2007 AMENDMENTS</p> <p><b>METHOD OF DESIGN:</b></p> <p>DESIGNED PURSUANT TO 2007 FLORIDA BUILDING CODES AND SECTION 1609*</p> <p><b>BASIC WIND SPEED:</b></p> <p><input checked="" type="checkbox"/> 130 MPH (3-SECOND GUST) = 110 MPH (FASTEST MILE)</p> <p><input type="checkbox"/> 120 MPH (3-SECOND GUST) = 100 MPH (FASTEST MILE)</p> <p><b>IMPORTANCE FACTOR:</b></p> <p><input type="checkbox"/> 0.75 (BUILDING CATEGORY I)</p> <p><input checked="" type="checkbox"/> 1.00 (BUILDING CATEGORY II)</p> <p><input type="checkbox"/> 1.15 (BUILDING CATEGORY III)</p> <p><input type="checkbox"/> 1.15 (BUILDING CATEGORY IV)</p> <p><b>BUILDING OCCUPANCY CLASSIFICATION:</b></p> <p><input type="checkbox"/> GROUP A - ASSEMBLY</p> <p><input type="checkbox"/> GROUP B - BUSINESS</p> <p><input type="checkbox"/> GROUP D - DAY CARE CENTER</p> <p><input type="checkbox"/> GROUP E - EDUCATIONAL</p> <p><input type="checkbox"/> GROUP F - FACTORY INDUSTRIAL</p> <p><input type="checkbox"/> GROUP H - HAZARDOUS</p> <p><input type="checkbox"/> GROUP I - INSTITUTIONAL</p> <p><input type="checkbox"/> GROUP M - MERCANTILE</p> <p><input checked="" type="checkbox"/> GROUP R - RESIDENTIAL</p> <p><input type="checkbox"/> GROUP S - STORAGE</p>	<p><b>BUILDING CONSTRUCTION TYPE:</b></p> <p><input type="checkbox"/> TYPE I-A</p> <p><input type="checkbox"/> TYPE I-B</p> <p><input type="checkbox"/> TYPE I-C</p> <p><input type="checkbox"/> TYPE II-A</p> <p><input type="checkbox"/> TYPE II-B</p> <p><input checked="" type="checkbox"/> TYPE V-B</p> <p><b>EXPOSURE CATEGORY:</b></p> <p><input type="checkbox"/> A</p> <p><input type="checkbox"/> C</p> <p><input checked="" type="checkbox"/> B</p> <p><input type="checkbox"/> D</p> <p><b>WINDBORNE DEBRIS REGION:</b></p> <p><input type="checkbox"/> NO</p> <p><input checked="" type="checkbox"/> YES</p> <p><input type="checkbox"/> IMPACT RESISTANT GLAZING</p> <p><input type="checkbox"/> IMPACT RESISTANT COVERING</p> <p><input type="checkbox"/> COMBINATION OF IMPACT RESISTANT GLAZING &amp; COVERING</p> <p><b>INTERNAL PRESSURE COEFFICIENTS:</b></p> <p><input checked="" type="checkbox"/> 0.00 (OPEN)</p> <p><input type="checkbox"/> +0.18, -0.18 (ENCLOSED)</p> <p><input type="checkbox"/> +0.55, -0.55 (PARTIALLY ENCLOSED)</p> <p><b>COMPONENTS AND CLADDING PRESSURES:</b></p> <p>ZONE 1: +27.8 / -30.4</p> <p>ZONE 2: +27.8 / -35.6</p> <p>ZONE 3: +27.8 / -35.6</p> <p>ZONE 4: +30.4 / -39.0</p> <p>ZONE 5: +30.4 / -40.7</p>
--	--

**WOOD FRAMED DECK**

**GENERAL**

- This building/structure has been designed in accordance with the 2007 Edition of the Florida Building Codes, and Section 1609 for design pressures generated by a three second gust design wind velocity of 130 mph, (110 mph fastest mile wind velocity). Structural calculations, including gravity loads, as necessary to confirm compliance with the 2007 Edition of the Florida Building Codes, have been performed.
- The owner, his agent, or general contractor is responsible for field supervision, construction administration, review and approval of all shop drawings, verification on-site of all dimensions and elevations, and strict compliance with these construction documents as approved by Lee County.
- These plans are intended to be mastered. The repetitive use of these plans for permitting is approved.
- All windows, doors, and other such systems, components and cladding shall be designed in accordance with Section 1609 of the 2007 Edition of the Florida Building Code for design pressures generated by a three second gust design wind velocity of 130 mph, (110 mph fastest mile wind velocity), see "Design Parameters" for specific pressures.

