



**LEE COUNTY BOARD OF ADJUSTMENTS AND APPEALS  
Community Development/Public Works Center  
1500 Monroe Street, 1<sup>ST</sup> Floor Conf. Room**

**Thursday, September 12, 2019  
10:00 A.M.**

**AGENDA**

CASE TO BE HEARD

Case #ADM2019-00005

Gasparilla Inn, Inc. represented by Strayhorn & Persons

The applicant is requesting variances of LDC Section 6-505(2) & LDC Section 6-505(3)

1. Call to Order/Review of Affidavit of Publication
2. Roll Call
3. Swearing in of all testifying
4. Hearing
5. Call the Vote
6. Adjournment

In accordance with the Americans with Disabilities Act, Lee County will not discriminate against qualified individuals with disabilities in its services, programs, or activities. To request an auxiliary aid or service for effective communication or a reasonable modification to participate, contact Joan LaGuardia, (239) 533-2314, [ADArequests@leegov.com](mailto:ADArequests@leegov.com) or Florida Relay Service 711. Accommodation will be provided at no cost to the requestor. Requests should be made at least five business days in advance.

**MEMORANDUM**  
FROM THE  
**DEPARTMENT OF**  
**COMMUNITY DEVELOPMENT**  
DEVELOPMENT SERVICES DIVISION

DATE: September 6, 2019

To: Lee County Board of  
Adjustments and Appeals

FROM:   
Shawn McNulty  
Lee County Building Official

RE: **Case No. ADM2019-00005**  
**Gasparilla Inn, Inc.**

This is a composite request for variances from portions of §6-505 of the Lee County Land Development Code (LDC) as follows:

1. A variance request to LDC §6-505(2) to allow two accessory structures to be constructed below the Base Flood Elevation (BFE), where the total size of each separate structure is in excess of 1,000 square feet in floor area; and
2. A variance request to LDC §6-505(3) to allow a 65 square foot area of one of the above-referenced accessory structures (Proposed Inn Adventures Building) to be constructed below the BFE for use as a restroom, where such use would otherwise be limited "*exclusively for uninhabitable parking or storage purposes.*"

Request 1:

The property owner, Gasparilla Inn, Inc., seeks to construct two structures at the Gasparilla Inn Property at 500 Palm Avenue, Boca Grande, Florida (Lee County Property Appraiser STRAP No. 14-43-20-00-00002.0000). The west side of the subject property abuts the Gulf of Mexico. Details of the structures are contained in the exhibits in the variance application and are incorporated herein by reference. The exhibits are the plans for two structures identified as the "Existing Tennis Shop Relocation" and the "Proposed Inn Adventures Building."

### The Existing Tennis Shop Relocation:

The proposed construction details for this structure are set forth in a set of plans entitled "Gasparilla Inn Beach Cottages and Amenities, Existing Tennis Shop Relocation, Boca Grande, Lee County, Florida 33921", by Dailey Janssen Architects, PA, Job Number 16-107, dated 2.18.2019.

The subject property is located in a special flood hazard area within a portion of the project site having an established BFE of AE-EL 10 NAVD. The proposed development on this property is subject to the flood provisions of the Florida Building Code –Building 6<sup>th</sup> Edition (2017) and the LDC. This will be a two-level structure; however, only the ground floor/level is planned to be below the BFE.

The ground floor/lower level of the proposed structure that will be below the BFE totals 1,822 square feet in area and is designed solely for the storage of merchandise. The second level will be retail sales space. Construction of the lower level will be concrete block and stucco, with the floor of the lower level intended to be set at 5 feet NAVD, approximately 5 feet below the minimum required BFE. However, because the floor area of the ground floor/lower level of the structure is below the BFE and in excess of 1,000 square feet, a variance to LDC §6-505(2) is required.

### The Proposed Inn Adventures Building:

The proposed construction details for this structure are set forth in a set of plans entitled "Gasparilla Inn Beach Cottages and Amenities, Proposed Inn Adventures Building, Boca Grande, Lee County, Florida 33921", by Dailey Janssen Architects, PA, Job Number 16-107, dated 2.18.2019.

This structure is to be located on the same site as the structure described above, but this portion of the project site has an established elevation of AE-EL 11 NAVD. The proposed development on this property is also subject to the flood provisions of the Florida Building Code – Building 6<sup>th</sup> Edition (2017) and the Lee County Land Development Code (LDC). The gross floor area of the proposed structure totals 2,487 square feet, and consists of a 1,944 square foot "Main Storage" area, an additional 249 square feet of storage area (consisting of labeled "Storage 1" (207 sq. ft.) and "Janitor's Closet" (42 sq. ft.)), and the restroom with 65 square feet of floor area. (The use issue of the restroom area of this structure will be considered separately in Request 2 below).

Approximately 2,422 square feet of the structure's floor area (all but the 65 square feet of floor area for the restroom) is designed solely for the uninhabitable storage of recreational equipment for rent; however, the entire 2,487 square feet of the structure's floor would be set at 7.5 feet NAVD, approximately 3.5 feet below the minimum required BFE. Construction of the structure will be concrete block and stucco; however, because the floor area of this portion of the structure is below the BFE and in excess of 1,000 square feet, a variance to LDC §6-505(2) is required.

Variance from LDC §6-505(2):

LDC §6-505 states accessory structures are not required to meet the elevation requirements if they meet all of the section requirements (in addition to those set forth in LDC §6-487). LDC §6-505 requires the following:

- “(1) The structure is securely anchored to resist flotation, collapse, and lateral movement;*
- “(2) **The building is a minimal investment and the total size of the building does not exceed 1,000 square feet in floor area;** (Emphasis added.)*
- “(3) The structure is used exclusively for uninhabitable parking or storage purposes;*
- “(4) All electrical or heating equipment is elevated above the base flood elevation or otherwise protected from intrusion of floodwaters; and*
- “(5) For accessory structures located in coastal high-hazard areas (V zones), breakaway walls are used below the lowest floor.”*

Both of the above-described accessory structures are concrete block and stucco construction, with each being set on a concrete foundation. Both structures will also be used for uninhabitable parking or storage (except for the restroom area, which request is contained in Request 2 below) and meet all the above criteria except each structure exceeds the 1,000 square foot area limitation otherwise found in LDC §6-505(2).

The Florida Building Code – Building 6<sup>th</sup> Edition (2017) allows enclosed area below design flood elevation as long as the area is used solely for parking of vehicles, building access or storage and has hydrostatic relief openings (FBC Section 1612, ASCE 24).

**Pursuant to LDC §6-467, in reviewing requests for variances, the Board of Adjustment and Appeals must consider all technical evaluations, all relevant factors, all other applicable provisions of the Florida Building Code, this article, and the following:**

- “(1) The danger that materials and debris may be swept onto other lands resulting in further injury or damage;*
- “(2) The danger to life and property due to flooding or erosion damage;*
- “(3) The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners;*

- (4) *The importance of the services provided by the proposed development to the community;*
- (5) *The availability of alternate locations for the proposed development that are subject to lower risk of flooding or erosion;*
- (6) *The compatibility of the proposed development with existing and anticipated development;*
- (7) *The relationship of the proposed development to the comprehensive plan and floodplain management program for the area;*
- (8) *The safety of access to the property in times of flooding for ordinary and emergency vehicles;*
- (9) *The expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and*
- (10) *The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges."*

**LDC §6-468 allows a variance to be issued only upon the following conditions:**

- "(1) *Submission by the applicant, of a showing of good and sufficient cause that the unique characteristics of the size, configuration, or topography of the site limit compliance with any provision of this article or the required elevation standards;*
- (2) *Determination by the Board of Adjustment and Appeals that:*
  - a. *Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;*
  - b. *The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and articles; and*
  - c. *The variance is the minimum necessary, considering the flood hazard, to afford relief.*
- (3) *If the request is for a variance to allow construction of the lowest floor of a*

*new building, or substantial improvement of a building, below the required elevation, a copy in the record of a written notice from the Floodplain Administrator to the applicant for the variance, specifying the difference between the base flood elevation and the proposed elevation of the lowest floor, stating that the cost of federal flood insurance will be commensurate with the increased risk resulting from the reduced floor elevation (up to amounts as high as \$25.00 for \$100.00 of insurance coverage), and stating that construction below the base flood elevation increases risks to life and property.”*

Staff recommends approval of the variance to LDC §6-505(2) to allow two accessory structures to be constructed below the base flood elevation (BFE), where the total size of each separate structure in excess of 1,000 square feet in floor area, **subject to** the following conditions:

1. The above-referenced structures must be constructed in substantial conformity the testimony and plans presented herein.
2. Each structure must be constructed with flood resistant materials and in substantial conformity with the plans and specifications contained in the submitted plans and the Florida Building Code – Buildings 6th Edition (2017), including hydrostatic relief openings., if deemed necessary by the engineer for the project and with the approval of the Building Official, with the floor of the Existing Tennis Shop Relocation being set at 5.5 feet NAVD, approximately 4.5 feet below the minimum required BFE, and the floor of the Proposed Inn Adventures Building being set at 7.5 feet NAVD, approximately 3.5 feet below the required BFE.
3. The floor area of either structure may not be increased except in conformity with the applicable FEMA Base Flood Elevation requirements in force and effect at that time. Additionally, if either structure is ever voluntarily removed, it may not be replaced or reconstructed except in conformity with the applicable FEMA BFE requirements in force and effect at that time.
4. A copy of this Order of the Lee County Board of Adjustment and Appeals must be recorded in the Public Records of Lee County, Florida, prior to the issuance of the Certificate of Completion for each structure.

5. In accordance with LDC §6-468(3), the property owner, as the Applicant herein, is provided with the following written notice from the Floodplain Administrator specifying the difference between the base flood elevation and the proposed elevation of the lowest floor, stating that the cost of federal flood insurance will be commensurate with the increased risk resulting from the reduced floor elevation (up to amounts as high as \$25.00 for \$100.00 of insurance coverage), and stating that construction below the base flood elevation increases risks to life and property.

Request 2:

This is a request for variance from LDC §6-505(3), requiring the space in an accessory building, where the floor is below BFE, to be used for uninhabitable parking or storage purposes, to allow 65 square feet of floor area of the 2,487 square foot Proposed Inn Adventures Building to be used as a restroom.

The proposed construction details for the restroom portion of the structure are set forth in a set of plans entitled "Gasparilla Inn Beach Cottages and Amenities, Proposed Inn Adventures Building, Boca Grande, Lee County, Florida 33921", by Dailey Janssen Architects, PA, Job Number 16-107, dated 2.18.2019.

The proposed improvement at issue in this portion of the Proposed Inn Adventures Building is the 65 square foot "Restroom" shown on the above-referenced plan. The areas presently labeled "Storage 1" (207 sq. ft.) and "Janitor's Closet" (42 sq. ft.) are for storage and both are effectively part of the larger portion of the Proposed Inn Adventures Building described above in Request 1, and part of the consideration seeking relief from LDC §6-505(2). The floor area of the "Restroom", as a portion of the Proposed Inn Adventures Building, is also included in Request 1 above as part of the request for relief from LDC §6-505(2) as to the elevation of the floor area below the BFE.

As already noted in Request 1, the proposed structure is located in a special flood hazard area on the site, but with an established elevation of AE-EL 11 NAVD. The proposed development on this property is subject to the flood provisions of the Florida Building Code Building 6<sup>th</sup> Edition (2017) and the Lee County Land Development Code (LDC).

The proposed improvement of the restroom will not be for habitable use and the floor will be set at 7.5 feet NAVD, approximately 3.5 feet below the minimum required BFE. Construction of the structure will be concrete block and stucco; however, because the floor area of this portion of the structure is not "exclusively for uninhabitable parking or storage purposes, a variance to LDC §6-505(3) is required.

As recited in Request 1 above, in reviewing requests for variances, the Board of Adjustment and Appeals must consider all technical evaluations, all relevant factors, all other applicable provisions of the Florida Building Code, this article, and those contained in LDC §6-467.

Also as recited above, a variance may be issued only upon the conditions contained in LDC §6-468.

Staff recommends approval of the variance to LDC §6-505(3) to allow the construction of a restroom, with 65 square feet of floor area, in a portion of the Proposed Inn Adventures Building (one of the above-referenced accessory structures in Request 1 above), **subject to** the following conditions:

1. The restroom must be constructed in substantial conformity the testimony and plans presented herein.
2. The floor area of the restroom may not be increased except in conformity with the applicable FEMA Base Flood Elevation requirements in force and effect at that time. Additionally, if the restroom is ever voluntarily removed, it may not be replaced or reconstructed except in conformity with the applicable FEMA base flood elevation requirements in force and effect at that time.
4. A copy of this Order of the Lee County Board of Adjustment and Appeals must be recorded in the Public Records of Lee County, Florida, prior to the issuance of the Certificate of Completion for the structure in which this restroom is located.
5. In accordance with LDC §6-468(3), the property owner, as the Applicant herein, is provided with the following written notice from the Floodplain Administrator specifying the difference between the base flood elevation and the proposed elevation of the lowest floor, stating that the cost of federal flood insurance will be commensurate with the increased risk resulting from the reduced floor elevation (up to amounts as high as \$25.00 for \$100.00 of insurance coverage), and stating that construction below the base flood elevation increases risks to life and property.

cc. John J. Fredyma, Senior Assistant County Attorney

(090919/1115)

LEE COUNTY BOARD OF ADJUSTMENTS AND APPEALS APPLICATION

Name: JENNA PERSONS, ESQ.

Address: 2125 1ST STREET STE 201, FORT MYERS, FL 33901

Phone #: (239) 334-1260 Email: JPERSONS@STRAYHORNLA.COM

STRAP #: 14-43-20-00-00002.0000

Representing: GASPARILLA INN, INC.

IS THIS A  VARIANCE OR  APPEAL? (PLEASE SELECT ONE)  
Please provide specific sections of the code or ordinance to which the variance or appeal applies:

- BUILDING CODE \_\_\_\_\_
- COASTAL PLAIN MANAGEMENT \_\_\_\_\_
- FIRE CODE \_\_\_\_\_
- FLOOD PLAIN MANAGEMENT SEC 6-505(2)
- LIFE SAFETY CODE \_\_\_\_\_
- L.D.C. \_\_\_\_\_
- MECHANICAL \_\_\_\_\_
- PLUMBING \_\_\_\_\_

If this is an appeal of an administrative decision, please indicate the official who made the decision:

\_\_\_\_\_

I Request that this matter be scheduled for a hearing before the Lee County Board of Adjustments and Appeals. My reason for this request is as follows: (Provide additional sheets if needed.)

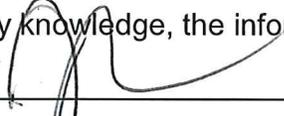
PLEASE SEE ATTACHED COVER LETTER.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

I hereby certify that to the best of my knowledge, the information submitted for this hearing is true and correct.  
Signature Authorization:  Date: 8/9/19

**NOTE:** Provide ten (10) copies of all backup information for BOAA members. If there are sealed plans/drawings for the project for which the appeal/variance is requested, the architect/engineer who sealed the plans or drawings **MUST** be present at the hearing.

The applicant's presence is required for a case to be heard by this board.  
Hearing dates are usually arranged for Thursday morning at 10:00 a.m.  
Applications must be received at least 10 WORKING DAYS before the hearing date.

FEE: \$100.00 - Make check payable to Lee County Board of County Commissioners  
This application must be submitted to the Lee County Community Development Permit Center.



*A Tradition in Southwest Florida since 1915*  
**STRAYHORN & PERSONS**  
ATTORNEYS AND COUNSELLORS AT LAW

---

E. Bruce Strayhorn  
bruce@strayhornlaw.com

Jenna D. Persons  
jpersons@strayhornlaw.com

Jennifer L. Fisher  
jfisher@strayhornlaw.com

Telephone: (239) 334-1260  
Facsimile (239) 334-1069

www.strayhornlaw.com

August 9, 2019

**VIA HAND DELIVERY**

Lee County Board of Adjustments and Appeals  
Lee County Community Development Permit Center

RE: Variance from Sec. 6-505(2)  
STRAP # 14-43-20-00-00002.0000

To whom it may concern:

Please accept this Application for a Variance from Section 6-505(2) on behalf of our client, Gasparilla Inn, Inc. for two proposed structures located on property with Strap #14-43-20-00-00002.000, being: (a) Inn Adventures building and (b) Tennis Shop.

Sec. 6-505, Accessory structures, provides that accessory structures are not required to meet the elevation requirements if they meet all of the following requirements, in addition to those set forth in section 6-487:

- (1) The structure is securely anchored to resist flotation, collapse, and lateral movement;
- (2) The building is a minimal investment and the total size of the building does not exceed 1,000 square feet in floor area;
- (3) The structure is used exclusively for uninhabitable parking or storage purposes;
- (4) All electrical or heating equipment is elevated above the base flood elevation or otherwise protected from intrusion of floodwaters; and
- (5) For accessory structures located in coastal high-hazard areas (V zones), breakaway walls are used below the lowest floor.

The two structures at issues are both accessory structures, but exceed 1,000 square feet in floor area. Our request is to permit the wet-floodproofing of the main ground-floor storage areas of the two accessory structures, to extent as follows:

- **Inn Adventures:** Variance request to **wet-floodproof** the “main” storage area of the proposed building which has an area of 1,944 SF. FEMA technical bulletin 7-93 allows for the wet-floodproofing of the storage area, however, the LDC Sec. 6-505 (2) requires accessory structures/spaces to be dry-floodproofed if the area exceeds 1,000 SF. Applicant is proposing to **dry-floodproof** the areas notated in the attached architectural plans as Storage 1, Janitor and Restroom.

The main storage area of the proposed building is located in flood zone “AE” 11’ NAVD. This will require the proposed building/storage to be elevated approximately 5’ from the average proposed grade of +/- 7’ NAVD. This request is for a variance from the 1,000 square foot limitation in order to wet-floodproof the proposed “main” storage area. The main storage area is intended to be used for uninhabitable storage of recreational equipment for rent. For ease of access to the public, this equipment needs to be as close to the ground level as possible. Furthermore, elevating this building/storage will require a ramp exceeding 50’ or a lift to comply with ADA requirements. Both of these options would affect the design of the building which was already approved by the Boca Grande Historic Preservation Board and impair the functionality of the building for its intended purpose.

Architectural plans are attached hereto.

- **Tennis Shop:** Variance request to **wet-floodproof** the storage area of the proposed building which has an area of 1,822 SF. FEMA technical bulletin 7-93 allows for the wet-floodproofing of the storage area, however, the LDC Sec. 6-505 (2) requires accessory structures/spaces to be dry-floodproofed if the area exceeds 1,000 SF.

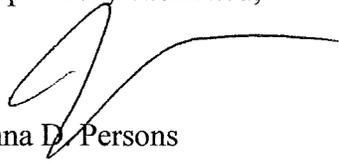
The storage area of the proposed building is located in flood zone “AE” 10. This will require the proposed building/storage to be elevated approximately 6’ from the average proposed grade of +/- 5’ NAVD, or for the dry-floodproofing of the storage area. This request is for a variance from the 1,000 square foot limitation in order to wet-floodproof the proposed storage area. This building is an existing structure that’s being relocated and altered, and it consists of two levels. The ground level is intended to be used for the storage of merchandise, while the second level is the retail space. If this building is elevated an additional 6’ as required by the LDC, it would exceed the maximum height restriction for the site. In addition, any changes would alter the approved design of the building by the Boca Grande Historic Preservation Board and impair the functionality of the building for its intended purpose.

Architectural plans are attached hereto.

August 9, 2019  
Page Three

Should the variance request be granted to wet-floodproof the noted storage areas in these two buildings, we would be complying with one of the approved methods by FEMA for the design of structures in flood zones. These design methods are intended to protect the health, safety, and welfare of the public. The variance is the minimum necessary, considering the flood hazard, to afford relief.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Jenna D. Persons', with a long horizontal flourish extending to the right.

