

CONSTRUCTION DETAIL:

Three (3) copies of the blocking and anchor details and skirting details if applicable. (See last page for example)

PLOT/SITE PLAN (See last page for example):

Three (3) copies of a plot/site plan drawn to scale (1/8" = 1', 1" = 10', 1" = 20', 1" = 30', 1" = 60') on 8.5 x 11 paper (or larger), and the scale must be indicated. The following items must be on your plot/site plan:

- a. All four lot corners, lot lines and dimensions;
- b. Location and name of streets or drives bordering the lot;
- c. If there is a water body within 25 feet of your project, indicate the mean high tide line or the edge of water & label the type of water body (ex: lake, creek, canal, river, Gulf).
- d. The size of the mobile home\recreational vehicle; the location of driveways; and the location of all easements on the lot. Stairs, landings ,porches (including factory built) bay windows must be shown.
- e. Setbacks of the mobile home\recreational vehicle (and any existing or proposed additions thereto) from the four lot lines and existing structures. Setbacks must be taken from the closest point of the building to the closest point of the property line. Roof lines are not allowed to encroach into or over easements.
- f. The plans must show the roof line as well as the foundation.
- g. If you have questions regarding your required setbacks you may contact our office at (239) 533-8329

FLOOD ZONES:

To determine whether your property is within a flood zone, you may call the Division of Development Services at (239) 533-8329 and provide them with the STRAP number of the property. If the Division can not verify what flood zone the property is located in, a certified sealed survey indicating the Flood requirement for the zone and existing elevation of grade must be submitted with the application.

If the mobile home/recreational vehicle must be elevated four (4) feet or more, the contractor has the option of using mastered 36 inch engineered reinforced piers or by meeting the base flood elevation with conventional concrete blocking.

If using conventional concrete blocking, the floor elevation must be verified by a registered surveyor after the mobile home\recreational vehicle has been set in place. It will be necessary to submit the elevation certificate with the building permit number, to the Department of Community Development, Inspections Office, 1825 Hendry Street, Ft. Myers, Florida, 33901.

A final inspection must be requested when the mobile home\recreational vehicle is tied down and all pertinent sub work has been completed and inspected.

PUBLIC WATER/SEWER:

If the mobile home\recreational vehicle is located on private or public water and sewer, a letter must be submitted from the appropriate utility company verifying availability to the site at the time of submittal of application.

SEPTIC:

If the mobile home/recreational vehicle is located on a septic system, applicant must apply for his Septic Permit at the Health Department prior to the submittal of the building permit. A copy of the paid receipt is required at submittal of building permit. (Applications are available at Development Services) If Septic is existing, you will need a letter from the Health Department at 2295 Victoria Avenue, or (239) 690-2100, stating it will be sufficient for size of dwelling at the time of submittal.

WELL (Mobile Homes Only):

If property requires a well, a Well Affidavit must be submitted at time of application of building permit. The Well permit must be obtained and inspection finalized before Certificate of Occupancy will be issued. If the well is existing, a letter from Natural Resources will be required at time of application stating compliance. (1500 Monroe St. (239) 533-8114)

OWNER-BUILDER DECLARATION OF SELF-USE (on back of application):

An owner-builder must sign a declaration of self-use. He/she must be able to do all the work himself or hire licensed contractors.

APPLICATION FOR PERMIT:

Applications are available through our information phone line (239) 533-8997 or our website at <https://www.leegov.com/dcd/Documents/BldPermitServ/Apps/MHRVApplication.pdf>.

BUILDING ADDENDUM (if construction value is \$2,500 or more & the owner is not the builder):

The Building Addendum can be found on the back of the mobile home/recreational vehicle application.

IMPACT LETTER

A completed impact letter, must be submitted at time of application.

SITE FILL GRADING AFFIDAVIT:

If the final grade of the lot on this project exceeds 18 inches above the crown of the road or any adjacent developed lot, a site grading plan complying with LDC Section 34-3104 must accompany the permit application.

FEE SCHEDULE

Plan Review	\$ 50.00
Zoning Review	25.00
Mobile Home/RV Tie Down	150.00
Electrical (if applicable)	75.00
A/C	75.00
Plumbing (if applicable)	75.00min
Administration Fee	2.00min / or 1.5% of permit fee
Radon Fee	2.00min / or 1% of permit fee
Impact Fees: From Land Development Code	

PERMIT EXTENSIONS: 1st extension (prior to expiration of permit) \$ 100.00
2nd extension and every extension there after \$150.00

INSPECTIONS: You can schedule inspections by calling (239) 533-8997. When an inspection has failed, a \$50 reinspection fee will be charged.

REFUNDS: No refund on permits of \$50.00 or less (unless issued in error by the County) or if work has commenced or if permit has expired. There is no refund on any plan review fee. Allowed refunds will be at 75% of the permit fee.

FOR YOUR INFORMATION:

WHO CAN PICK UP THE BUILDING PERMIT? The application must be signed by the Contractor, an authorized agent of the contractor or the property owner, in the presence of the Building Official or designee. Owner-builders must personally appear and sign for their permits. The only exception to this is with a legal, recorded, Power of Attorney. NOTE: Contractors must be licensed and registered with Lee County Contractor Licensing.

TRACKING YOUR APPLICATION. Applicants may call (239) 533-8997 with their case (receipt #) or use our Econnect website, <http://www.lee-county.com/econnect/>, to track the progress of their application.