**FASTENERS & CONNECTORS**

- Approved connectors, anchors and other fastening devices not included in the Florida Building Code shall be installed in accordance with the manufacturer's recommendations.
- Where fasteners are not otherwise specified fasteners shall be provided in accordance with Table 2304.4.1 of the 2007 Edition of the Florida Building Code. Nails, screws, or bolts shall be able to resist the forces in this Code.
- Unless otherwise stated, sizes given for nails are common wire nails. For example, 8d = 2 1/2 inches long x 0.131-inch diameter. See Table 12.3B, columns 2, 3, and 4, in the National Design Specifications for Wood Construction. Metal plates, connectors, screws, bolts and nails exposed directly to the weather or subject to salt corrosion in coastal areas, as determined by the Building Official, shall be stainless steel, or hot dipped galvanized after the fastener or connector is fabricated to form a zinc coating not less than 1 oz per sq ft, or hot dipped galvanized with a minimum coating of 1.5 oz per sq ft of steel meeting the requirements of ASTM A 40 Triple Spot Test.

**WOOD GENERAL**

- All wood construction shall comply with the latest NFPA and AITC Specifications and Recommendations.
- Lumber standard shall be American Softwood Lumber Standard PS 20-70, 545, 14% moisture or as required by structural design.
- Structural lumber (roof beams, headers, columns, exterior wall studs to be Southern Pine No. 2 KD 15 with a Fb=1300 PSI, E=1,800,000 PSI, and Fv = 45 PSI).
- Glue laminated timber shall conform with ASTM D-3751 and AITC 117. Roof beams shall be designated 24F-V1 or 24F-E1.
- Plywood for sheathing shall be APA rated sheathing as per plans and shall bear the APA Mark.
- Wood in contact with concrete, masonry and/or exposed to weather shall be protected or pressure treated in accordance with AITC-104.