Jenna D. Persons



DRAWING INDEX									
SHT NO.	SHEET NAME	200000 FOOTING							ISSUED/REV. NO.
<b>GENERAL</b>									
A0-00	COVER SHEET AND GENERAL NOTES	*							
A0-01	INDEX	*							
<b>SURVEY</b>									
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY	*							
<b>ARCHITECTURAL</b>									
SP-1-01	OVERALL SITE PLAN	*							
LS-1-01	GROUND FLOOR LIFE SAFETY PLAN	*							
LS-1-02	SECOND FLOOR LIFE SAFETY PLAN	*							
AD-1-01	GROUND FLOOR DEMOLITION PLAN	*							
A-1-02	FIRST FLOOR DEMOLITION PLAN	*							
A-1-01	PROPOSED GROUND FLOOR PLAN	*							
A-1-02	PROPOSED FIRST FLOOR PLAN	*							
A-1-03	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN	*							
A-1-04	PROPOSED FIRST FLOOR REFLECTED CEILING PLAN	*							
A-1-05	PROPOSED ROOF PLAN	*							
A-2-01	ELEVATIONS	*							
A-2-02	ELEVATIONS	*							
AD-3-01	DEMOLITION SECTIONS	*							
A-3-01	PROPOSED SECTIONS	*							
A-3-02	PROPOSED SECTIONS	*							
A-3-03	PROPOSED SECTIONS	*							
A-4-01	WINDOW DETAILS	*							
A-4-02	DOOR DETAILS	*							
A-4-03	DOOR DETAILS	*							
A-5-01	A.D.A. DETAILS	*							
<b>STRUCTURAL</b>									
S-0-01	GENERAL STRUCTURAL NOTES	*							
S-1-01	FOUNDATION PLAN	*							
S-1-02	FIRST LEVEL FRAMING PLAN	*							
S-2-01	SECTIONS & DETAILS	*							
<b>MECHANICAL</b>									
M-0-01	MECHANICAL NOTES, LEGENDS, & INDEX	*							
M-1-01	MECHANICAL DEMO PLAN	*							
M-2-01	MECHANICAL FLOOR PLAN	*							
M-3-01	MECHANICAL SCHEDULES & DETAILS	*							
<b>ELECTRICAL</b>									
E-0-01	ELECTRICAL NOTES, LEGEND, & INDEX	*							
E-1-00	ELECTRICAL DEMO PLAN	*							
E-1-01	ELECTRICAL POWER PLAN - GROUND LEVEL	*							
E-1-02	ELECTRICAL POWER PLAN - FIRST LEVEL	*							
E-2-01	ELECTRICAL LIGHTING PLAN - GROUND LEVEL	*							
E-2-02	ELECTRICAL LIGHTING PLAN - FIRST LEVEL	*							
E-3-01	ELECTRICAL RISER, SCHEDULES, & DETAILS	*							
<b>PLUMBING</b>									
P-0-01	PLUMBING NOTES, LEGENDS, & INDEX	*							
P-1-01	PLUMBING DEMO PLAN	*							
P-2-01	PLUMBING FLOOR PLAN	*							
P-3-01	PLUMBING SCHEDULES & DETAILS	*							
<b>FIRE SPRINKLER</b>									
FS-0-01	FIRE SPRINKLER NOTES & INDEX	*							
FS-1-01	FIRE SPRINKLER OCCUPANCY HAZARD ZONE MAPS	*							
FS-2-01	FIRE SPRINKLER DETAILS	*							
<b>FIRE ALARM</b>									
FA-0-01	FIRE ALARM NOTES, LEGEND, & INDEX	*							
FA-1-01	FIRE ALARM FLOOR PLAN & RISER DIAGRAM	*							

**DJA DAILEY JANSEN ARCHITECTS**  
 LICENSE #AA-0001974  
 TEL: 961-833-4707  
 400 CLAYTON STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA, 33401

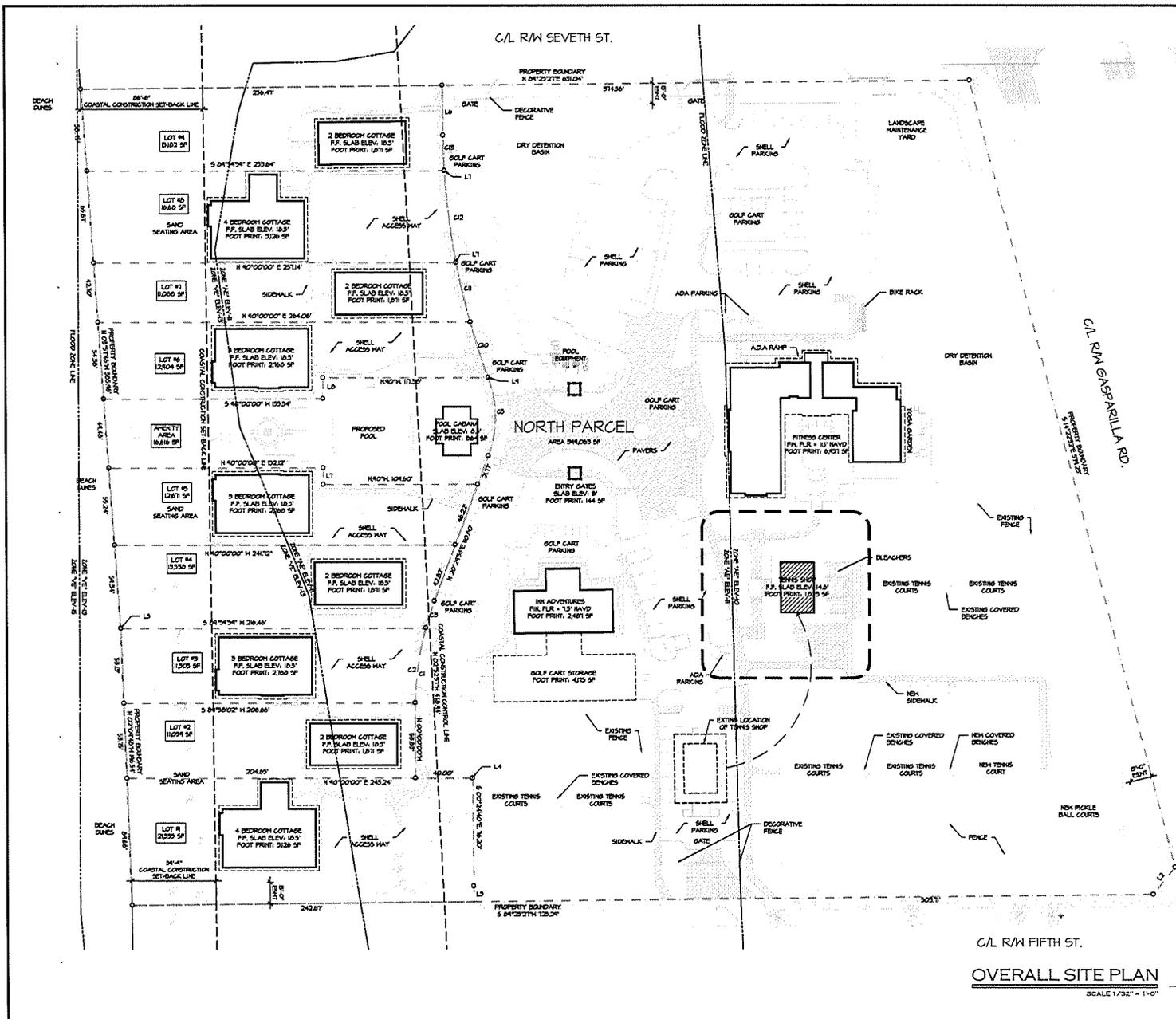
**GASPARRA INI BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION**  
 LICENSE #FL0001388  
 1001 GARDNER  
 © Copyright 2018 DAILEY JANSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

DATE: 12/19/19  
 DRAWN: JLS  
 REVIEWED:

JOB NO:  
 18-107



Drawing No  
**A-0.01**



SITE DATA	
TOTAL SITE AREA:	394,065 SF / 9.06 AC.
STRAP NUMBER:	14-03-30-00-000020000
FUTURE LAND USE:	URBAN COMMUNITY
BUILDING FOOTPRINT:	TENNIS SHOP 1,629 SF
MAXIMUM ALLOWABLE BUILDING HEIGHT:	42'

SCOPE OF WORK	
1.	RELOCATION OF EXISTING TENNIS PRO SHOP
2.	NEW LANDSCAPE AND PARKING

GENERAL NOTES	
1.	REFER TO PLANS BY LANDSCAPE ARCHITECT FOR ALL LANDSCAPE AND HARDSCAPE
2.	REFER TO PLANS BY CIVIL ENGINEER FOR STORM DRAINAGE, WATER/SWIR CONNECTIONS, AND FIRE WATER SUPPLY INFORMATION

LEGAL DESCRIPTION	
REFER TO SURVEY.	
THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION.	

CURVE DATA		
CURVE G1 RAD. = 220.00' C.A. = 115°23'31" ARG. = 74.42° CHORD = 14.07' C.B. = N 10°45'29"E	CURVE G2 RAD. = 80.00' C.A. = 40°53'00" ARG. = 36.80° CHORD = 33.43' C.B. = N 02°15'40"E	CURVE G3 RAD. = 330.00' C.A. = 0°03'00" ARG. = 0.20° CHORD = 0.20' C.B. = N 30°19'47"W
CURVE G4 RAD. = 220.00' C.A. = 115°23'31" ARG. = 74.42° CHORD = 14.07' C.B. = N 10°45'29"E	CURVE G5 RAD. = 120.00' C.A. = 40°53'00" ARG. = 36.80° CHORD = 30.00' C.B. = N 02°15'40"E	CURVE G6 RAD. = 330.00' C.A. = 0°03'00" ARG. = 0.20° CHORD = 0.20' C.B. = N 30°19'47"W
CURVE G7 RAD. = 220.00' C.A. = 115°23'31" ARG. = 74.42° CHORD = 14.07' C.B. = N 10°45'29"E	CURVE G8 RAD. = 330.00' C.A. = 18°42'00" ARG. = 15.94° CHORD = 30.00' C.B. = N 11°45'47"W	CURVE G9 RAD. = 330.00' C.A. = 4°19'00" ARG. = 4.82° CHORD = 4.33' C.B. = N 13°02'43"W
CURVE G10 RAD. = 150.00' C.A. = 20°28'29'30" ARG. = 84.40° CHORD = 64.00' C.B. = N 10°18'28"W	CURVE G11 RAD. = 450.00' C.A. = 11°27'41" ARG. = 18.29° CHORD = 88.20' C.B. = N 03°18'28"W	CURVE G12 RAD. = 330.00' C.A. = 7°02'30" ARG. = 7.82° CHORD = 68.00' C.B. = N 06°34'40"W

LINE TABLE	
L1	N 04°21'42"E 25.0'
L2	N 30°54'59"E 24.81'
L3	N 10°10'36"W 10.96'
L4	N 10°02'00"W 0.94'
L5	S 03°57'48"E 0.94'
L6	N 07°34'33"W 20.86'
L7	N 0°00'00"W 11.81'
L8	N 0°00'00"W 11.81'

C/L R/W FIFTH ST.  
**OVERALL SITE PLAN**  
 SCALE 1/32" = 1'-0"



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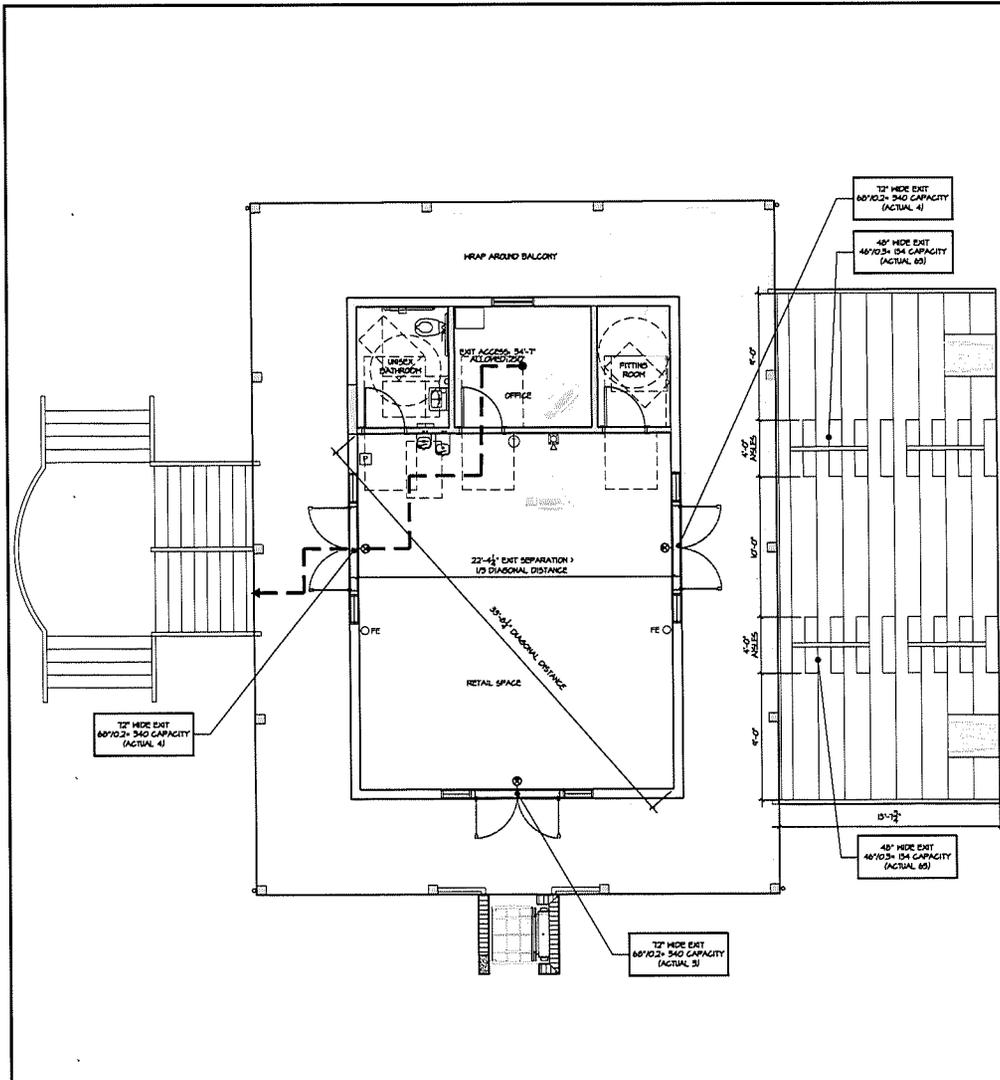
**GASPARLIN IN BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION**  
 LICENSE #FL0012881  
 BOB GUNDE

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**SECOND FLOOR LIFE SAFETY PLAN**

SCALE 1/4" = 1'-0"



**FIRE DEPARTMENT SIGNAGE**

GC TO PROVIDE ALUMINUM SIGNAGE FOR HOOD TRUSS FRAMING TO MEET FLORIDA STATUTE 605.222.  
SIGN TO BE 24" X 36" WITH BRIGHT RED REFLECTIVE COLOR. PERMANENTLY ADHERE TO CONTRASTING SURFACE 4'-0" MIN. A.P.F. AND 18" TO THE LEFT OF MAIN ENTRANCE. SEE LIFE SAFETY PLAN THIS SHEET FOR LOCATION.



**BUILDING CODE INFORMATION**

FLORIDA BUILDING CODE FIFTH EDITION (2001), FLORIDA FIRE PREVENTION CODE, SIXTH EDITION, NFPA 1 & 101  
CONSTRUCTION TYPE: V (B)  
INTERIOR FINISHES: REQUIREMENTS PER NFPA 2012.5.2 (CLASSES A, B, AND C PERMITTED)  
OCCUPANCY: MERTANTILE (M)  
BUILDING HEIGHT: 120'-0" (12 STORY)  
ALLOWABLE BUILDING HEIGHT: 60'-0" (3 STORY)  
GROSS BUILDING AREA: 3945 SQF  
ALLOWABLE BUILDING AREA: 21000 SQF  
OCCUPANT LOAD: 17

**TOTAL PLUMBING FIXTURE COUNT**

OCCUPANCIES: BUSINESS (M)  
OCCUPANT DENSITY: 11  
FIXTURE COUNT PER FBC PLUMBING 2011 TABLE 403.1 & TABLE 403.6 (403.6.1)

	TOTAL REQUIRED	TOTAL PROVIDED
WATER CLOSET	1 (0.300)	1
URINAL	-	-
LAVATORY	1 (0.750)	1
D FOUNTAIN	1 (0.300)	2
SINK	1	1

**BLEACHER OCCUPANCY CHART**

FLOOR	OCCUPANCY	AREA	RATIO	OCCUP. LOAD
LOWER	ARENA (A-5)	512 SQ FT	-	-
LOWER	BLEACHERS + HD L.F. CHAIRMAN SEATING WHEELCHAIR SEATING	115 L.F.	126 / 2	TOTAL: 130 PEOPLE

**BLEACHER EGRESS CALCULATIONS**

LIFE SAFETY CODE, 6TH ED. (2018) NFPA 101 CHAPTERS  
BLEACHER AISLE/STAIR AT 0.3" PER PERSON PER TABLE 2.2.3.2  
40" AISLE/STAIR  
48'10.3" = 154 PEOPLE PER AISLE (TOTAL: 308)

**ROOM INFORMATION**

ROOM NAME	OCC. TYPE	AREA SQF	AREA PER OCCUPANT SQF	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
RETAIL SPACE	M	563	100	10	17
OFFICE	B	89	100	1	
WEEK BATHROOM	-	36	-	-	
FITTING ROOM	-	44	-	-	
GROUND FLOOR STORAGE	M (STORAGE)	1622	300	6	

**EGRESS CALCULATIONS**

LIFE SAFETY CODE, 6TH ED. (MOST RECENT) NFPA 101 CHAPTERS 7 & 36  
CORRIDORS/STAIRS/DOORS AT 0.2" PER PERSON STAIRS AT 0.3" PER PERSON (TABLE 7.3.2.1)  
MIN CORRIDOR WIDTH: 36" (7.3.4.1)  
NUMBER OF EXITS: 2 (7.4.1) & 26 (2.4.1)  
EXIT ARRANGEMENT: AS INDICATED IN PLAN

FLORIDA BUILDING CODE 6TH ED. (2017) CHAPTER 10 SECTIONS 1005, 1015 & 1018  
CORRIDORS/STAIRS/DOORS AT 0.2" PER PERSON STAIRS AT 0.3" PER PERSON (602.3) & 1002.3.2  
MIN CORRIDOR WIDTH: 36" (TABLE 1002.3) OCCUPANT LOAD 100  
NUMBER OF EXITS: 2 FROM ANY SPACE WITH OCCUPANCY > 48 (TABLE 1008.3.1)  
EXIT ARRANGEMENT: AS INDICATED IN PLAN

**TRAVEL DISTANCE TABLE**

(M) OCCUPANCY WITH SPRINKLER SYSTEM  
FLORIDA FIRE PREVENTION CODE, 6TH ED.; NFPA 1 & 101  
FLORIDA BUILDING CODE 6TH ED. (2017)  
MAX COMMON PATH OF TRAVEL 100' (PER 56.2.5.5(2))  
MAX COMMON PATH OF TRAVEL 70' (PER 1024.6)  
EXIT ACCESS TRAVEL DISTANCE 250' (PER 56.2.6.2.2)  
EXIT ACCESS TRAVEL DISTANCE 250' (PER TABLE 1071.2)

**FIRE SEPARATIONS**

FLORIDA FIRE PREVENTION CODE, 6TH ED.; NFPA 1 & 101  
FLORIDA BUILDING CODE 6TH ED. (2017)  
NO SEPARATION REQUIRED BETWEEN MAIN OCCUPANCY AND STORAGE FLOOR PER NFPA 1, TABLE 6.11.4.1.1(1) STORAGE AREA DOES NOT CONSTITUTE MORE THAN 10% OF MAJOR FLOOR AREA.  
NO SEPARATION REQUIRED BETWEEN STORAGE FLOOR AND MAIN OCCUPANCY PER FBC 506.2.2.1 & 506.2.2.4 STORAGE AREA FACILITY TO MAIN OCCUPANCY DOES NOT CONSTITUTE MORE THAN 10% OF THE BUILDING AREA.