REVIEW PROCESS TIME. The review process time varies with the department's workload, normal permitting time is anticipated to be 7 working days.

REJECTED PLANS. Plans will be rejected if all required paper work is not completed and the customer will be notified in writing or by fax. The customer will need to go to the Permitting Office in the Public Works building at 1500 Monroe Street to pick-up or fix the rejected plans.

CHANGES TO THE APPROVED PLANS. Any change of outlet, fixtures, non-structural or structural changes must be submitted to the Permitting Office through the Information Desk for processing. If the original plans were sealed by an architect or engineer, the revisions must also be sealed. These must be submitted in plan form of three (3) copies and approved, prior to commencement of work.

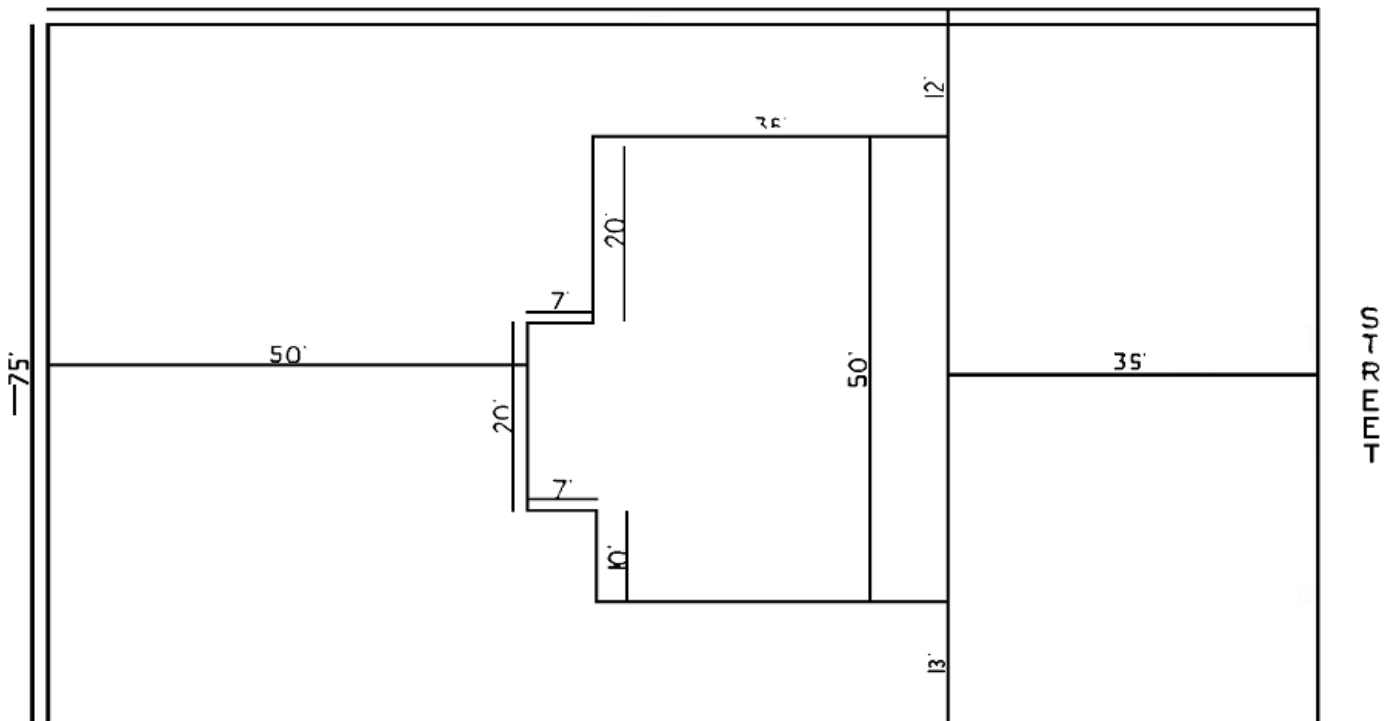
POSTING THE PERMIT. Permits must be posted at eye-level, visible from the road and protected from the weather. There must also be a set of the approved plans on the job at the time of the inspection.

CERTIFICATE OF OCCUPANCY. The building may not be occupied until the final inspection has been completed and a Certificate of Occupancy has been issued, at which time the power company will be notified to connect permanent power. Violators will be cited & temporary power will be disconnected.

ADDITIONAL PERMITS (if required)

Plumbing, Electrical, Air Conditioning, Roofing, Lawn Sprinkler system, Pools (including above-ground), Spas, Enclosures, Fences, Solar, Fire Sprinklers or Alarm Systems.

SAMPLE PLOT PLAN



Sample Lot Size 75 x 127

Manufactured/Mobile Home/RV Blocking and Tie Down Requirements

Applicant _____ Permit Number _____

Manufacturer's Name _____ Roof Zone _____

Number of Sections _____ Width _____

Length _____ Serial Number _____

Installation Method Used, Manufacturer _____ Green Book [15c-1] _____

Drainage Natural Pad Other (specify) _____

Number of Roof Ties _____

Number of frame and sidewall straps and ties _____

Number of center line anchors _____

Load bearing soil test (penadrometer) _____

Footing Type _____ Main rail frame block size _____

Placement on center [used home] 6631 New Rules _____

Center Line Block: Number _____ Size _____ Location _____

Special Supports Required [fireplace, bay window] _____

Anchors: Type II [6000 lb] (1994 – current) _____

Type 1 [4725 lb] (1994 – prior) _____

Blocking and Anchor Scale Sample