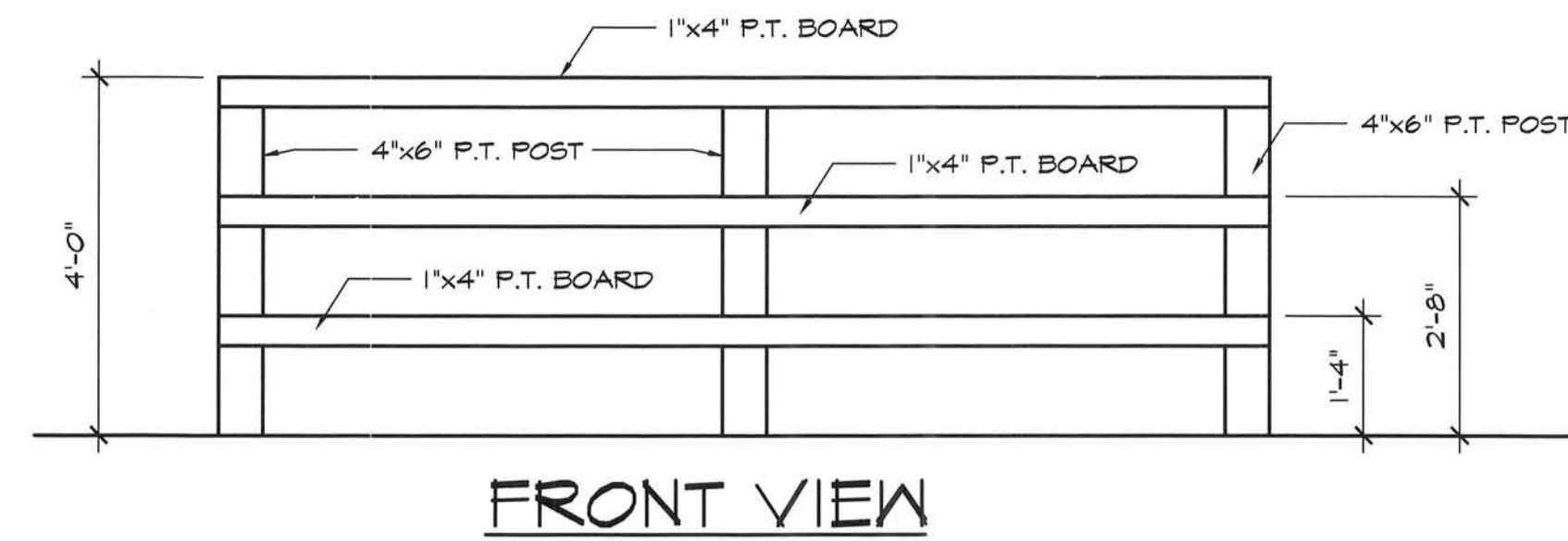
**WOOD FLOORS**

- Floor joists shall be of Group II species lumber and sized in accordance with the National Forest Products Association (NFPA) Span Tables for Joists and Rafters. Trussed floor joists shall be in accordance with accepted engineering practice.
- Floor trusses shall be in accordance with TPI Design Specifications for Metal Plate Connected Parallel Chord Wood Trusses. Top chords shall be of Group II species lumber. Floor trusses shall also be in accordance with 2007 FBC Sec. 2305.4, R502.11.4, and R502.10.1.
- Floor sheathing shall be 1/2-inch minimum G-D sheathing grade plywood (wood structural panels) or equivalent. The sheathing shall be installed with long dimension perpendicular to framing and with joints staggered. See Detail Sheets.
- Floor framing shall be spaced not more than 24 inches on center for 23/32-inch plywood (wood structural panels) sheathing and not more than 20 inches on center for other floor sheathing. In no case shall spacing exceed span ratings shown on sheathing panels.
- The Floor Joists/trusses shall be fastened to the sill plate or top plate in accordance with Florida Building Code and these plans and specifications. In addition, uplift connectors shall be provided to resist uplift loads.