**FIRE EXTINGUISHER**

LIGHT HAZARD OCCUPANCY  
TYPE REQUIRED PER NFPA 10 2010 TABLE 6.2.1.1, 2-A  
QUANTITY REQUIRED  
PLAN SYMBOL: FE (C)  
FIRE EXTINGUISHER BRACKET MOUNT  
PROVIDED  
(C) EXISTING FE ARE PROVIDED PROVIDED (C) ADDITIONAL MULTIPURPOSE DRY CHEMICAL FOR CLASSES A-B, C, PRESS. I.L. RATING 2A:10BC

**LIFE SAFETY PLAN SYMBOL LEGEND**

- > EXIT ACCESS TRAVEL DISTANCE
- ⊙ HALL MOUNTED EXIT LIGHT
- ⊙ CEILING MOUNTED EXIT LIGHT
- ⊙ FIRE EXTINGUISHER IN CABINET
- ⊙ FIRE EXTINGUISHER BRACKET MOUNT

**DJA DAILEY JANSSEN ARCHITECTS**  
4000 CLEVELAND STREET, SUITE 200  
WEST PALM BEACH, FLORIDA, 33411  
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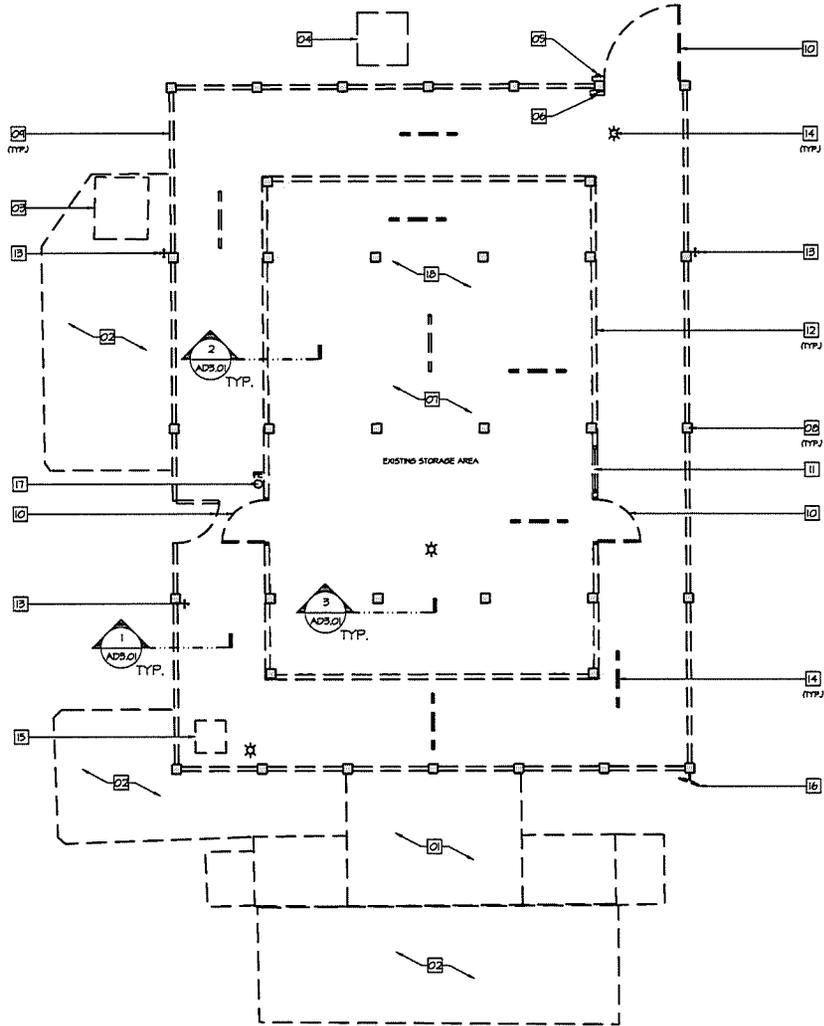
**GASPARILLA INN BEACH COTTAGES AND AMENITIES TENNIS SHOP RELOCATION**  
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GROUND FLOOR DEMOLITION FLOOR PLAN  
SCALE 1/4" = 1'-0"

DEMOLITION KEY NOTES

- 01 EXISTING STAIRS TO BE REMOVED
  - 02 EXISTING PLANTING TO BE REMOVED
  - 03 EXISTING PPL TRANSFORMER BOX TO BE REMOVED/RELOCATED. SEE ELECTRICAL DRAWINGS
  - 04 EXISTING CONDENSING UNIT TO BE REMOVED/RELOCATED. SEE MECHANICAL DRAWINGS
  - 05 EXISTING ELECTRICAL METER TO BE REMOVED/RELOCATED. SEE ELECTRICAL DRAWINGS
  - 06 EXISTING SERVICE DISCONNECT BOX TO BE REMOVED/RELOCATED. SEE ELECTRICAL DRAWINGS
  - 07 EXISTING CONCRETE SLAB TO BE REMOVED
  - 08 EXISTING HOOD POST TO BE CUT & REMOVED AS PER STRUCTURAL DRAWINGS
  - 09 EXISTING LATTICE PANEL TO BE REMOVED BETWEEN POSTS
  - 10 EXISTING DOOR TO BE REMOVED
  - 11 EXISTING HINGED TO BE REMOVED
  - 12 EXISTING HOOD PARTITION TO BE REMOVED
  - 13 EXISTING HOSE BIBS TO BE REMOVED
  - 14 EXISTING LIGHT FIXTURE TO BE REMOVED
  - 15 EXISTING ICE MACHINE TO BE RELOCATED
  - 16 EXISTING SATELLITE DISH TO BE REMOVED/RELOCATED
  - 17 EXISTING FIRE EXTINGUISHER TO BE RELOCATED
- 08 TO COORDINATE THE REMOVAL/RELOCATION OF STORED ITEMS WITH OWNER

**DJA DAILEY JANSSEN ARCHITECTS**  
 LICENSE #A00001974  
 TEL: 561.433.3470

1000 CLAYTON STREET, SUITE 500  
 WEST PALM BEACH, FLORIDA 33411

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 TENNIS SHOP RELOCATION**  
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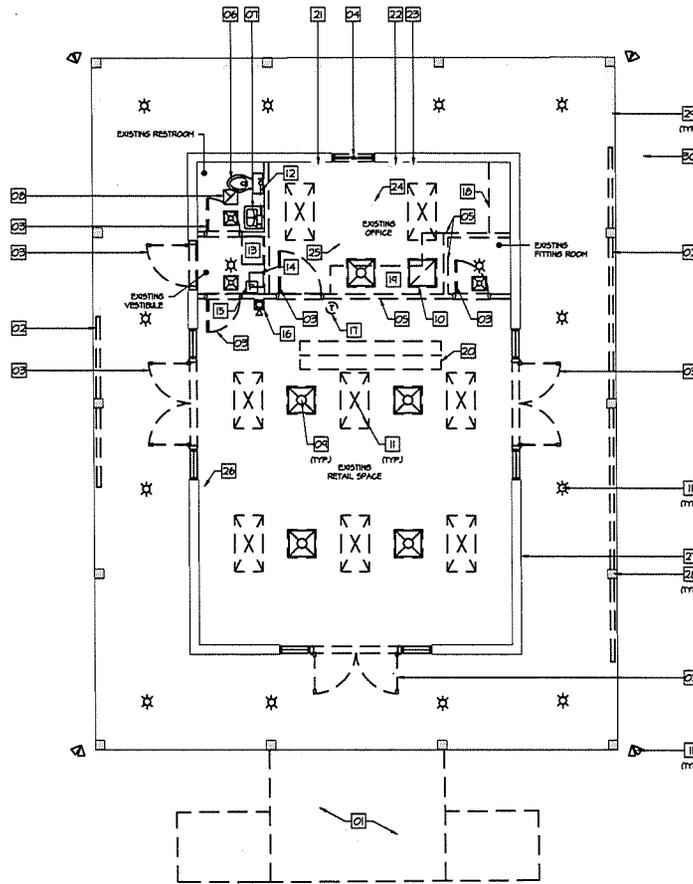
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 BY: JGJ  
 CHECKED: JGJ

JOB NO:  
 16-107



DRAWING NO:  
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FIRST FLOOR DEMOLITION FLOOR PLAN

SCALE 1/4" = 1'-0"



DEMOLITION KEY NOTES

- EXISTING STAIRS TO BE REMOVED
- PORTION OF EXISTING RAILING TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING HINGEK TO BE REMOVED
- EXISTING PARTITION TO BE REMOVED
- EXISTING WATER CLOSET TO BE REMOVED
- EXISTING SINK TO BE REMOVED
- EXISTING EXHAUST FAN TO BE REMOVED
- EXISTING AIR SUPPLY DIFFUSER TO BE REMOVED
- EXISTING RETURN AIR GRILLE TO BE REMOVED
- EXISTING LIGHT FIXTURE TO BE REMOVED
- EXISTING HALL MOUNTED LIGHT FIXTURE TO BE REMOVED
- EXISTING VSM REFRIGERATOR TO BE RELOCATED
- EXISTING WATER COOLER TO BE REMOVED & RETURNED TO OWNER
- EXISTING FIRE ALARM PULL STATION TO BE REMOVED/RELOCATED
- EXISTING FIRE ALARM HORVATRODE TO BE REMOVED/RELOCATED
- EXISTING THERMOSTAT TO BE REMOVED/RELOCATED
- EXISTING SHELVES TO BE REMOVED
- EXISTING DESK TO BE REMOVED
- EXISTING SERVICE COUNTER TO BE REMOVED
- EXISTING DATA RACK TO REMAIN
- EXISTING ELECTRICAL PANEL TO REMAIN
- EXISTING FIRE ALARM PANEL TO REMAIN
- EXISTING CEILING ACCESS PANEL TO REMAIN
- EXISTING AHU IN ATTIC TO REMAIN
- EXISTING FIRE EXTINGUISHER TO REMAIN
- EXISTING HALL TO REMAIN
- EXISTING HOOD POST TO REMAIN
- EXISTING RAILING TO REMAIN
- EXISTING ROOF OVERHANG TO REMAIN

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**GASPARILLA BEACH COTTAGES AND AMENITIES  
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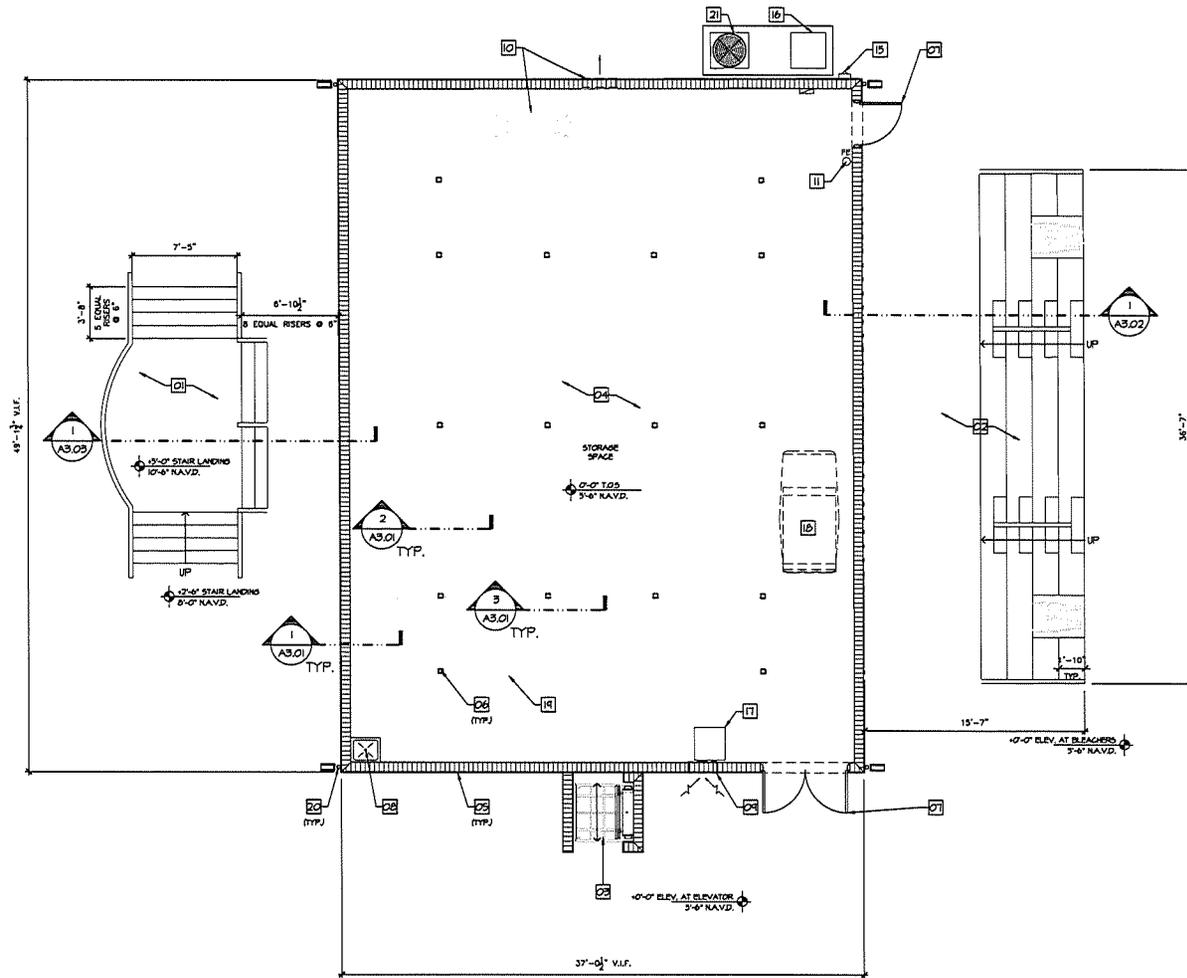
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- KEY NOTES**
- 11 NEW HOOD STAIRS, GUARDRAILS, & HANDRAILS ON FT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF STAIRS
  - 12 NEW HOOD BLEACHERS, GUARDRAILS, & HANDRAILS ON FT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF BLEACHERS
  - 13 NEW ADA LIFT WITH SUPPORTING CONCRETE BLOCK STRUCTURE. LIFT TO BE GENESIS SHAPTHAY SYSTEM BY GARAVENTA LIFT OR APPROVED EQUAL STRAIGHT THROUGH CONFIGURATION
  - 14 NEW CONCRETE SLAB ON GRADE. SEE STRUCTURAL
  - 15 NEW CONCRETE BLOCK SUPPORTING STRUCTURE W/ STUCCO FINISH ON EXTERIOR. SEE STRUCTURAL
  - 16 NEW TIE STEEL. SEE STRUCTURAL
  - 17 NEW IMPACT RATED DOOR
  - 18 NEW SERVICE SINK
  - 19 NEW AIR INTAKE LOUVER. SEE MECHANICAL DRAWINGS
  - 20 NEW EXHAUST FAN & LOUVER. SEE MECHANICAL DRAWINGS
  - 21 RELOCATED FIRE EXTINGUISHER
  - 22 NOT USED
  - 23 NOT USED
  - 24 RELOCATED ELECTRICAL METER. SEE ELECTRICAL DRAWINGS
  - 25 RELOCATED PPL TRANSFORMER BOX ON NEW CONCRETE PAD. SEE ELECTRICAL DRAWINGS
  - 26 RELOCATED ICE MACHINE. SEE ELECTRICAL DRAWINGS
  - 27 EXISTING GOLF CART. PROVIDE CHARGING OUTLET
  - 28 EXISTING MALL ABOVE TO REMAIN
  - 29 NEW CIRCULAR DOWNSPOUT TO SPLASH BLOCK. SEE ROOF PLAN
  - 30 RELOCATED CONDENSING UNIT

**PROPOSED GROUND FLOOR PLAN**

SCALE 1/4" = 1'-0"



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 LICENSE #AA0001974  
 TEL: 561-933-4707  
 400 CLERMONT STREET, SUITE 300  
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**GASPARILLA IN BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION**  
 PROJECT # 10-107  
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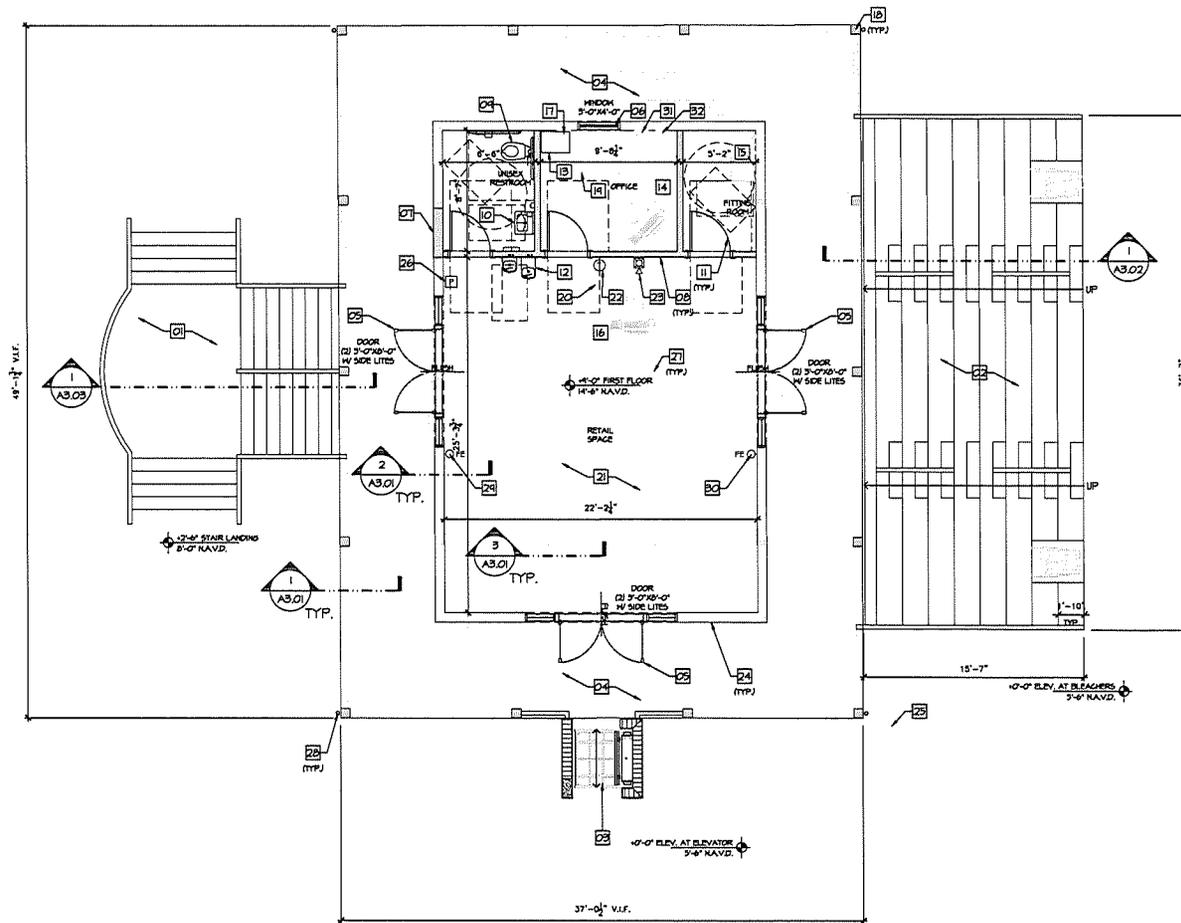
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Robert J. Jansen  
 AS00014785

Drawing No  
 A-1.01



PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



KEY NOTES

- 1 NEW HOOD STAIRS, GUARDRAILS, & HANDRAILS ON FT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF STAIRS
- 2 NEW HOOD BLEACHERS, GUARDRAILS, & HANDRAILS ON FT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF BLEACHERS
- 3 NEW ADA LIFT WITH SUPPORTING CONCRETE BLOCK STRUCTURE. LIFT TO BE SECURED SHAPPHAT SYSTEM BY GARAVENTA LIFT OR APPROVED EQUAL STRAIGHT THROUGH CONFIGURATION
- 4 NEW DOORS OF TYPED STEELS OF WATERPROOFING MEMBRANE OF 5/8" PLYWOOD OF EXISTING JOISTS. 2% MAX. GROSS SLOPE
- 5 NEW IMPACT RATED DOOR
- 6 NEW IMPACT RATED WINDOW
- 7 NEW INFILL WALL TO MATCH ADJACENT EXISTING ASSEMBLY. GC TO FIELD VERIFY
- 8 NEW METAL STUD PARTITION
- 9 NEW ADA COMPLIANT WATER CLOSET
- 10 NEW ADA COMPLIANT SINK
- 11 NEW INTERIOR DOOR
- 12 NEW BI-LEVEL HALL HEAVY DRINKING FOUNTAIN
- 13 RELOCATED MINI REFRIGERATOR
- 14 NEW DESK BY OWNER
- 15 NEW ADA FOLDING BENCH
- 16 NEW SERVICE COUNTER
- 17 EXISTING DATA RACK TO REMAIN
- 18 EXISTING HOOD POST TO REMAIN
- 19 EXISTING CEILING ACCESS PANEL TO REMAIN
- 20 EXISTING AHU IN ATTIC TO REMAIN
- 21 NEW HARD HOOD FLOORING
- 22 RELOCATED THERMOSTAT
- 23 RELOCATED FIRE ALARM HORNS/STROBE
- 24 EXISTING HALL TO REMAIN
- 25 EXISTING ROOF OVERHANG TO REMAIN
- 26 RELOCATED FIRE ALARM PULL STATION
- 27 NEW TUBE STEEL DECK. SEE STRUCTURAL
- 28 NEW CIRCULAR DOWNPOUT TO SPLASH BLOCK. SEE ROOF PLAN
- 29 EXISTING FIRE EXTINGUISHER TO REMAIN
- 30 NEW FIRE EXTINGUISHER
- 31 EXISTING ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS
- 32 EXISTING FIRE ALARM PANEL. SEE FIRE ALARM DRAWINGS

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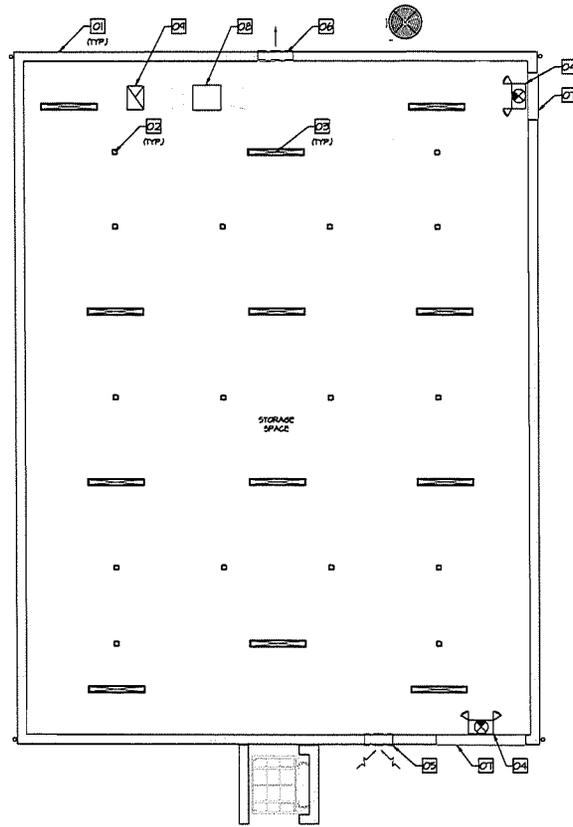
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KEY NOTES	
	NON CONCRETE BLOCK SUPPORTING STRUCTURE W/ STUCCO FINISH ON EXTERIOR, SEE STRUCTURAL
	NON TUBE STEEL, SEE STRUCTURAL
	NON LED SURFACE MOUNTED LIGHT FIXTURE
	NON EXT LIGHT EMERGENCY LIGHT FIXTURE
	NON AIR INTAKE LOUVER, SEE MECHANICAL DRAWINGS
	NON LOUVER, SEE MECHANICAL DRAWINGS
	NON HEADER
	NON EXHAUST FAN, SEE MECHANICAL DRAWINGS
	EXHAUST GRILLE, SEE MECHANICAL DRAWINGS

PROPOSED GROUND REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"



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 DRAWN BY: [Signature]

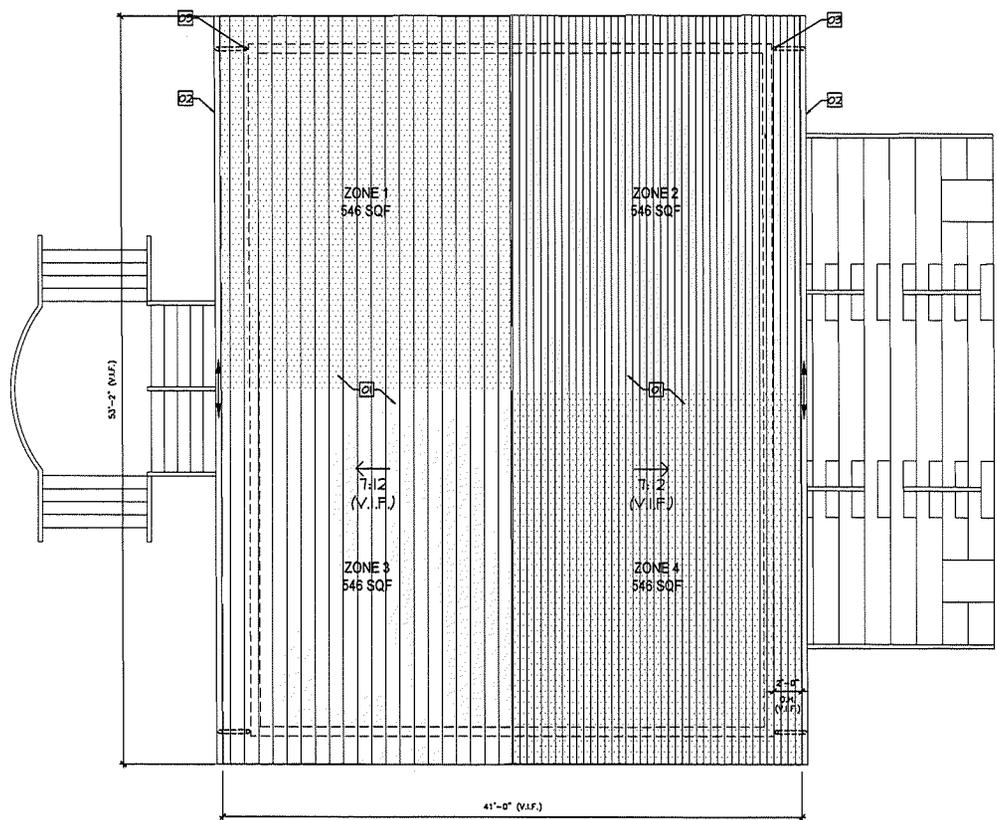
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PROPOSED ROOF PLAN  
SCALE 1/4" = 1'-0"



**ROOF DRAINAGE CALCULATIONS**  
FLORIDA BUILDING CODE PLUMBING 5TH EDITION (2017) TABLES 1106.2(2) & 1106.6

ZONE	ROOF AREA (SQ.F)	GUTTER SLOPE	GUTTER SIZE (SEMI-CIRCULAR)	GUTTER CAPACITY (SQ.F)	DOWNSPOUT SIZE (CIRCULAR)	DOWNSPOUT CAPACITY (SQ.F)
1	546	1/8" / 1'-0"	3" ø	704	3" ø (DS-1)	1760
2	546	1/8" / 1'-0"	3" ø	704	3" ø (DS-2)	1760
3	546	1/8" / 1'-0"	3" ø	704	3" ø (DS-3)	1760
4	546	1/8" / 1'-0"	3" ø	704	3" ø (DS-4)	1760

\*GUTTER AND DOWNSPOUT CAPACITY CALCULATED AT 3" PER HOUR RAINFALL RATE WITH THE SPECIFIED SLOPE.  
TOTAL ROOF AREA (HORIZONTAL PROJECTION) 2184 SQ.F.

- KEY NOTES**
- 1. NEW NATURAL HOOD CEDAR SHAKE ROOF
  - 2. NEW SEMI-CIRCULAR COPPER GUTTER, SLOPE TO DOWNSPOUT AS INDICATED IN PLAN.
  - 3. NEW CIRCULAR DOWNSPOUT, PROVIDE SPLASH BLOCK.

**ROOFING SPECIFICATIONS**

NATURAL CEDAR SHAKE ROOF:  
CEDAR SHAKE ROOF 1/4" DOUBLE STARTER COURSE OF SLOVATED DARTON SYSTEM 6X NAILING STRIPS RAISED 1/4" W/ POLYETHYLENE OR NEOPRENE PADS OR NOT HOPPED MOORED WITHIN 6" OF 5/8" FELT TH-100 OR FELT-100 WATERPROOFING MEMBRANE OF EXISTING ROOF TRUSSES.  
NOTE: GC TO FIELD VERIFY CONDITION OF EXISTING ROOF SHEATHING AND REPLACE/REPAIR AS REQUIRED.

- ROOFING NOTES**
1. PROVIDE WEATHER TIGHT CONDITIONS AT ALL THES DURING CONSTRUCTION
  2. DO NOT APPLY ROOFING MATERIAL DURING INCLEMENT WEATHER
  3. SUBMIT PRODUCT APPROVAL (MCA) INFO AND ENGINEER SHOP DRAWINGS

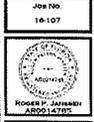
**LIGHTNING PROTECTION NOTE**

GC TO PROVIDE COMPLETE LIGHTNING PROTECTION SYSTEM. THE LIGHTNING PROTECTION SYSTEM SHALL BE INSTALLED BY A PRO PREVIOUSLY ENGAGED IN INSTALLATIONS OF UL OR LPI CERTIFIED LIGHTNING PROTECTION SYSTEMS. THE SYSTEM AS COMPLETED SHALL COMPLY WITH THE LATEST EDITION OF UL96A INSTALLATION REQUIREMENTS FOR LIGHTNING PROTECTION SYSTEMS, AND NFPA-780 STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS. THE SYSTEM SHALL MEET ALL REQUIREMENTS OF THESE STANDARDS AND THE LIGHTNING PROTECTION INSTITUTE STANDARD OF PRACTICE LIMITS. ALL COMPONENTS REQUIRED FOR A UL OR LPI CERTIFICATION SHALL BE PROVIDED WHETHER OR NOT SUCH MATERIALS ARE SPECIFICALLY ADDRESSED BY THE CONTACT DRAWINGS OR DESCRIBED HEREIN.

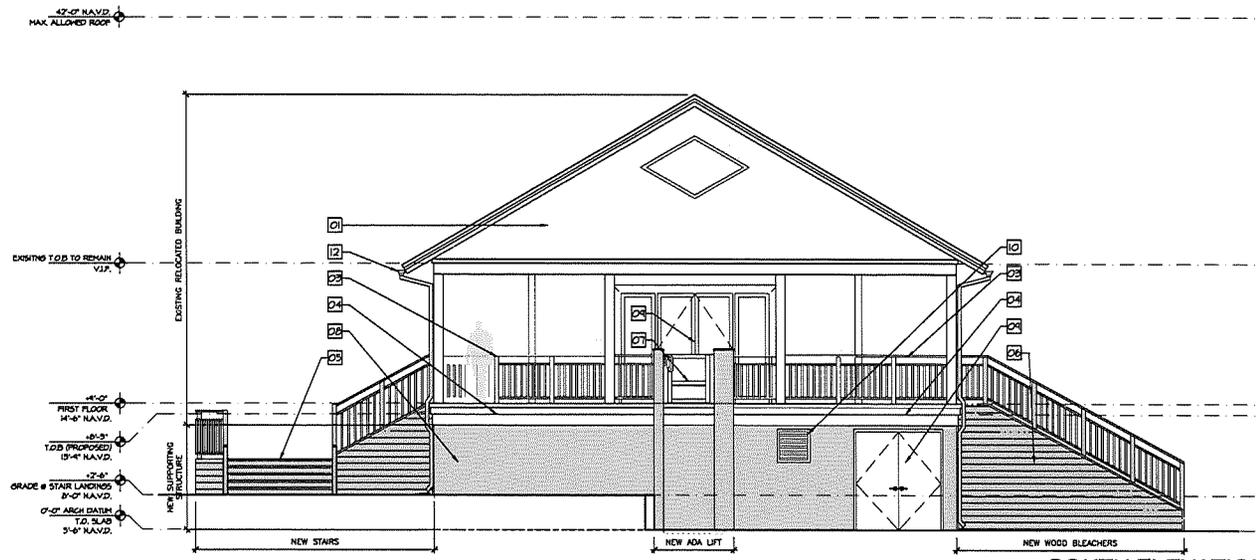
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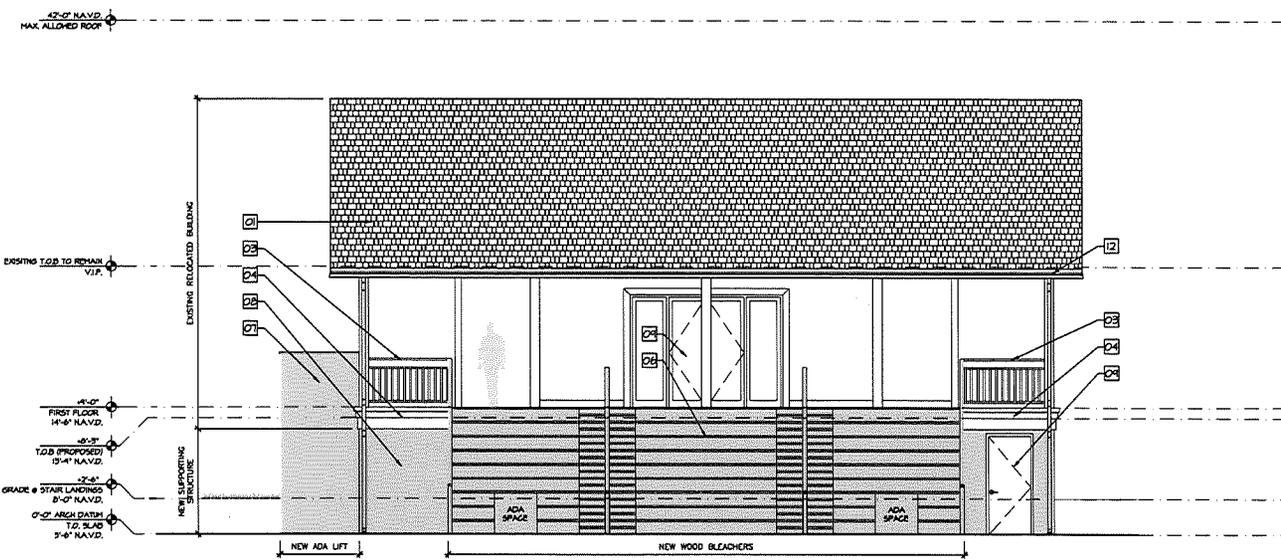
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**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"

DEMOLITION KEY NOTES	
	EXISTING RELOCATED TENNIS SHOP WITH NEW CONCRETE BLOCK SUPPORTING STRUCTURE BELOW
	NOT USED
	EXISTING RAILING TO REMAIN
	EXISTING HOOD TRIM TO REMAIN
	NEW WOOD STAIRS, HANDRAILS, AND HANDRAILS ON PT. STRUCTURE, COMPOSITE SIDING ON BOTH SIDES OF STAIRS
	NEW WOOD BLEACHERS, GUARDRAILS, AND HANDRAILS ON PT. STRUCTURE, COMPOSITE SIDING ON BOTH SIDES OF BLEACHERS
	NEW ADA LIFT WITH SUPPORTING CONCRETE BLOCK WALLS, WALL FINISH TO BE STUCCO WITH SEMI-SMOOTH IRREGULAR TEXTURE, PAINTED ADA LEFT TO BE GENIEVE GRANITE-TYPE OF GRANITE LIFT OR APPROVED EQUAL, STRAIGHT THROUGH CONFIGURATION
	NEW CONCRETE BLOCK SUPPORTING STRUCTURE, WALL FINISH TO BE STUCCO WITH SEMI-SMOOTH IRREGULAR TEXTURE, PAINTED
	NEW IMPACT RATED DOOR
	NEW AIR INTAKE LOUVER
	NEW EXHAUST FAN AND LOUVER
	HALF ROUND COPPER GUTTERS AND DOWNSPOUTS

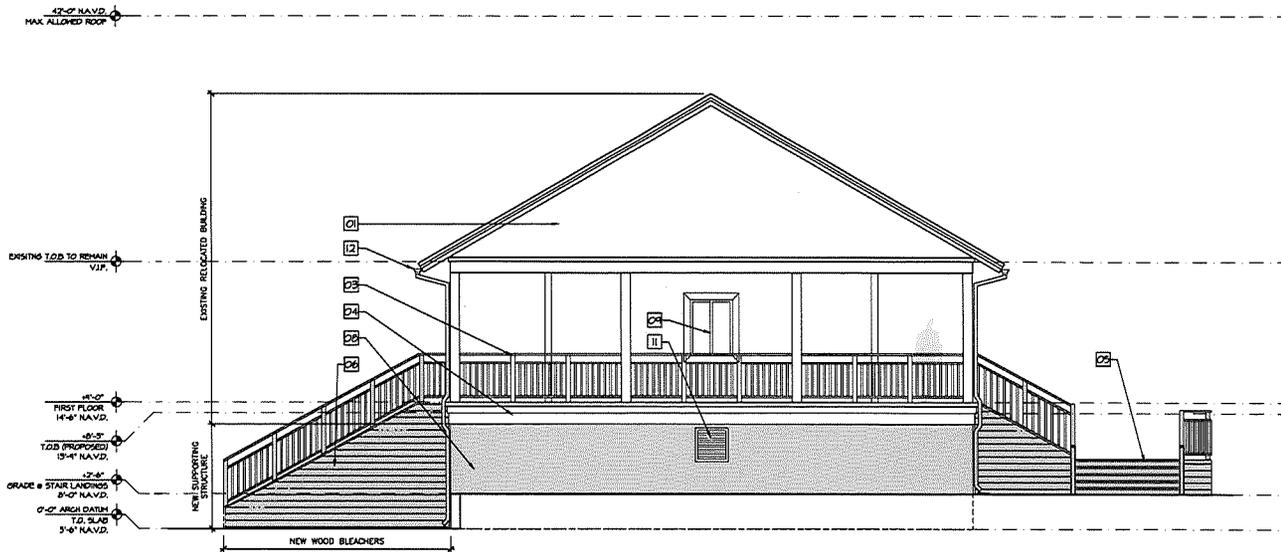
**DJA DAILEY JANSEN ARCHITECTS**  
 LICENSE #A00001974  
 TEL: 904.658.9101  
 400 CLEMATIS STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA, 33411  
**GASPARILLA INN BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION**  
 BOON UHANE  
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DATE: 2.12.2019  
 TIME: 10:00 AM  
 REVIEWED:

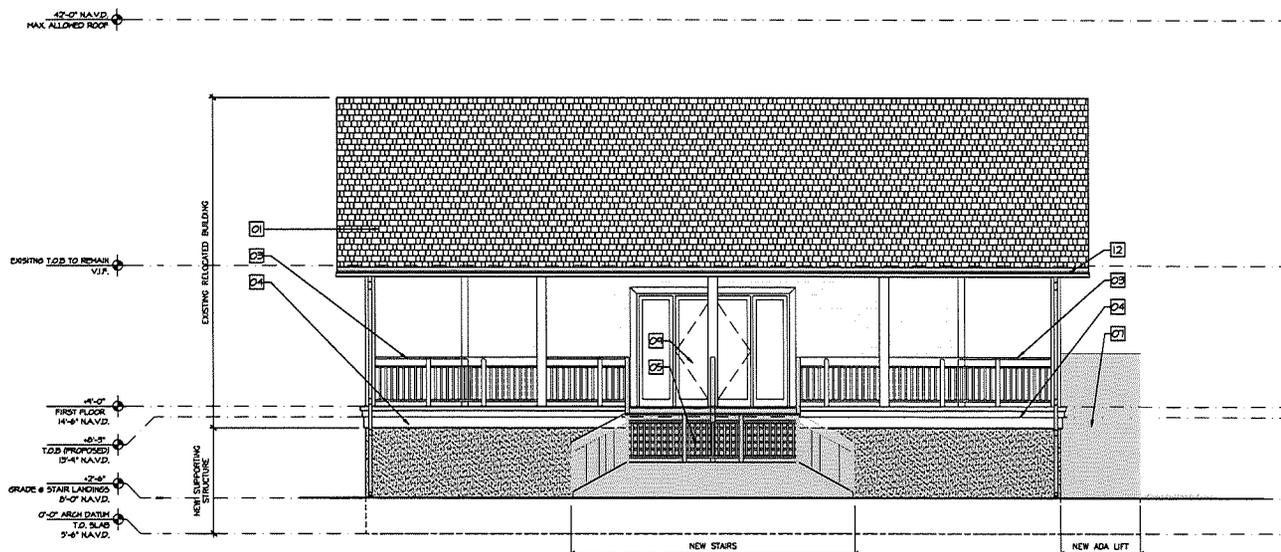
JOB NO:  
 16-107



Drawing No:  
 A-2.01



**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"

DEMOLITION KEY NOTES	
	EXISTING RELOCATED TENNIS SHOP WITH NEW CONCRETE BLOCK SUPPORTING STRUCTURE BELOW
	NOT USED
	EXISTING RAILING TO REMAIN
	EXISTING HOOD TRIM TO REMAIN
	NEW HOOD STAIRS, GUARDRAILS, AND HANDRAILS ON PIT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF STAIRS
	NEW HOOD BLEACHERS, GUARDRAILS, AND HANDRAILS ON PIT STRUCTURE. COMPOSITE SIDING ON BOTH SIDES OF BLEACHERS
	NEW ADA LIFT WITH SUPPORTING CONCRETE BLOCK WALLS. HALL FLOOR TO BE STUCCO WITH SEMI-SMOOTH IRREGULAR TEXTURE. PAINTED ADA LIFT TO BE GROUND SHAPWAY SYSTEM BY GARDAYOTA LIFT OR APPROVED EQUAL. STRAIGHT THROUGH CONFIGURATION
	NEW CONCRETE BLOCK SUPPORTING STRUCTURE. HALL FLOOR TO BE STUCCO WITH SEMI-SMOOTH IRREGULAR TEXTURE, PAINTED
	NEW IMPACT RATED DOOR
	NEW AIR INTAKE LOUVER
	NEW EXHAUST FAN AND LOUVER
	HALF ROUND COPPER GUTTERS AND DOWNSPOUTS

**DJA DAILEY JANSSEN ARCHITECTS**  
 LICENSE #AA0001974  
 TEL: 561-833-4707  
 400 CLAMARTS STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA, 33401

**GA SPALLA INN BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION**  
 USE CONTRACTORS PLAN  
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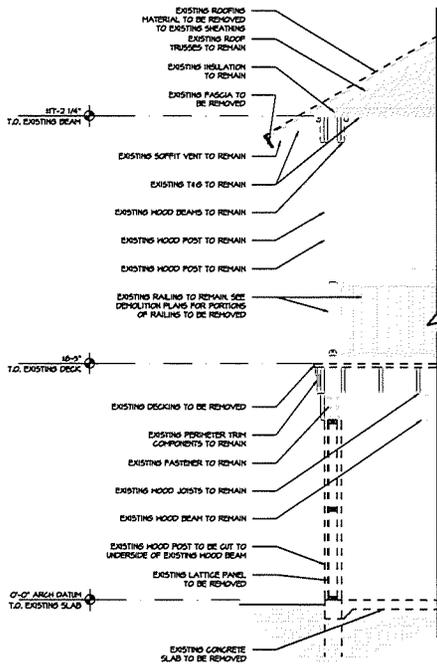
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 16-107

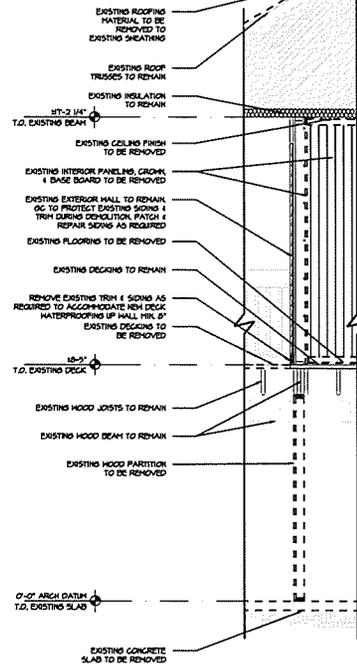
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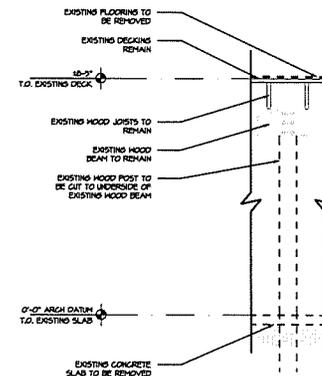
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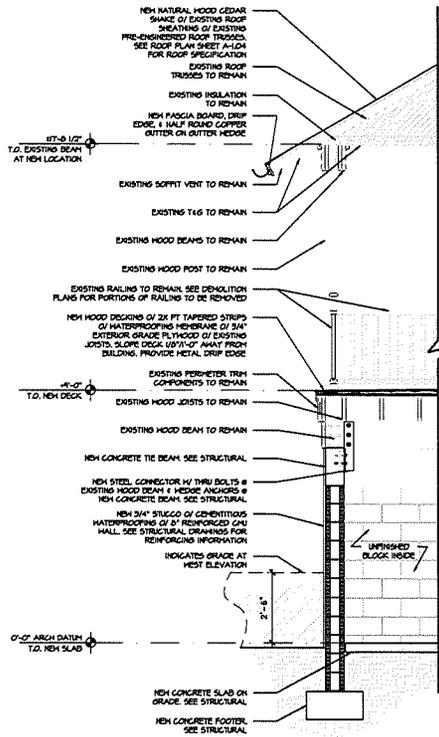
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(SEE SHEET AD-1.01) SCALE 1/2" = 1'-0"