- Provide bracing in the first two framing spaces at each end of floor system, spaced 4 feet on center maximum. Bracing members shall be full depth of joist or truss. No other blocking is required except as shown to create a stronger diaphragm.
- Fasten floor sheathing to panels to framing and blocking with 10d common or 10d hot dipped galvanized box nails at the following spacing:
  - 6 inches on center at all panel edges.
  - 12 inches on center at all intermediate framing.

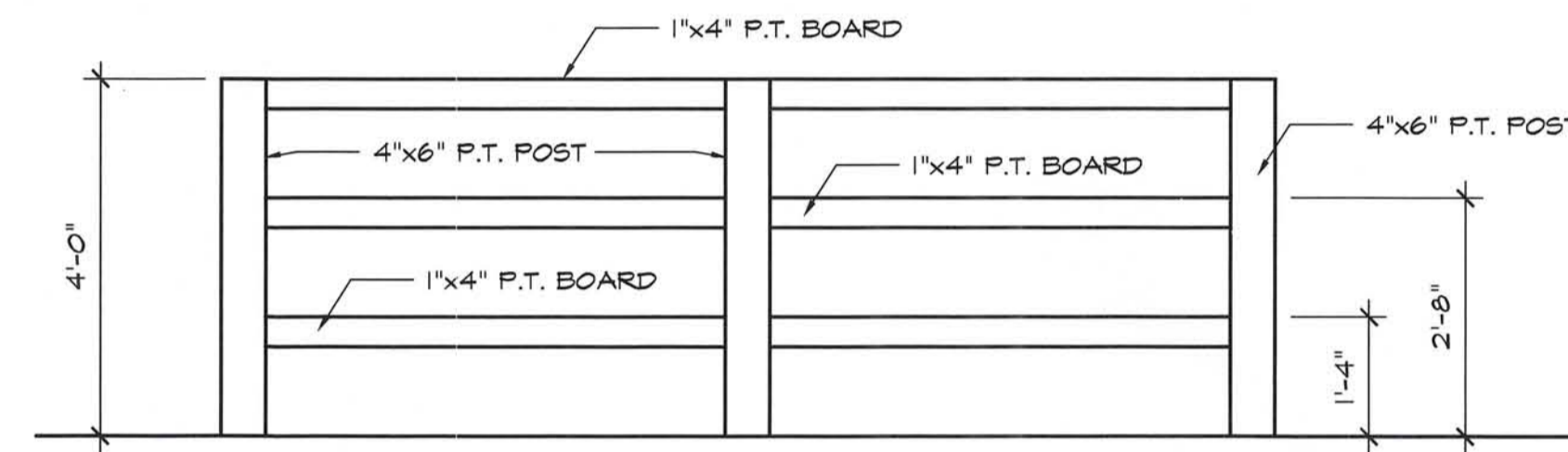
WINDLOAD CONNECTORS SCHEDULE			
LABEL	MANUFACTURER	DESCRIPTION	FASTENERS
①	USP	WOOD TO WOOD UPLIFT CONN. ASSY.	4x 3/4" x 8"
②	HTA24	TRUSS/RAFTER ANCHOR	3x 3/8" x 1/2"
③	TRAK	TOP/BEAM PLATE ANCHORS	3x 3/8" - 3/8"
④	HCB	HURRICANE CLIP	3x 3/8" - 3/8"
⑤	RT22T	TRUSS/RAFTER TIES	3x 3/8" 124-164 W/ SIMPSON STRAP
⑥	TB24	ANCHOR BOLT	4x 2x 8" x 8" - 4x 8" x 8"
⑦	RT22P	TRUSS/RAFTER TIES	3x 3/8"
⑧	SMK	WALL UPLIFT CONNECTOR	1/2" x 1/2" x 8" - 1/2" x 1/2" x 8"
⑨	HTA20	TRUSS ANCHOR, HIGH UPLIFT	3x 3/8" x 1/2"
⑩	PA23	PURLIN ANCHOR	3x 3/8"
⑪	HCB-E	HURRICANE CLIP	3x 3/8" - 3/8"
⑫	USCP	TRUSS/RAFTER TIES	3x 3/8" - 40 3/4" x 8"