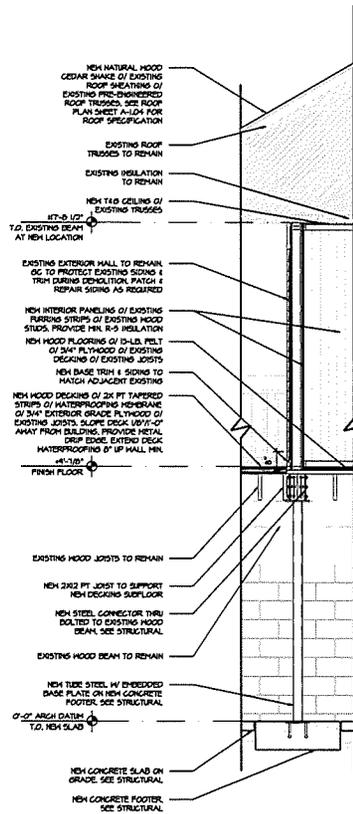
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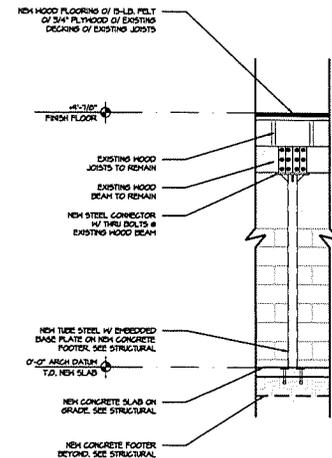
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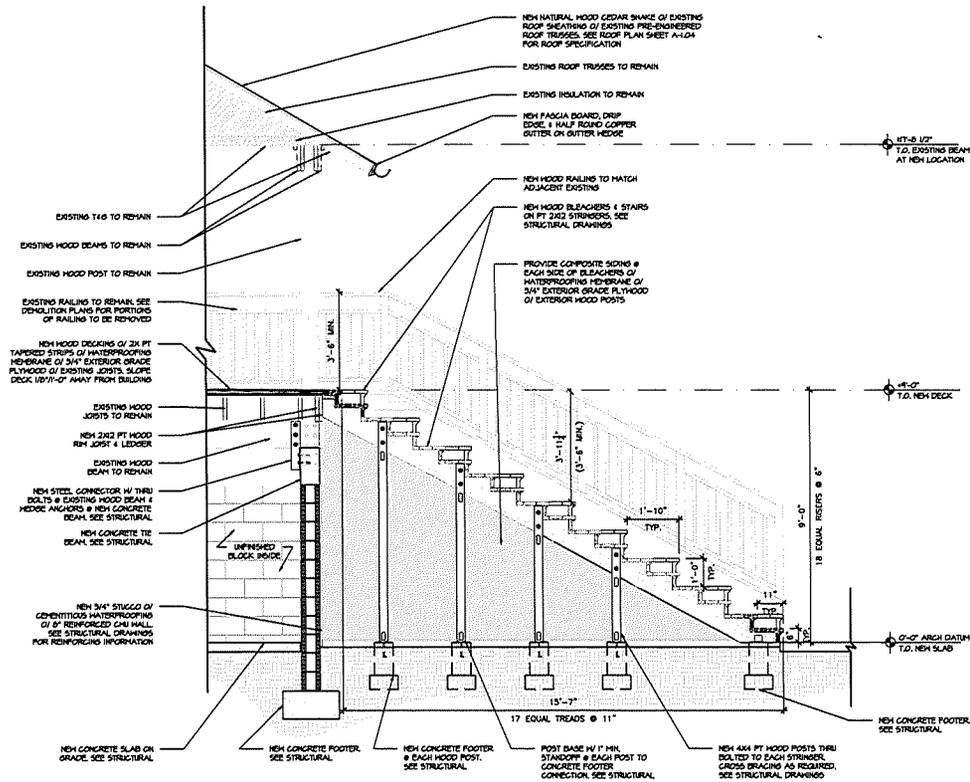
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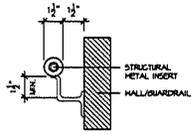
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3 TYPICAL PROPOSED SECTION  
SECTION THROUGH INTERMEDIATE STRUCTURE  
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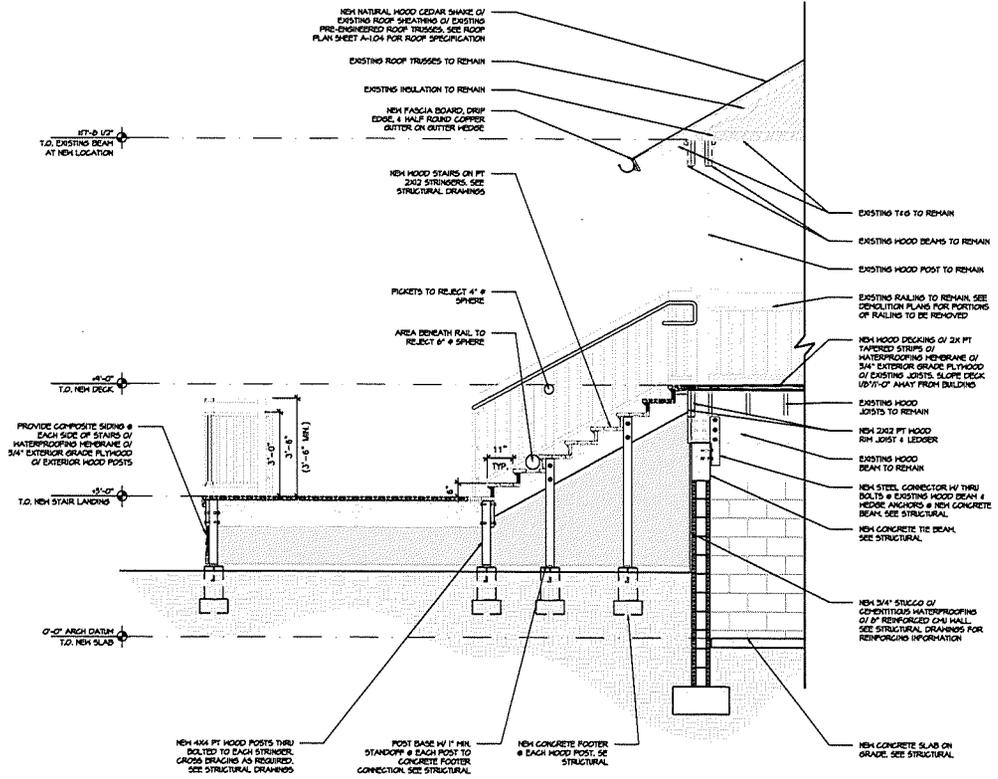


1 PROPOSED SECTION THROUGH BLEACHERS  
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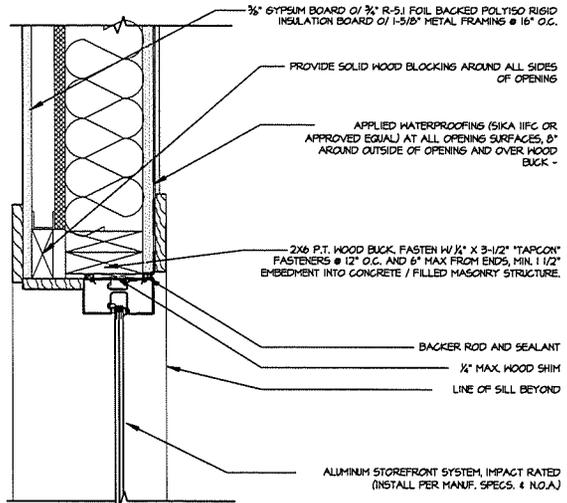


HANDRAIL DETAIL

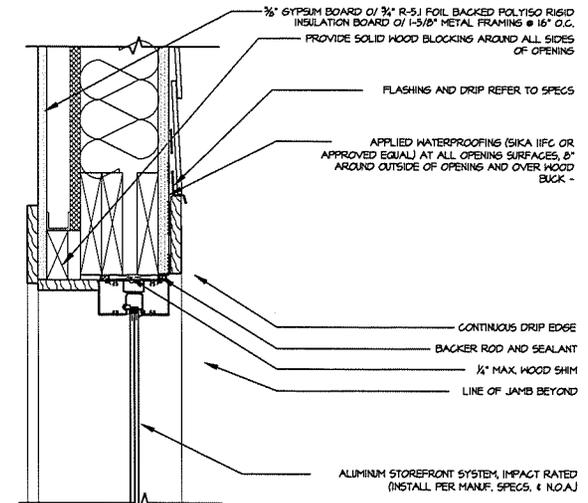
SCALE 3/4" = 1'-0"



1 PROPOSED SECTION THROUGH STAIRS  
(SEE SHEETS A-1.01 & A-1.02) SCALE 1/2" = 1'-0"



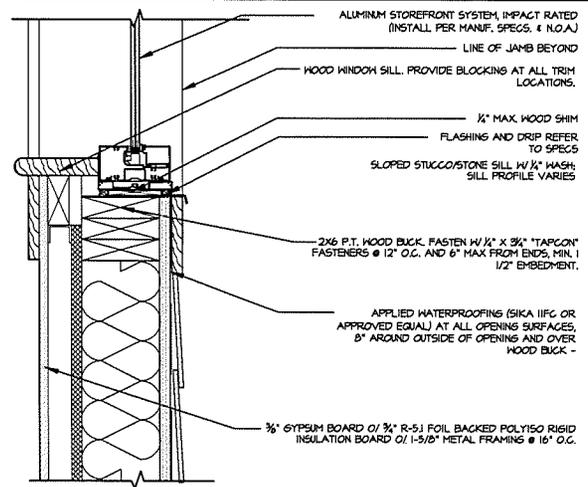
**3 STOREFRONT WINDOW JAMB DETAIL**  
SCALE: 3" - 1'-0"



**1 STOREFRONT WINDOW HEAD DETAIL**  
SCALE: 3" - 1'-0"

- DOOR SCHEDULE NOTES**
1. SUBMIT MANUFACTURER PRODUCT APPROVAL INFORMATION & SHOP DRAWINGS FOR ALL EXTERIOR DOORS.
  2. ALL HARDWARE AND DOORS TO COMPLY WITH NFPA 101 AND FLORIDA ACCESSIBILITY CODE 2011 EDITION.
  3. COORDINATE COORS AND COMMON KEYS WITH OWNER.
  4. ALL EXTERIOR DOORS TO RECEIVE HEATHER STRIPPING.
  5. COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE WINDOW AND DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  6. COORDINATE MASONRY/ROUGH OPENINGS WITH WINDOW/DOOR SUPPLIER.
  7. ALL EXTERIOR DOOR BUCKS TO BE 1/4" MIN. P.T. WOOD PKL.
  8. FASTEN DOOR FRAMES TO BUCK PER MANUFACTURER'S TESTED SPECIFICATIONS. FASTEN @ 12" O.C. AND 6" FROM EDGES W/ MIN. 1/2" EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & WINDOW DETAILS FOR TYPE OF FASTENERS.
  9. ALL INTERIOR DOORS TO HAVE 1/2" MIN. THICKNESS AND TO BE STAINED UNLESS OTHERWISE NOTED.
  10. COORDINATE INTERIOR THRESHOLDS WITH CHANGE OF FLOOR LEVEL AND MATERIALS.
  11. ALL EXTERIOR DOORS AND FRAMES TO BE IMPACT RATED WITH CURRENT PRODUCT APPROVAL, PROVIDE SHOP DRAWINGS AND FULL SCALE SAMPLES FOR ARCHITECT AND OWNER APPROVAL PRIOR TO FABRICATION.
  12. PROVIDE DRAG/ROLL FOR MANUFACTURER'S SPECIFICATIONS.
  13. FINISH TO SIMULATE TREE DIVIDED LINES, REFER TO EXTERIOR ELEVATIONS FOR FINISH DATE LAYOUT AND STYLE OF DOOR ASSEMBLIES.
  14. COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  15. O.C. TO COORDINATE MASONRY/ROUGH OPENINGS WITH WINDOW/DOOR SUPPLIER.
  16. ALL EXTERIOR DOOR & WINDOW BUCKS TO BE 2x6 P.T. WOOD PKL. FASTEN DOOR & WINDOW FRAMES TO BUCK PER MANUFACTURER'S TESTED SPECIFICATIONS. FASTEN @ 12" O.C. AND 6" FROM EDGES W/ MIN. 1/2" EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & WINDOW DETAILS FOR TYPE OF FASTENERS. REFER ALSO TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DETAILS.

- WINDOW SCHEDULE NOTES**
1. ALL EXTERIOR GLAZING IN WINDOWS SHALL BE THERMOFLEX AND HAVE HEAD-ON-HEAD PRODUCT APPROVAL FOR HIGH-RISE (REFER PER A606) AND WINDLOAD LARGE PRESSURE IMPACT TESTS, PER 2011 EDITION, EXTERIOR GLAZING SHALL COMPLY WITH 2011 IBC 2603.2 AND 2603.2.2.
  2. COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE WINDOW AND DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  3. O.C. TO COORDINATE MASONRY/ROUGH OPENINGS WITH WINDOW/DOOR SUPPLIER.
  4. ALL WINDOW BUCKS TO BE 1/4" MIN. P.T. WOOD PKL.
  5. FASTEN WINDOW FRAMES TO BUCK PER MANUFACTURER'S TESTED SPECIFICATIONS. FASTEN @ 12" O.C. AND 6" FROM EDGES W/ MIN. 1/2" EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & WINDOW DETAILS FOR TYPE OF FASTENERS.
  6. GENERAL CONTRACTOR AND WINDOW SUPPLIER TO VERIFY ALL QUANTITIES AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
  7. PROVIDE DRAG/ROLL PER MANUFACTURER'S SPECIFICATIONS.
  8. COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE WINDOW MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  9. ALL EXTERIOR DOOR AND WINDOW BUCKS TO BE 2x6 P.T. WOOD PKL. FASTEN DOOR & WINDOW FRAMES TO BUCK PER MANUFACTURER'S TESTED SPECIFICATIONS. FASTEN @ 12" O.C. AND 6" FROM EDGES W/ MIN. 1/2" EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & WINDOW DETAILS FOR TYPE OF FASTENERS.
  10. WHERE TRANSOM WINDOWS ARE LOCATED ABOVE DOORS / WINDOWS, TRANSOM SASH HEIGHT SHALL MATCH HEIGHT OF SASH BELOW. REFER ALSO TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DETAILS.



**2 STOREFRONT WINDOW SILL DETAIL**  
SCALE: 3" - 1'-0"

**PJA DAILEY JANSSEN ARCHITECTS**  
 405 B. BAYVIEW DRIVE, SUITE 300  
 WEST PALM BEACH, FLORIDA 33411  
 TEL: 561 9034707

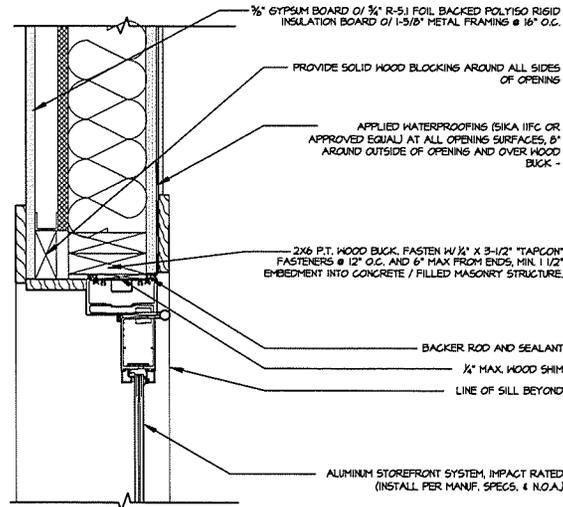
**GASPARILLA INN BEACH COTTAGES AND AMENITIES TENNIS SHOP RELOCATION**  
 1000 PALM BEACH BLVD  
 WEST PALM BEACH, FLORIDA 33411

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 DRAWN BY: JLS  
 REVIEWED BY:

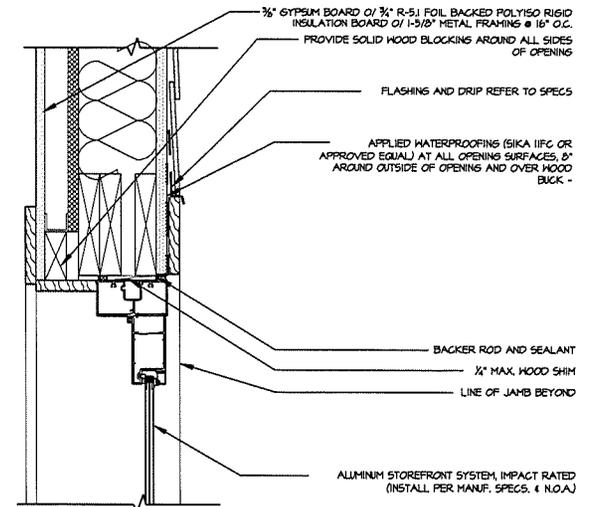
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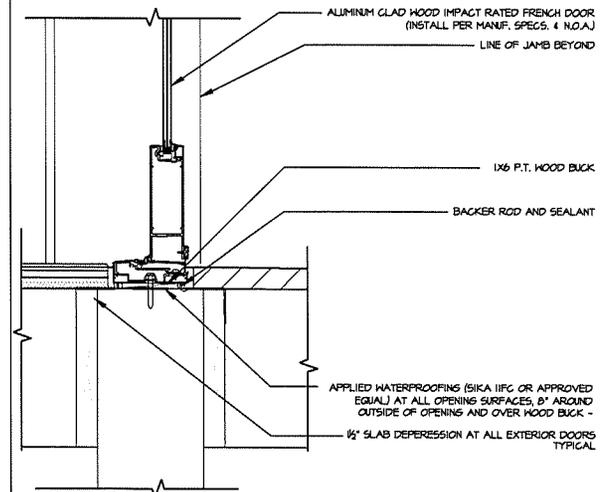
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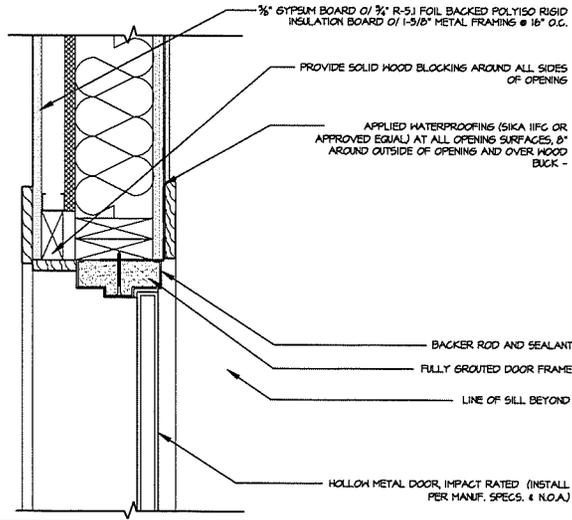
**3 STOREFRONT DOOR JAMB DETAIL**  
SCALE: 3" = 1'-0"



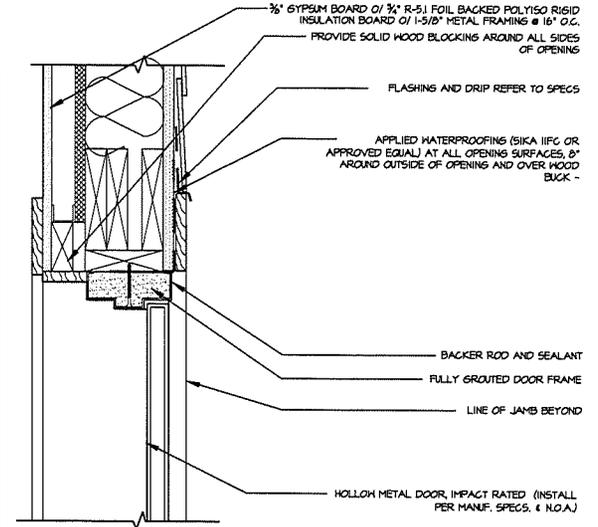
**1 STOREFRONT DOOR HEAD DETAIL**  
SCALE: 3" = 1'-0"