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_  
 CA NO.: 6853  
 CA NO.: 28005  
 LB1057  
 2572 West State Road 426  
 Suite 2064, Oviedo, FL 32765  
 Phone: (321) 244-0402  
 Facsimile: (321) 244-9419  
**ARCHITECTURE**  
**ENGINEERING**  
**LAND SURVEYING**  
**FLORIDA**  
**LEE COUNTY, FLORIDA**  
**TOM COOK - FLINT HOUSE**  
**16' WIDE DECK/DECK ADDITION W/GUARDRAIL & STAIRS**  
 SCALE: 3/16" = 1'-0"  
 DATE: JANUARY 13, 2012  
 SHEET  
**A1**

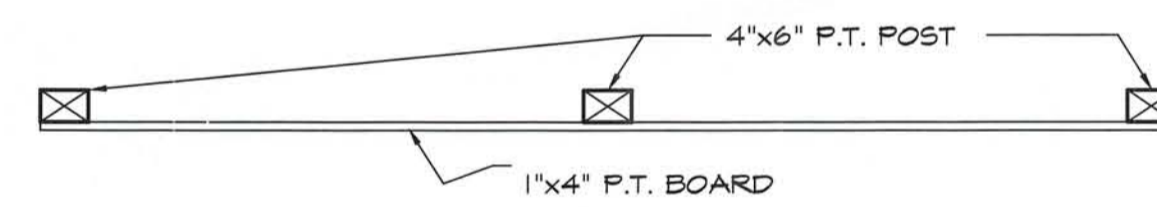




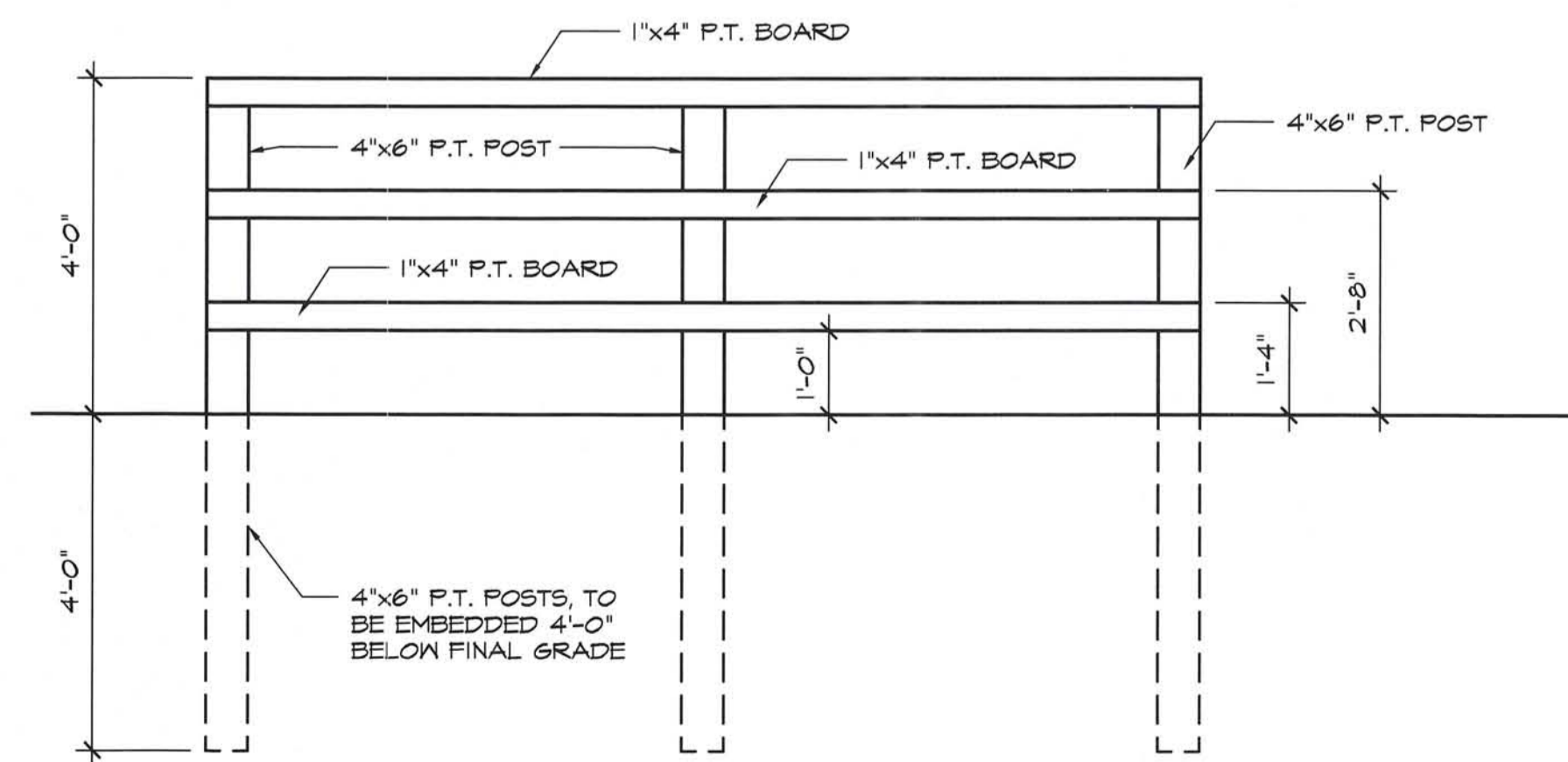
FRONT VIEW



REAR VIEW



FLOOR PLAN



SECTION

DESIGN PARAMETERS:

<p><b>APPLICABLE CODES:</b>          BUILDING CODES = FLORIDA BUILDING CODE, RESIDENTIAL 2007* AND FLORIDA BUILDING CODE, BUILDING 2007*          MECHANICAL CODE = FLORIDA BUILDING CODE, MECHANICAL 2007*          PLUMBING CODE = FLORIDA BUILDING CODE, PLUMBING 2007*          ELECTRICAL CODE = 2005 NEC          FIRE CODE = NFPA TO LIFE SAFETY CODE = NFPA 101          ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2007*          ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2007*          * = REFERENCES TO ALL 2007 FLORIDA BUILDING CODES INCLUDE THE 2009 AMENDMENTS</p> <p><b>METHOD OF DESIGN:</b>          DESIGNED PURSUANT TO 2007 FLORIDA BUILDING CODES AND SECTION 1609*</p> <p><b>BASIC WIND SPEED:</b>  <input checked="" type="checkbox"/> 130 MPH (3-SECOND GUST) = 110 MPH (FASTEST MILE)  <input type="checkbox"/> 120 MPH (3-SECOND GUST) = 100 MPH (FASTEST MILE)</p> <p><b>IMPORTANCE FACTOR:</b>  <input type="checkbox"/> 0.77 (BUILDING CATEGORY I)    <input type="checkbox"/> 1.15 (BUILDING CATEGORY III)  <input checked="" type="checkbox"/> 1.00 (BUILDING CATEGORY II)    <input type="checkbox"/> 1.15 (BUILDING CATEGORY IV)</p> <p><b>BUILDING OCCUPANCY CLASSIFICATION:</b>  <input type="checkbox"/> GROUP A - ASSEMBLY    <input type="checkbox"/> GROUP H - HAZARDOUS  <input type="checkbox"/> GROUP B - BUSINESS    <input