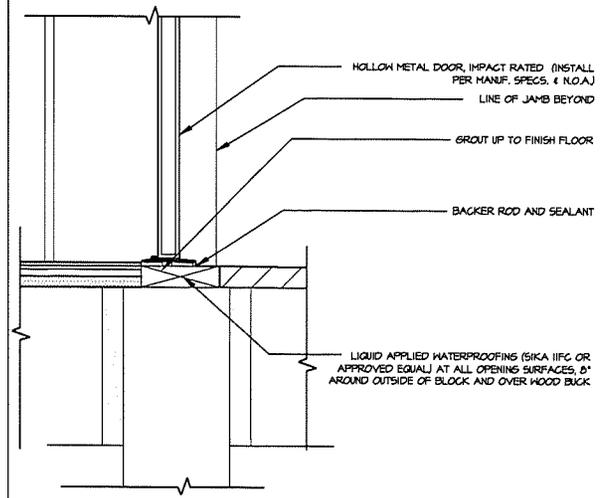
**2 STOREFRONT DOOR SILL DETAIL**  
SCALE: 3" = 1'-0"



**3** HOLLOW METAL DOOR JAMB DETAIL  
SCALE: 3" = 1'-0"



**1** HOLLOW METAL DOOR HEAD DETAIL  
SCALE: 3" = 1'-0"



**2** HOLLOW METAL DOOR SILL DETAIL  
SCALE: 3" = 1'-0"

**D J A** DAILEY-JANSSEN ARCHITECTS  
 LICENSE #AAC001874  
 400 CLEMATIS STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA, 33401  
 TEL: 561-933-4707

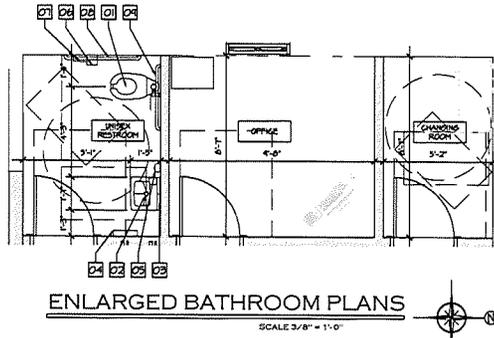
GASPARILLA INN BEACH COTTAGES AND AMENITIES  
 TENNIS SHOP RELOCATION  
 LICENSE #FC0013807  
 BOCA GRANDE  
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DATE: 8.10.2019  
 DRAWN BY: JJA  
 REVIEWED:

JOB NO:  
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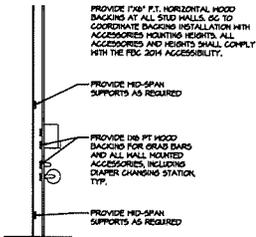


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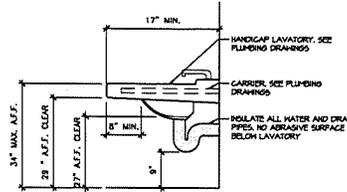
FIXTURES & ACCESSORIES LEGEND			
NO.	DESCRIPTION	MANUFACTURER / MODEL	REMARKS
01	ADA FLOOR MOUNTED WATER CLOSET	SEE PLUMBING DRAWINGS	-
02	ACCESSIBLE WALL MOUNTED LAVATORY W/ ADA PIPE SHIELD	SEE PLUMBING DRAWINGS	SEE DETAIL 2/A-0-01
03	MIRROR W/ STAINLESS STEEL WELDED FRAME 18" X 30"	-	-
04	SURFACE MOUNTED ADA HAND DRYER	-	-
05	SURFACE MOUNTED SOAP DISPENSER	-	1/ PER SINK
06	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	-	-
07	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	-	-
08	CONCEALED MOUNTING W/ SNAP FLANGE GRAB BAR	-	-
09	CONCEALED MOUNTING W/ SNAP FLANGE GRAB BAR	-	-

**NOTES:**  
 1. PROVIDE SPECIFIED PRODUCTS OR APPROVED EQUALS.  
 2. SEE DETAIL 4/A-0-02 FOR MOUNTING HEIGHTS.  
 3. HALL TILE FROM FLOOR TO 7'-0" UNLESS INDICATED OTHERWISE. TILE TO BE SELECTED BY OWNER.  
 4. PROVIDE EPOXY PAINT ABOVE TILE LINE & CEILING. COLOR TO BE SELECTED BY OWNER.  
 5. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION ON PLUMBING FIXTURES.



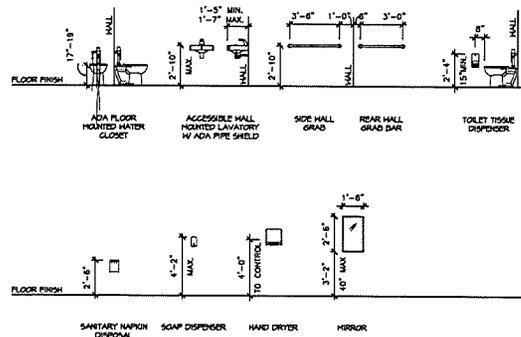
**ACCESSORIES MOUNTING DETAIL**

SCALE 1/2" = 1'-0"



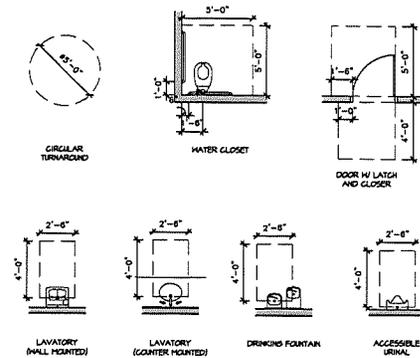
**TYPICAL ADA LAVATORY DETAIL**

SCALE 1/2" = 1'-0"



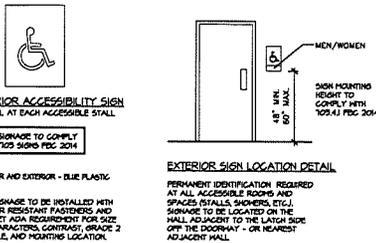
**PLUMBING FIXTURES & ACCESSORIES MOUNTING HEIGHTS**

SCALE 1/4" = 1'-0"



**ACCESSIBILITY MIN. CLEARANCE LEGEND**

SCALE 1/4" = 1'-0"



**ACCESSIBILITY SIGN DETAIL**

SCALE 1/2" = 1'-0"

# GASPARILLA INN BEACH COTTAGES AND AMENITIES PROPOSED INN ADVENTURES BUILDING

**BOCA GRANDE** **LEE COUNTY FLORIDA 33921**

**SITE VICINITY MAP**



**SITE LOCATION MAP**



**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE, 8TH EDITION (2007) AND ALL APPLICABLE AMENDMENTS, AS ADOPTED BY LEE COUNTY, FLORIDA.
2. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING DEVELOPER ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE, WHICH MAY NOT BE SPECIFICALLY ADDRESSED IN THE PLANS AND NOTES.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY THE ARCHITECT IMMEDIATELY VIA PHONE CALL, AND IN WRITING OF DISCREPANCIES. OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS, DO NOT SCALE DRAWINGS.
4. SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ITEMS WHICH REQUIRE APPROVAL OF THE BUILDING OFFICIAL, SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE ARCHITECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON STRUCTURAL MEMBERS DURING CONSTRUCTION.
6. THE CONTRACTOR, SUBCONTRACTOR, AND/OR SUPPLIERS ARE TO PROVIDE MANUFACTURER'S SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL, PRIOR TO PURCHASE, FABRICATION AND INSTALLATION. SUBMIT THREE COPIES, SUPPLY PRODUCT APPROVALS TO BLDG. DEPT. AS REQUIRED. SHOP DRAWINGS SHALL BE PROVIDED FOR, BUT NOT LIMITED TO THE FOLLOWING:
  - A. DOORS AND WINDOWS
  - B. AIR CONDITIONING EQUIPMENT AND LAYOUT
  - C. ELECTRICAL EQUIPMENT AND LIGHTING FIXTURES
  - D. ROOF AND FLOOR TRUSSES
  - E. STRUCTURAL STEEL
  - F. CABINETS
  - G. STRUCTURAL ALUMINUM
7. ALL WINDOWS AND DOORS SHALL BE GALVANIZED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FBC 2011 AND FLORIDA ENERGY EFFICIENCY FOR BUILDING CONSTRUCTION.
8. THE CONTRACTOR SHALL BE HELD TO HAVE EXAMINED AND BE RESPONSIBLE FOR A COMPLETE KNOWLEDGE OF THE CONSTRUCTION DOCUMENTS AND EXISTING SITE CONDITIONS FOR THE WORK TO BE PERFORMED AND THE COMPLETION OF THE STRUCTURE, AS OUTLINED IN THE SCOPE OF WORK.
9. THE CONTRACTOR SHALL LOCATE THE GENERAL REFERENCE POINTS AND TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION. SUB CONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF THEIR WORK INCLUDING BUT NOT LIMITED TO LINES, ELEVATIONS, HEADS/HEIGHTS AND OTHER INFORMATION. ERRORS RESULTING FROM MISINTERPRETATION OF THE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
10. ALL DESIGN LOADS NOT INDICATED ON DRAWINGS SHALL BE GOVERNED BY APPLICABLE FLORIDA BUILDING CODE, 8TH EDITION (2007).
11. DRAWING DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM REFERENCE HEIGHTS - NAVD. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION.
12. DIMENSIONS FOR ARCHITECTURAL DRAWINGS ARE NOMINAL FACE OF STUD TO FACE OF STUD, AND NOMINAL MASONRY DIMENSIONS, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK.
13. ALL INTERIOR PARTITIONS TO BE 2" X 4" OR 2" X 6" HOOD STUDS OR METAL STUDS (22 GAUGE HMI AT 16" O.C. INTERIOR PARTITIONS AND BUREAU SPACES VARY, REFER TO PLANS FOR DIMENSIONS).
14. ISOLATE DISSIMILAR METALS TO PROTECT AGAINST GALVANIC ACTION.
15. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS AND SUBCONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
16. ALL WORK INDICATED ON PLANS IS INTENDED TO BE A COMPLETE AND WORKABLE SYSTEM IN ACCORDANCE WITH ALL PRODUCT SPECS, EXISTING AND/OR NEW BUILDING DESIGN, FIELD CONDITIONS, ETC. ALL MISCELLANEOUS MATERIALS, PARTS, APPLICABLE DIMENSIONS AND REFERRED CONDITIONS, WHETHER INDICATED OR NOT ON DRAWINGS, SHALL BE INCLUDED AS PART OF THIS DOCUMENT.
17. STRUCTURAL WOOD AND FRAMING SHALL CONFORM TO THE "TREX" CONSTRUCTION MANUAL, AS PUBLISHED BY THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION.
18. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL, SHALL BE PRESURE TREATED, PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CONCRETE OR OTHER GENERATING MATERIALS AND THE WOOD.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND PROTECTING USED DURING ERECTION OF TRUSSES TO PREVENT COLLAPSE OR DAMAGE.
20. HEADERS FOR FINISHED OPENINGS GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER, (INCLUDE NOTES OTHERWISE).
21. ALL HEADERS OVER DOORS AND WINDOWS TO BE (2) OR (3) 2X12S (FOR WOOD FRAME CONSTRUCTION, DEPENDING ON HALL THICKNESS). REFER TO DRAWINGS BY OTHERS FOR LIGHTING PROTECTION.
22. PROVIDE ALL NECESSARY BRACING, BACKING, FRAMING FOR HILLWORK, LIGHT FIXTURES, ELECTRIC UNIT, A/C, PLUMBING FIXTURES AND EQUIPMENT, CEILING TRACES AND ALL OTHER ITEMS REQUIRING THE SAME. PROVIDE FIRE RETARDANT ON ALL BRACING IF REQUIRED BY CODE.
23. THE CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES AS WELL AS PAYMENT OF REQUIRED FEES.

**ABBREVIATION LEGEND:**

AT	AT	ME	HATCH EXISTING
ADV.	ADVICE	MANUF.	MANUFACTURER
AM	AIR HANDLER	HTL	HETAL
ALT.	ALTERNATE	HND	HANDRAIL
ARCH	ARCHITECTURAL	HC	NOT IN CONTRACT
APF	ABOVE FINISH FLOOR	OC	ON CENTER
APR.	ALUMINUM	OF	OVER
B.D.	BOARD	PL	PLATE
B.D.S.	BOTTOM OF BEAM	PLY	PLYWOOD
BOT.	BOTTOM	PRF.	PRESSURE TREATED
BLDR.	BUILDING	REF.	REFLECTOR
CAB.	CABINET	REFR.	REFRIGERATOR
CL	CENTER LINE	RM	ROOM
COL.	COLUMN	SECT.	SECTION
CONC.	CONCRETE	SCH.	SCHEDULE
CONC-CONC.A	CONCRETE BIT	SF	SQUARE FEET
CONT.	CONTINUOUS	SP	SPECIFICATIONS
DI	DIAPHRAGM	STL	STAINLESS STEEL
DIA.Ø	DIAMETER	STR.	STRUCTURAL
DTL.	DETAIL	STR.	STAINLESS TELLURUM PINE
DWG.	DRAWING	T.D.	TOP OF DEAM
DW	DOOR/DROPHOOD	TR.	TUBE STEEL
DIA	DIAMETER	TEMP.	TEMPERATURE
EA	EXISTING	TRP.	TYPICAL
EXT.	EXTERIOR	UGR	UNDER GROUND
FIN.	FINISH	V.P.	VERIFY OTHERWISE NOTED
F.LR.	FLOOR	V.P.F.	VERIFY IN FIELD
FLOOR	FLOOR	WC	WATER CLOSET
FR.	FRAMING	WDR	WATER PROOFING
GALV.	GALVANIZED	WHP	WELDED WIRE FABRIC
GEN.	GENERAL CONTRACTOR	WTR	WOOD
G.R.	GIRDER TRUSS	WTR	WINDOW
G.T.	GUTTER		
H.D.	HOSE DIED		
HEAD	HEAD		
H.F.	HIGH		
H.F.A.S.T.	HIGH STRENGTH FASTENER		
LD	LOAD		
INSAL.	INSULATION		
INT.	INTERIOR DESIGNER		
LAV.	LAVATORY		

## DAILEY JANSSEN ARCHITECTS, P.A.

400 Clematis Street, Suite 200 West Palm Beach, Florida 33401 TEL: 561-833-4707

**CONSULTANTS AND ENGINEERS:**

<b>SURVEYOR/CIVIL ENGINEER:</b> MORRIS DEPEH 2841 CENTER POINTE DRIVE UNIT 100 FORT MYERS, FLORIDA 33916 239.337.5943	<b>GEOTECHNICAL ENGINEER:</b> ARDAMAN & ASSOCIATES, INC. 9470 BAVARIA ROAD, FORT MYERS, FLORIDA 33913 239.768.6600	<b>LANDSCAPE ARCHITECT:</b> MORRIS DEPEH 2841 CENTER POINTE DRIVE UNIT 100 FORT MYERS, FLORIDA 33916 239.337.5943	<b>STRUCTURAL ENGINEER:</b> SELECT STRUCTURAL 12573 NEW BRITANNY BOULEVARD FORT MYERS, FLORIDA 33907 239.210.5040	<b>MEP ENGINEER:</b> RSO 2151 S. ALT. A1A, SUITE 2000, JUPITER, FLORIDA 33477 561.743.0165	<b>INTERIOR DESIGNER:</b> KEHELE INTERIORS 244 HIBISCUS AVENUE, PALM BEACH FLORIDA 33480 561.654.9556	<b>GENERAL CONTRACTOR:</b> CHRISTEL CONSTRUCTION 2534 EDISON AVE #A FORT MYERS, FL 33901 - 239.226.0500
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**JOB NO.** 16-107

**JOB NUMBER:** 16-107

**ISSUED FOR PERMIT:** 2.18.19

**DAILEY JANSSEN ARCHITECTS**  
 400 CLEMATIS STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA, 33401  
 LICENSE #AA0001074  
 TEL: 561-833-4707

**INN ADVENTURES**  
 LEE COUNTY, FLORIDA, 33401

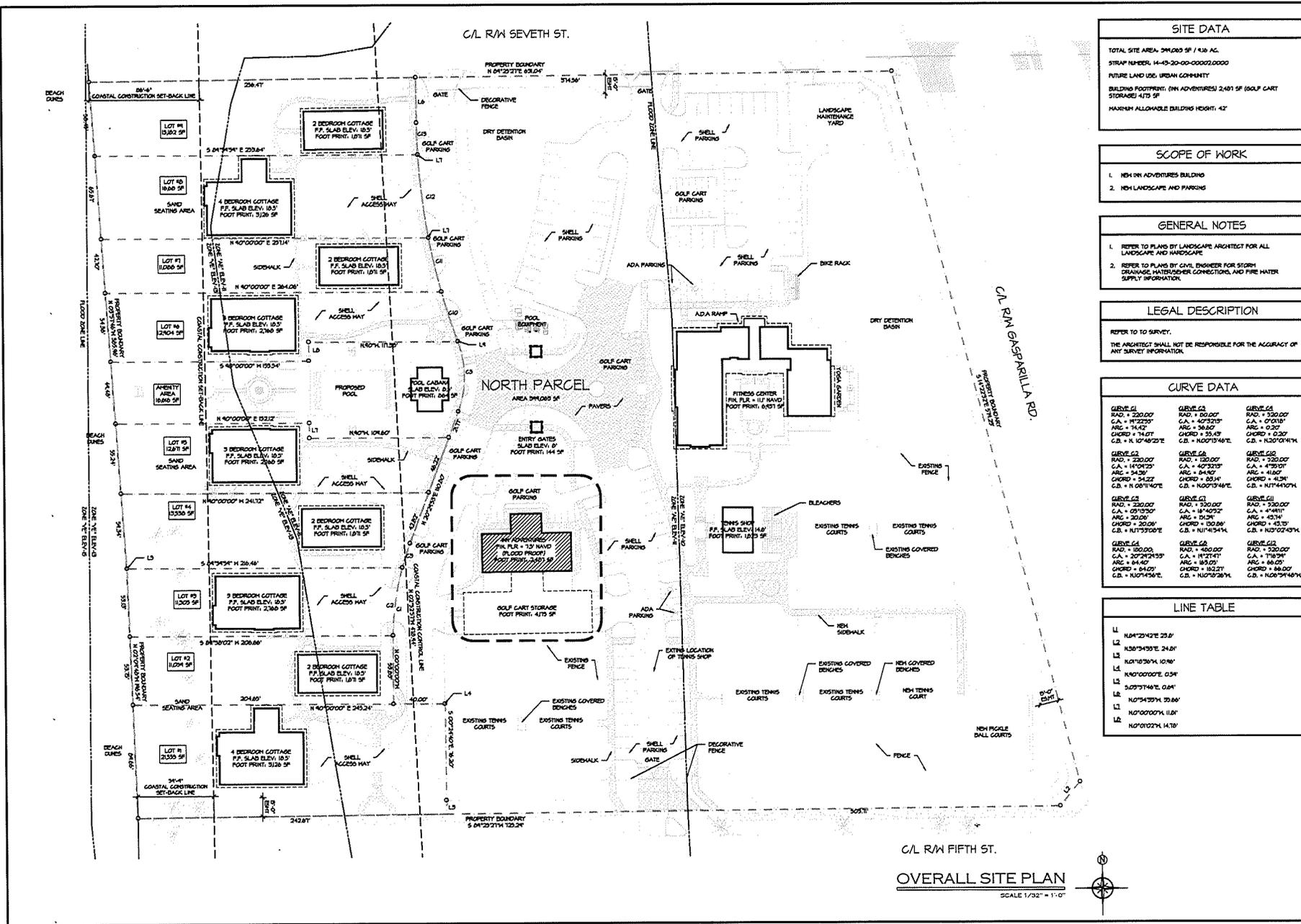
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JOB NO.  
16-107



DRAWING NO.  
A-0-00

DRAWING INDEX									
SHT NO.	SHEET NAME	ISSUED/REV. NO.							
			ISSUED						
			REV. 1						
			REV. 2						
			REV. 3						
			REV. 4						
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SITE DATA	
TOTAL SITE AREA	39,003 SF / 0.9 AC.
STRIP NUMBER	H-43-30-00-00002.0000
FUTURE LAND USE	URBAN CONVENTY
BUILDING FOOTPRINT (IN ADVENTURES)	2,401 SF (GOLF CART STORAGE) 475 SF
MAXIMUM ALLOWABLE BUILDING HEIGHT	42'

SCOPE OF WORK	
1.	INH ON ADVENTURES BUILDING
2.	INH LANDSCAPE AND PARKING

GENERAL NOTES	
1.	REFER TO PLANS BY LANDSCAPE ARCHITECT FOR ALL LANDSCAPE AND HARDWARE.
2.	REFER TO PLANS BY CIVIL ENGINEER FOR STORM DRAINAGE, WATER/SEWER CONNECTIONS, AND FIRE WATER SUPPLY INFORMATION.

LEGAL DESCRIPTION	
REFER TO TO SURVEY.	
THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION.	

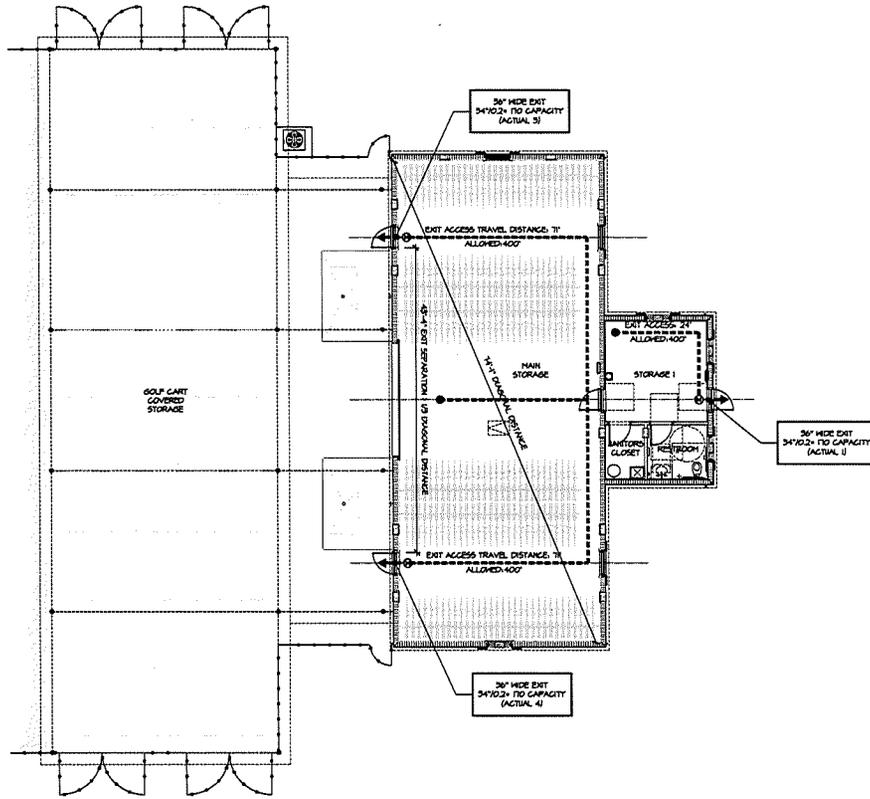
CURVE DATA		
<b>CURVE G1</b> RAD. = 220.00' C.A. = 18°22'33" ARC = 35.42' CHORD = 14.07' C.B. = N 10°48'22"E	<b>CURVE G2</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E	<b>CURVE G3</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E
<b>CURVE G4</b> RAD. = 220.00' C.A. = 18°22'33" ARC = 35.42' CHORD = 14.07' C.B. = N 10°48'22"E	<b>CURVE G5</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E	<b>CURVE G6</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E
<b>CURVE G7</b> RAD. = 220.00' C.A. = 18°22'33" ARC = 35.42' CHORD = 14.07' C.B. = N 10°48'22"E	<b>CURVE G8</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E	<b>CURVE G9</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E
<b>CURVE G10</b> RAD. = 220.00' C.A. = 18°22'33" ARC = 35.42' CHORD = 14.07' C.B. = N 10°48'22"E	<b>CURVE G11</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E	<b>CURVE G12</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E
<b>CURVE G13</b> RAD. = 220.00' C.A. = 18°22'33" ARC = 35.42' CHORD = 14.07' C.B. = N 10°48'22"E	<b>CURVE G14</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E	<b>CURVE G15</b> RAD. = 300.00' C.A. = 40°32'33" ARC = 36.80' CHORD = 23.43' C.B. = N 00°19'46"E

LINE TABLE	
L1	N 64°22'42"E 23.81'
L2	N 30°34'35"E 24.26'
L3	N 61°10'30"W 10.16'
L4	N 40°00'00"E 0.34'
L5	S 02°37'46"E 0.64'
L6	N 02°34'35"W 30.86'
L7	N 02°00'00"W 11.04'
L8	N 02°01'02"W 4.78'

C/L R/W FIFTH ST.  
**OVERALL SITE PLAN**  
 SCALE 1/32" = 1'-0"

D J A DAILEY JANSSEN ARCHITECTS  
 LICENSE #AAC001974  
 400 CLEMENS STREET, SUITE 200  
 WEST PALM BEACH, FLORIDA 33411  
 TEL: 561-834-7077  
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 BOCA GRANDE  
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DATE: 2.10.2018  
 DRAWN: CES/PRO/PS  
 REVIEW:  
 JOB NO:  
 16-107  
  
 DRAWING NO:  
 SP-1.01



**LIFE SAFETY PLAN**

SCALE 1/8" = 1'-0"



**FIRE DEPARTMENT SIGNAGE**

OG TO PROVIDE ALUMINUM SIGNAGE FOR HOOD TRUSS FRAMING TO MEET FLORIDA STATUTE 639.322.

SIGN TO BE 96" X 24" WITH BRIGHT RED REFLECTIVE COLOR. PERMANENTLY ADHERE TO GENERATING SURFACE, 4'-0" MIN. A.F.S., AND 18" TO THE LEFT OF MAIN ENTRANCE. SEE LIFE SAFETY PLAN THIS SHEET FOR LOCATION.



**TOTAL PLUMBING FIXTURE COUNT**

OCCUPANCIES: S-2 (STORAGE)  
OCCUPANT STORAGE: 0  
FIXTURE COUNT PER FCG PLUMBING 2017 TABLE 4051

	TOTAL REQUIRED	TOTAL PROVIDED
WATER CLOSET	1 (8/00)	1
URINAL	-	-
LAVATORY	1 (8/00)	1
0 FOUNTAIN	0 (FCG 410.2)	0 (WATER COOLER TO BE PROVIDED)
5 SINK	1	1

**BUILDING CODE INFORMATION**

FLORIDA BUILDING CODE FIFTH EDITION (2011), FLORIDA FIRE PREVENTION CODE, SIXTH EDITION: NFPA 1 & 101	
CONSTRUCTION TYPE:	V (2)
INTERIOR FINISHES:	REQUIREMENTS PER NFPA 2013 (CLASSES A, B, AND C PERMITTED)
OCCUPANCY:	STORAGE (S-2)
BUILDING HEIGHT:	127'-0" (2 STORY)
ALLOWABLE BUILDING HEIGHT:	60'-0" (2 STORY)
GROSS BUILDING AREA:	2,491 SF
ALLOWABLE BUILDING AREA:	26,000 SQF
OCCUPANT LOAD:	0

**ROOM INFORMATION**

ROOM NAME	OCC. TYPE	AREA SQF	AREA PER OCCUPANT SQF	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
STORAGE I	S	2071	300	1	0
RESTROOM	-	65	-	-	
JANITORS CLOSET	-	42	-	-	
MAIN STORAGE	S	1444	300	1	

**EGRESS CALCULATIONS**

LIFE SAFETY CODE, 6TH ED. (2016) NFPA 101 CHAPTERS 7 & 4.2	FLORIDA BUILDING CODE 6TH ED. (2017) CHAPTER 10 SECTIONS 1005, 1015 & 1016
CORRIDORS/RAMP/DOORS AT 0.2" PER PERSON STAIRS AT 0.3" PER PERSON (TABLE 10.2.3)	CORRIDORS/RAMP/DOORS AT 0.2" PER PERSON STAIRS AT 0.3" PER PERSON (1009.3) & 1009.5(2)
MIN. CORRIDOR WIDTH: 36" (13.4.2)	MIN. CORRIDOR WIDTH: 36" (TABLE 10.2.3)
NUMBER OF EXITS: 1 (7.4.1) & 4 (2.2.4.1)	NUMBER OF EXITS: 2 (TABLE 10.2.3)
EXIT ARRANGEMENT: AS INDICATED IN PLAN	EXIT ARRANGEMENT: AS INDICATED IN PLAN

**TRAVEL DISTANCE TABLE**

S-2 OCCUPANCY WITH SPRINKLER SYSTEM	
FLORIDA FIRE PREVENTION CODE, 6TH ED.: NFPA 1 & 101	FLORIDA BUILDING CODE 6TH ED. (2017)
MAX. COMMON PATH OF TRAVEL: N/P (TABLE 4.2.2.3)	MAX. COMMON PATH OF TRAVEL: 30'
EXIT ACCESS TRAVEL DISTANCE: N/P (TABLE 4.2.2.3)	EXIT ACCESS TRAVEL DISTANCE: 400' (PER TABLE 101.2)

**FIRE EXTINGUISHER**

TYPE REQUIRED PER NFPA 10 2013 TABLE 6.2.1.1, 2-A	QUANTITY REQUIRED	PROVIDED
PLAN SYMBOL: FIRE EXTINGUISHER IN CABINET	1 PER 3,000 SQ-F (TRAVEL DISTANCE 75')	2 MULTIPURPOSE DRY CHEMICAL FOR CLASSES A, B, & C FIRES, UL RATING 2A:10B:C

**LIFE SAFETY PLAN SYMBOL LEGEND**

	EXIT ACCESS TRAVEL DISTANCE
	HALL MOUNTED EXIT LIGHT
	CEILING MOUNTED EXIT LIGHT
	FIRE EXTINGUISHER IN CABINET

**DJA DAILEY JANSEN ARCHITECTS**  
400 CLIMAXIS STREET, SUITE 200  
WEST PALM BEACH, FLORIDA, 33401  
TEL: 561.833.9707  
LICENSE HA-0001874  
LICENSE FC-0001874

**INN ADVENTURES**  
LIFE SAFETY PLAN  
1001 ORANGE  
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DATE: 2.16.2018  
DRAWN: CES PRO-RP  
CHECKED:

JOB NO:  
16-107



DRAWING NO:  
LS-101

**KEY NOTES**

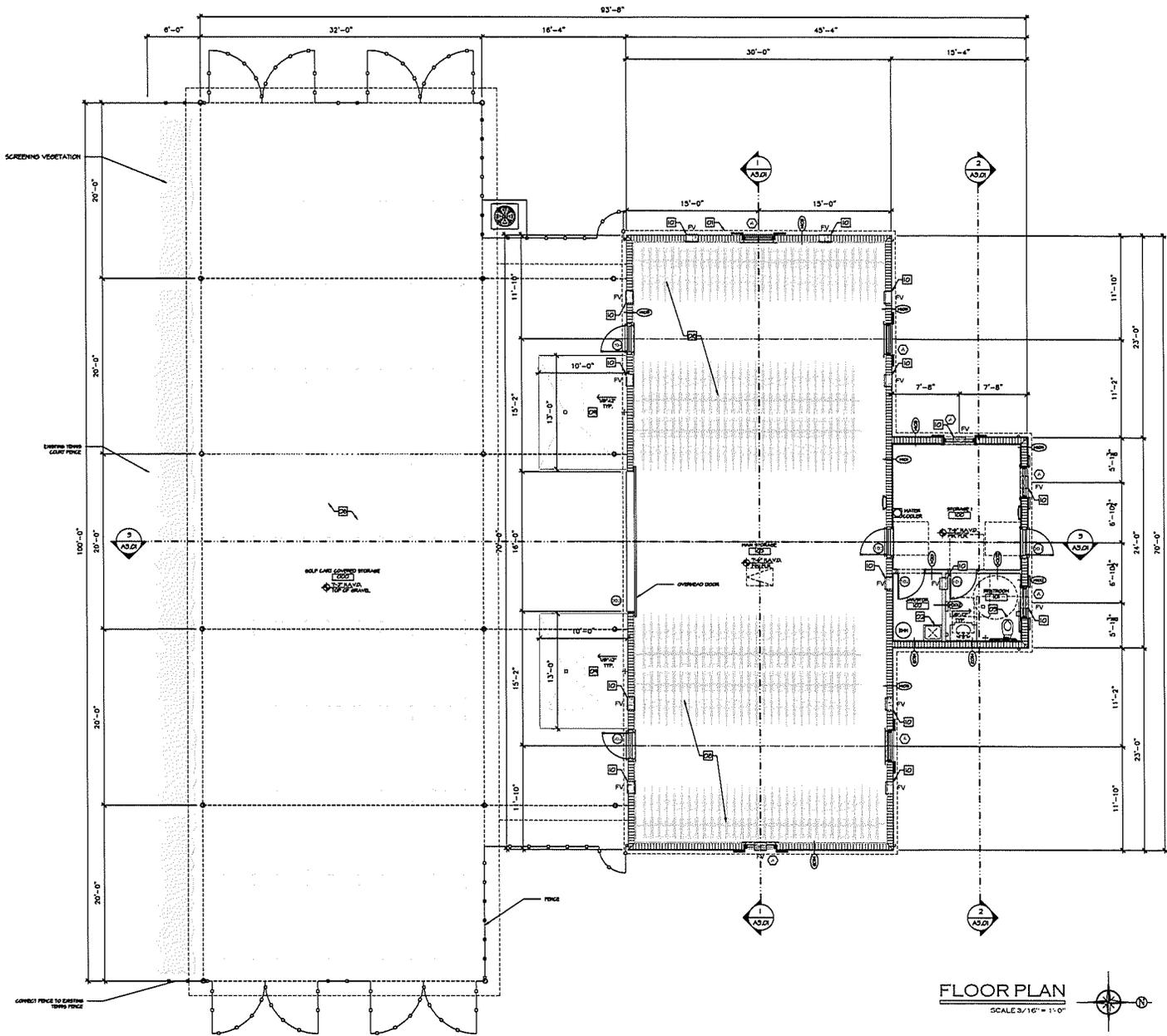
-  ROOF OVERHANG, SEE ROOF PLAN SHEET ALSO
-  SERVICE SINK, SEE PLUMBING DRAWINGS
-  WATER CLOSET SELECTED BY OWNER
-  ELECTRIC WATER HEATER, SEE ELECTRICAL AND PLUMBING DRAWINGS
-  ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS
-  GOLF CART STORAGE AREA
-  FIRE EXTINGUISHER CABINETS
-  BIKES AND BIKE RACKS PROVIDED BY OWNER
-  SELF CARE WASHING STATION
-  FLOOD VENT

**FLOOR PLAN LEGEND**

-  8" REINFORCED CONCRETE MASONRY UNIT WALL W/ EXTERIOR STUCCO FINISH
-  INTERIOR METAL STUD PARTITION
-  STEEL COLUMN W/ VINYL WRAP, SEE STRUCTURAL DRAWINGS
-  DOOR TAG, SEE SHEET A6.01
-  WINDOW TAG, SEE SHEET A6.01
-  HALL DETAIL TAG, SEE A3.02

**FLOOD PROOFING NOTES**

1. BUILDING SHALL BE NET FLOOD PROOFED USING FLOOD VENTS BY SMART VENT OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
2. ALL INTERIOR FINISH MATERIALS SHALL BE IMPERMEABLE WATERPROOF MATERIALS, STUCCO/EIFS.



**FLOOR PLAN**  
SCALE 3/16" = 1'-0"

**DJA DAILEY JANSSEN ARCHITECTS**  
400 CLAWWITS STREET, SUITE 200  
WEST PALM BEACH, FLORIDA, 33401  
LICENSE RA0000197A  
TEL: 561.933.9707

**GASPARRA INN BEACH COTTAGES AND AMENITIES**  
**INN ADVENTURES**  
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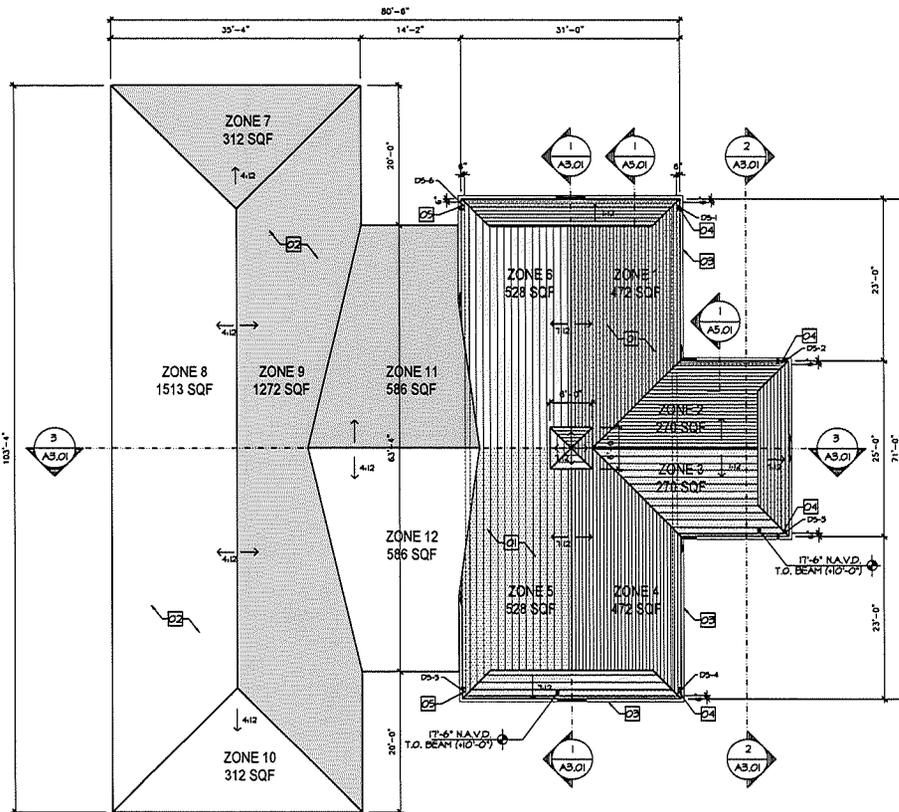
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16-107



DRAWING NO:

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**ROOF PLAN**  
 SCALE 1/8" = 1'-0"

**ROOF DRAINAGE CALCULATIONS**  
 FLORIDA BUILDING CODE PLUMBING 5TH EDITION (2017) TABLES 1106.2(2) & 1106.6

ZONE	ROOF AREA (SQF)	GUTTER SLOPE	*GUTTER SIZE (CIRCULAR)	*GUTTER CAPACITY (GPM)	*DOWNSPOUT SIZE (SQF)	*DOWNSPOUT CAPACITY (GPM)
1	412	1/8" / 1'-0"	5" ø	104	5" ø (DS-1)	1760
2	210	1/8" / 1'-0"	5" ø	104	5" ø (DS-2)	1760
3	210	1/8" / 1'-0"	5" ø	104	5" ø (DS-3)	1760
4	412	1/8" / 1'-0"	5" ø	104	5" ø (DS-4)	1760
5	528	1/8" / 1'-0"	5" ø	104	5" ø (DS-5)	1760
6	528	1/8" / 1'-0"	5" ø	104	5" ø (DS-6)	1760
7	312	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				
8	1513	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				
9	1272	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				
10	312	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				
11	586	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				
12	586	AREA OF ROOF TO DRAIN ONTO LAWN BELOW AND AWAY FROM BUILDING. SEE CIVIL DRAWINGS.				

\*GUTTER AND DOWNSPOUT CAPACITY CALCULATED AT 3" PER HOUR RAINFALL RATE WITH THE SPECIFIED SLOPE  
 TOTAL ROOF AREA HORIZONTALLY PROJECTED: 1121 SQF

- KEY NOTES**
- 01 NATURAL HOOD CEDAR SHAKE ROOF
  - 02 CANVAS CANOPY ON ALUMINUM STRUCTURE
  - 03 SEMI-CIRCULAR COPPER GUTTER, SLOPE TO DOWNSPOUT AS INDICATED IN PLAN
  - 04 CIRCULAR DOWNSPOUT CONNECTED TO STORM DRAIN SYSTEM. SEE CIVIL DRAWINGS.
  - 05 CIRCULAR DOWNSPOUT. PROVIDE SPLASH BLOCK.

**ROOFING SPECIFICATIONS**

NATURAL CEDAR SHAKE ROOF.

CEDAR SHAKE ROOF IN DOUBLE STARTER COURSE OF ELEVATED BATTEN SYSTEM (SEE WALKING STRIPS RAISED 1/4" W/ POLYURETHANE OR NEOPRENE PADS) OF HOT HOPPED MODIFIED BITUMEN (30# FELT TIGHT-AGED) OF FLEX-ADG WATERPROOFING MEMBRANE @ 1/4" APA RATED G-1 EXPOSURE 1 FLYWOOD SHEATHING OF PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.