type="checkbox"/> GROUP I - INSTITUTIONAL  <input type="checkbox"/> GROUP D - DAY CARE CENTER    <input type="checkbox"/> GROUP M - MERCANTILE  <input type="checkbox"/> GROUP E - EDUCATIONAL    <input checked="" type="checkbox"/> GROUP R - RESIDENTIAL  <input type="checkbox"/> GROUP F - FACTORY INDUSTRIAL    <input type="checkbox"/> GROUP S - STORAGE</p>	<p><b>BUILDING CONSTRUCTION TYPE:</b>  <input type="checkbox"/> TYPE I-A    <input type="checkbox"/> TYPE II-B    <input type="checkbox"/> TYPE IV  <input type="checkbox"/> TYPE I-B    <input type="checkbox"/> TYPE III-A    <input type="checkbox"/> TYPE V-A  <input type="checkbox"/> TYPE II-A    <input type="checkbox"/> TYPE III-B    <input checked="" type="checkbox"/> TYPE V-B</p> <p><b>EXPOSURE CATEGORY:</b>  <input type="checkbox"/> A    <input type="checkbox"/> C  <input checked="" type="checkbox"/> B    <input type="checkbox"/> D</p> <p><b>WINDBORNE DEBRIS REGION:</b>  <input type="checkbox"/> NO  <input checked="" type="checkbox"/> YES  <input type="checkbox"/> IMPACT RESISTANT GLAZING  <input type="checkbox"/> IMPACT RESISTANT COVERING  <input type="checkbox"/> COMBINATION OF IMPACT RESISTANT GLAZING &amp; COVERING</p> <p><b>INTERNAL PRESSURE COEFFICIENTS:</b>  <input checked="" type="checkbox"/> 0.00 (OPEN)  <input type="checkbox"/> +0.18, -0.18 (ENCLOSED)  <input type="checkbox"/> +0.55, -0.55 (PARTIALLY ENCLOSED)</p> <p><b>COMPONENTS AND GLADDING PRESSURES:</b>          ZONE 1: +27.8 / -30.4          ZONE 2: +27.8 / -35.6          ZONE 3: +27.8 / -35.6          ZONE 4: +30.4 / -33.0          ZONE 5: +30.4 / -40.7</p>
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APPROVED  
 ARCHITECTURE  
 ENGINEERING  
 LAND SURVEYING  
**LIS**  
 21450 Palm Beach Blvd.  
 Avo, Fla. 33420  
 Phone: (239) 693-9244  
 Facsimile: (239) 693-9928  
 TOM COOK - FLINT HOUSE  
 LEE COUNTY, FLORIDA  
 WOOD FENCE  
 SCALE:  
 1/2"=1'-0"  
 DATE:  
 JANUARY 18, 2012  
 SHEET  
**A1**







GENERAL NOTES

- COASTAL SETBACK LINES DO NOT APPLY TO THIS PARCEL.
- THERE ARE NO APPARENT ENVIRONMENTALLY SENSITIVE LANDS ONSITE.
- NO BURROWING OWL NESTS EXIST ON THIS PARCEL.
- THERE WILL BE NO ADVERSE IMPACTS TO GROUND OR SURFACE WATERS, WETLANDS, FLOODPLAINS OR RIVERINE AREAS OR KNOWN ARCHEOLOGICAL SITE EXPECTED BY THE DEVELOPMENT OF THIS SITE.
- ALL ELEVATIONS ARE BASED UPON NAVD 1988.
- SOD ALL SWALES, BERMS, RETENTION/DETENTION AREAS, AND SLOPES WITHIN LIMITS OF CONSTRUCTION.
- WATER SERVICE IS EXISTING AND PROVIDED BY LEE COUNTY UTILITIES.
- SANITARY SEWER SERVICE IS CURRENTLY PROVIDED BY AN EXISTING SEPTIC SYSTEM. SANITARY SEWER SERVICE WILL BE CONVERTED TO CONNECTION LEE COUNTY UTILITIES.
- THIS PARCEL IS CURRENTLY ZONED "AG-2"; HOWEVER A "CPD" IS PENDING (REFERENCE DCI2011-00011).
- THIS PROJECT LIES IN THE FORT MYERS SHORES FIRE CONTROL DISTRICT.
- FUTURE LAND USE CLASSIFICATION "SUBURBAN COMMUNITY"
- THE EXISTING VEGETATIVE COVER INCLUDES CITRUS TREES.
- THIS PROJECT WILL BE CONSTRUCTED IN THREE PHASES AS SHOWN ON THESE PLANS.
- ANY DEVIATIONS FROM THESE PLANS BY THE OWNER OR CONTRACTOR REQUIRES PRIOR APPROVAL OF THE ENGINEER.
- THE ENGINEER CERTIFIES THAT THE SITE CAN BE USED SAFELY FOR BUILDING PURPOSES, WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL OR FOUNDATION CONDITIONS. PROVIDED ALL APPROPRIATE BUILDING CODES ARE FOLLOWED.
- THE CURRENT FLORIDA LAND USE AND COVER CLASSIFICATION FOR THIS SITE IS SITE IS 110 "RESIDENTIAL" AND 740 "PREVIOUSLY DISTURBED".
- FIRM RATE FLOOD ELEVATION AE - EL10.
- NO RESIDENTIAL UNITS ARE PROPOSED.
- SOIL CLASSIFICATION FOR THIS PARCEL IS SCS #42 WABASSO SAND, AND #45 COPELAND SANDY LOAM. THE PARCEL IS NOT SUBJECT TO FRESHWATER PONDING OR SALTWATER INUNDATION.
- EACH CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF ANY CONSTRUCTION.
- DEVELOPMENT REGULATIONS SETBACKS  
PRINCIPAL STRUCTURE:  
FROM NORTH PROPERTY LINE (SIDE): 109 FT  
FROM WEST PROPERTY LINE (REAR): 63 FT  
FROM STREETS (FRONT) EAST PROPERTY LINE, BUCKINGHAM ROAD: 25 FT  
FROM STREETS (SIDE) SOUTH PROPERTY LINE, BIRD ROAD: 47 FT  
STRUCTURE HEIGHT: 30 FT. (A.F.F.), 35 MAX. PER CODE
- THERE APPEAR TO BE NO JURISDICTIONAL WETLANDS PRESENT ON SITE.
- IF THE PARKING LOT IS TO BE USED AT NIGHT, ADEQUATE LIGHTING SHALL BE PROVIDED FOR THE DRIVEWAYS, INGRESS & EGRESS POINTS, AND PARKING AREAS. SUCH LIGHTING SHALL BE ARRANGED AND DIRECTED AS TO ELIMINATE GLARE ON ANY OTHER USE.
- A MIN. OF SIXTY (60) SQ. FT. OF GARBAGE COLLECTION AND TWENTY FOUR (24) SQ. FT. OF RECYCLABLE COLLECTION SHALL BE PROVIDED ON SITE PER B.O.C.C. ORDINANCE NO. 08-10.
- WHERE BURNING OF DEBRIS IS ALLOWED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FROM FORESTRY SERVICE, FIRE DEPT. AND DEP WHEN APPLICABLE.
- A 24 HOUR MINIMUM NOTICE PERIOD IS REQUIRED FOR INSPECTIONS.
- CONTRACTOR TO FOLLOW THE INSPECTION AND NOTIFICATION REQUIREMENTS OF THE LEE COUNTY LAND DEVELOPMENT CODE.
- NO INVASIVE EXOTICS EXIST ON SITE AT THIS TIME - AS PER ORDINANCE 90-06 THE SITE SHALL BE MAINTAINED FREE FROM INVASIVE EXOTICS (AUSTRALIAN PINE, BRAZILIAN PEPPER MELALEUCA, DOWNY ROSEMYRTLE & EARLEAF ACACIA). THIS SITE SHALL BE MAINTAINED FREE OF THESE SPECIES IN PERPETUITY. METHOD OF REMOVAL SHALL BE BY HAND TOOLS OR MECHANICAL EQUIP.
- LEE COUNTY STRAP NO. 32-43-26-00-00007.0010
- ANY PROJECT IDENTIFICATION SIGNS INSTALLED ON THE PROPERTY WILL BE IN ACCORDANCE WITH LEE COUNTY ORDINANCE #85-26 AND ANY AMENDING ORDINANCES. SIGN DESIGN CRITERIA AND INFORMATION WILL BE SUPPLIED AT THE TIME OF SIGN PERMIT APPLICATION.

PARKING CALCULATIONS

GENERAL OFFICE / MUSEUM / BUSINESS SERVICES

1 SPACE PER 300 S.F. OF TOTAL FLOOR AREA

1st FLOOR of EXISTING HISTORIC HOUSE = 1070 sf  
2nd FLOOR of EXISTING HISTORIC HOUSE = 694 sf  
TOTAL sf of EXISTING HISTORIC HOUSE = 1764 sf

PROPOSED SCHOOL HOUSE / MUSEUM = 1500 sf

PROPOSED BARN / STABLE = 576 sf

TOTAL SPACES REQUIRED = 3,264 S.F. / 300 = 11 SPACES

CHURCH / PLACE OF WORSHIP / WEDDINGS

1 SPACE PER EVERY 3 SEATS  
TOTAL SPACES REQUIRED = 33 SEATS / 3 = 11 SPACES

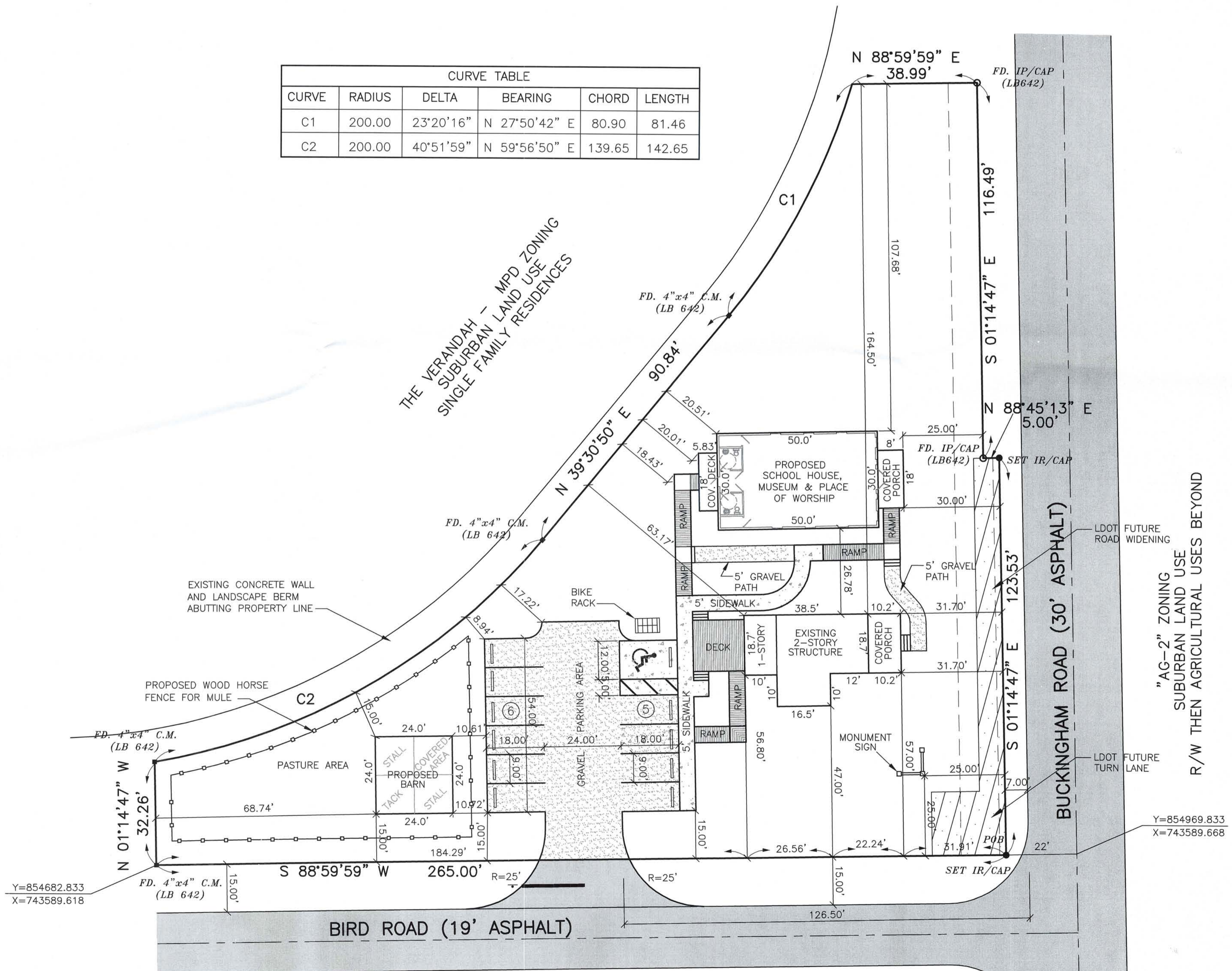
TOTAL SPACES PROVIDED = 11 SPACES (INCLUDES 1 HANDICAP)

CURVE TABLE

CURVE	RADIUS	DELTA	BEARING	CHORD	LENGTH
C1	200.00	23°20'16"	N 27°50'42" E	80.90	81.46
C2	200.00	40°51'59"	N 59°56'50" E	139.65	142.65

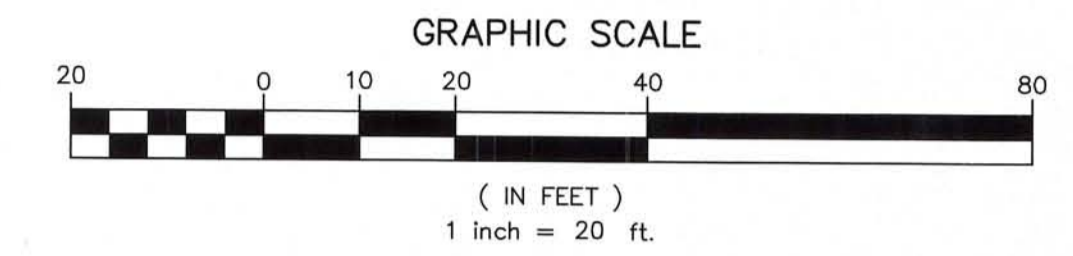
LAND USE TABLE

Description	Square Feet	Acres	% of Project
Project Site Area	32,675 SF	0.75 Ac	100%
Existing Concrete Area To Be Removed	24 SF	0.00 Ac	0%
Existing Building Area	1,070 SF	0.02 Ac	3%
Proposed Building Area	2,076 SF	0.05 Ac	7%
Proposed Concrete & Ramp Area	1,704 SF	0.04 Ac	5%
Proposed Gravel Parking Area	3,900 SF	0.09 Ac	12%
Total Impervious Area	8,750 SF	0.20 Ac	27%
Total Pervious Area	23,925 SF	0.55 Ac	73%



"AG-2" ZONING  
RURAL COMMUNITY PRESERVE LAND USE  
R/W THEN AGRICULTURAL USE BEYOND

"AG-2" ZONING  
SUBURBAN LAND USE  
R/W THEN AGRICULTURAL USES BEYOND



APPROVED  
 ARCHITECTURE  
 ENGINEERING  
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**LIS**  
 HISTORIC FLINT HOUSE & MUSEUM  
 BUCKINGHAM, LEE COUNTY, FLORIDA  
 SITE DIMENSION PLAN  
 SCALE:  
 1"=20'-0"  
 DATE:  
 NOVEMBER 3, 2011  
 SHEET  
**C2**