- ROOFING NOTES**
1. SLOPE ROOFING AS SHOWN IN PLAN
  2. PROVIDE WEATHER TIGHT CONDITIONS AT ALL THRESHOLDS DURING CONSTRUCTION
  3. DO NOT APPLY ROOFING MATERIAL DURING INCLEMENT WEATHER
  4. SUBMIT PRODUCT APPROVAL (IND) INFO AND ENGINEERED SHOP DRAWINGS

**LIGHTNING PROTECTION NOTE**

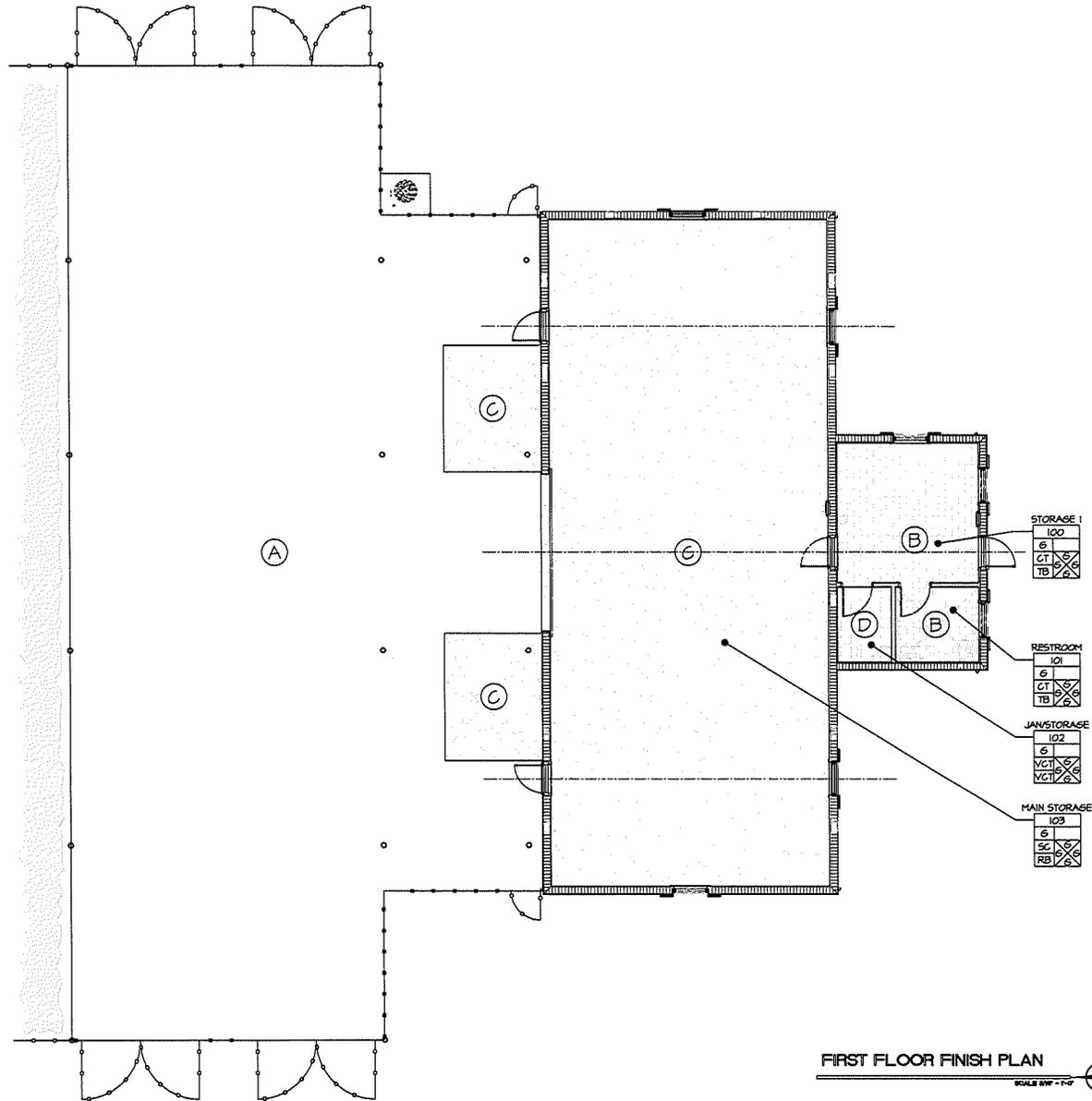
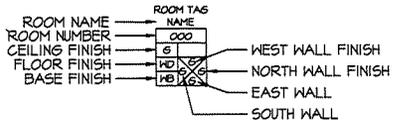
GO TO PROVIDE COMPLETE LIGHTNING PROTECTION SYSTEM. THE LIGHTNING PROTECTION SYSTEM SHALL BE INSTALLED BY A FIRM PRESENTLY ENGAGED IN INSTALLATIONS OF UL OR LPF CERTIFIED LIGHTNING PROTECTION SYSTEMS. THE SYSTEM AS COMPLETED SHALL COMPLY WITH THE LATEST EDITION OF UL-941A INSTALLATION REQUIREMENTS FOR LIGHTNING PROTECTION SYSTEMS AND NFPA-780 STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS. THE SYSTEM SHALL MEET ALL REQUIREMENTS OF THESE STANDARDS AND THE LIGHTNING PROTECTION INSTITUTE STANDARD OR PRACTICE LP-110. ALL COMPONENTS REQUIRED FOR A UL OR LPF CERTIFICATION SHALL BE PROVIDED WHETHER OR NOT SUCH MATERIALS ARE SPECIFICALLY ADDRESSED BY THE CONTACT DRAWINGS OR DESCRIBED HEREIN.

FLOOR PLAN LEGEND	
	6" REINFORCED CONCRETE MASONRY UNIT WALL, W/ EXTERIOR FIBER CEMENT SIDING
	INTERIOR METAL STUD PARTITION
	STEEL COLUMN W/ VINYL WRAP, SEE STRUCTURAL DRAWINGS

FLOOR FINISH AREAS		
TAG	FLOOR MATERIAL	AREA
A	GRINDED SHELL	40M <sup>2</sup> SF
B	CERAMIC TILE	274 SF
C	SEALED CONCRETE	226 SF
D	VINYL COMPOSITION TILE	42 SF

FINISH ABBREVIATIONS	
GPT	CARPET TILE
CT	12 X 24 CERAMIC TILE
G	GYPSUM BOARD PAINTED
RB	RUBBER BASE
VCT	VINYL COMPOSITION TILE
SC	SEALED CONCRETE
TG	5/4" X 7 1/4" POPLAR T&G BOARDS WITH GROOVE JOINT REVEAL
TB	6" CERAMIC TILE BASE
HB	HOOD BASE PAINTED
HF	HOOD FLOOR
HD	HOOD DRICKING
*	INDICATES VARYING CEILING MATERIAL AND HEIGHT, SEE RCP SHEET A102

FINISH NOTES:  
 - PROVIDE EPOXY PAINT IN JANITORS CLOSETS, RESTROOMS, AND LOCKER ROOMS (HALLS AND CEILING).  
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN JANITOR CLOSETS, RESTROOMS, AND LOCKER ROOMS (HALLS AND CEILING).



FIRST FLOOR FINISH PLAN  
 SCALE SW - 7/8" = 1'-0"

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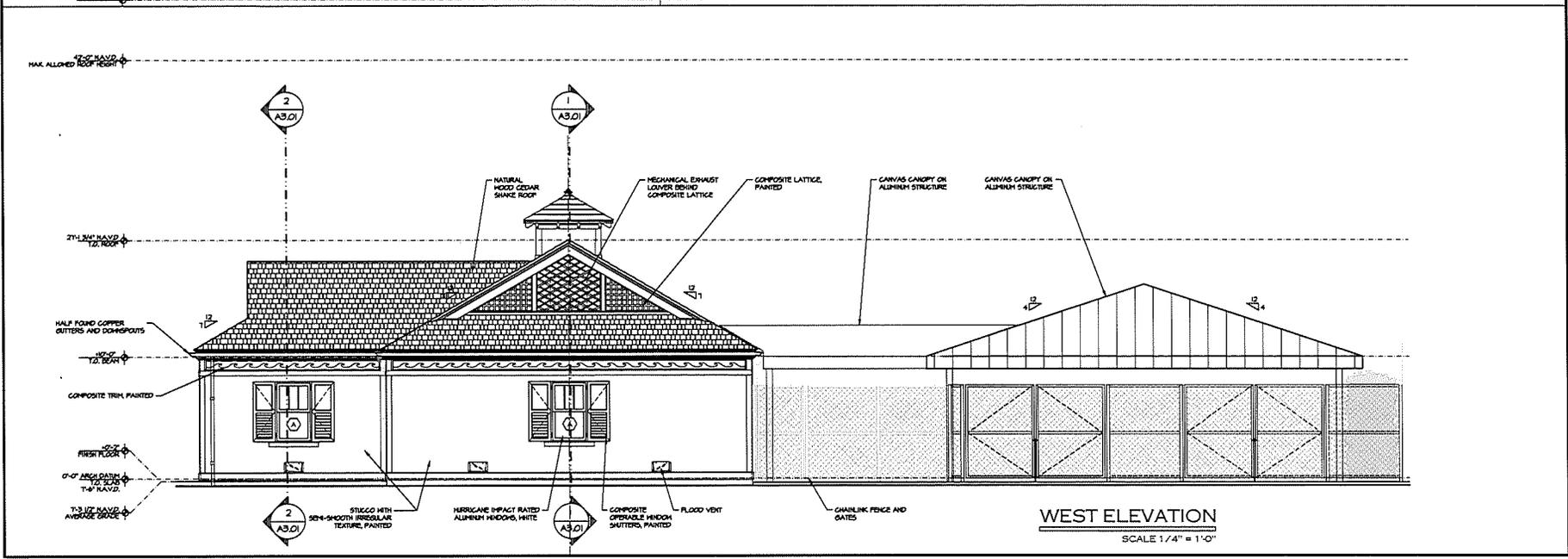
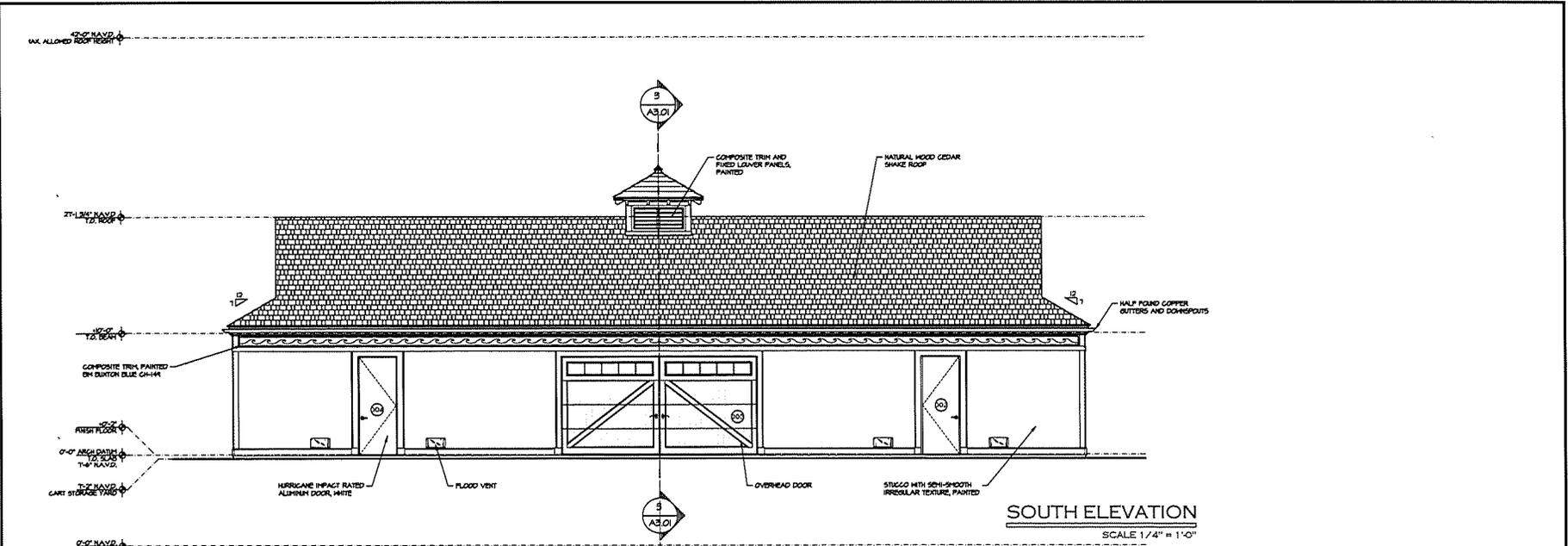
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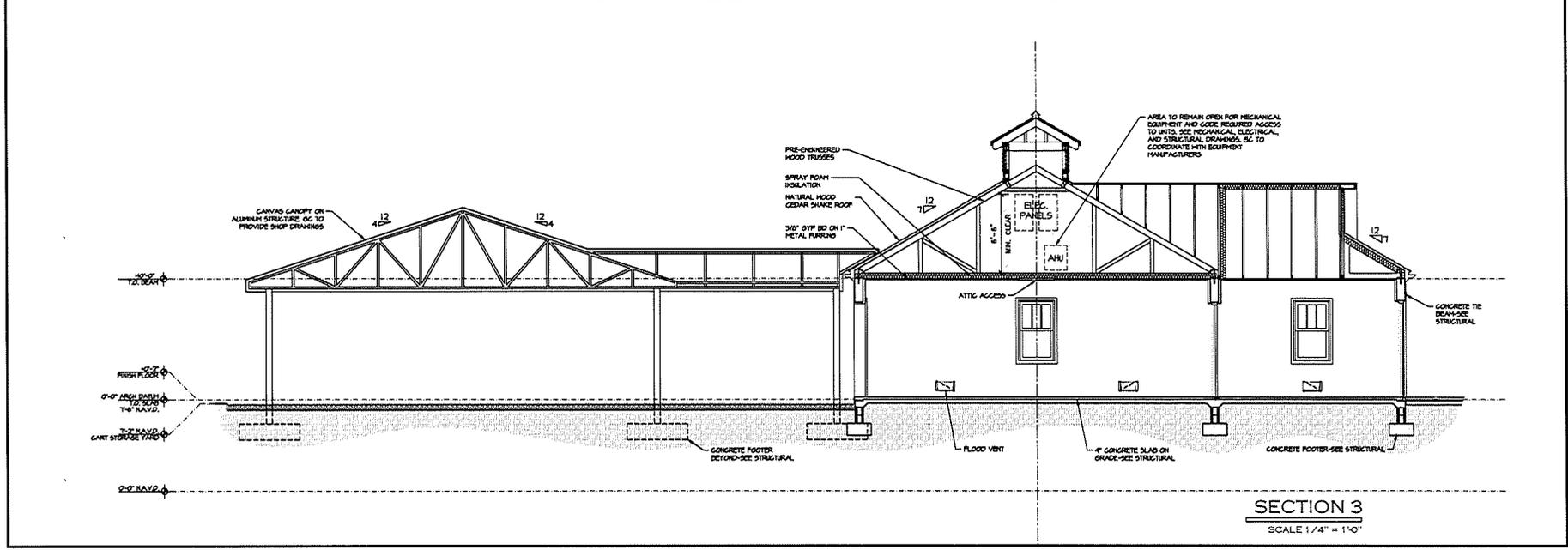
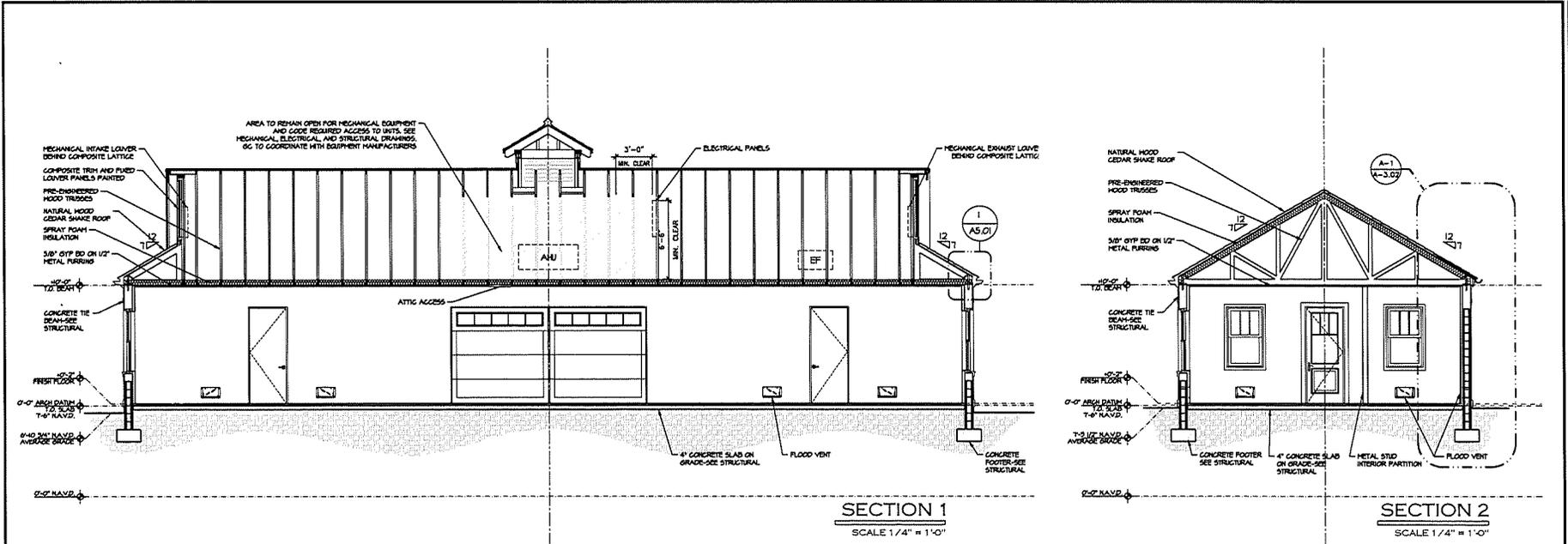
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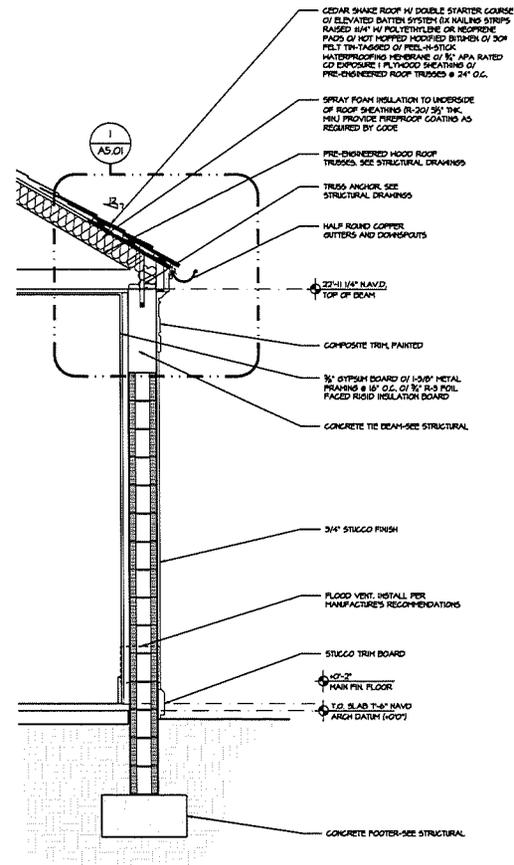
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**1** WALL SECTION 1  
 SCALE: 3/4" = 1'-0"

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 BOCA RATON  
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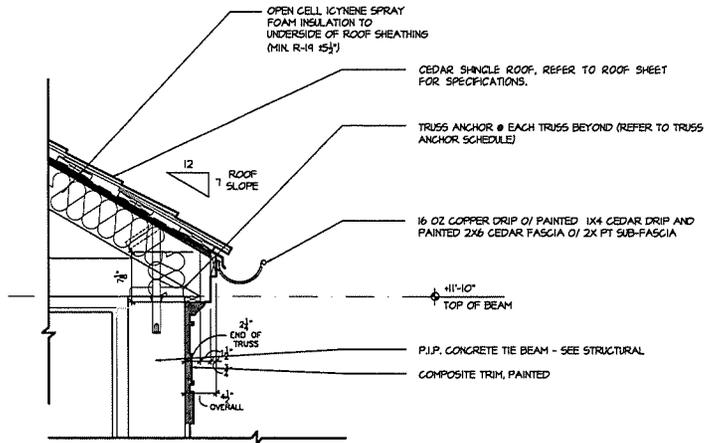
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1 TYPICAL EAVE DETAIL  
SCALE: 1 1/2" = 1'-0"

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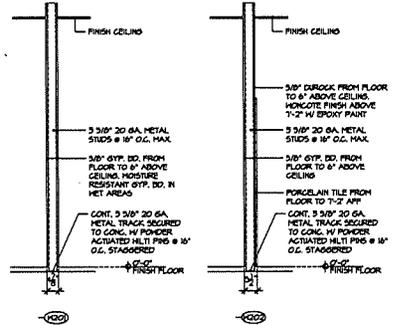
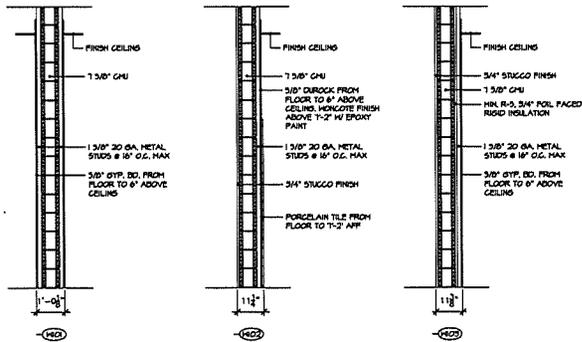
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**WALL TYPES**  
SCALE 1/2" = 1'-0"

**GENERAL WALL NOTES**

1. PROVIDE HORIZONTAL STUDS (PURE STOPS) AT ALL CEILING LEVELS, BOTH SIDES OF WALL/PARTITION NOT TO EXCEED 24" HORIZONTALLY.
2. ALL EXTERIOR WALLS TO HAVE 5/4" POLY-FACED RIGID INSULATION CONTINUOUS TO UNDERSIDE OF FLOOR SLAB / ROOF TRUSS ABOVE.
3. PROVIDE CROSS BRACING AT ALL INTERIOR NON-BEARING PARTITIONS, SECURE TO UNDERSIDE OF SLAB / TRUSS ABOVE.
4. 5/8" DSG DUROCK OR FIBERROCK AQUA TOUGH GYPSUM BOARD SHALL BE USED FOR ALL MET WALLS AND CEILING.
5. SEE FLOOR PLAN SHEETS FOR LOCATION OF WALL TAGS.
6. WALL TYPE INDICATIONS MUST BE COORDINATED WITH FINISH SCHEDULE.
7. ALL EXTERIOR PLASTER (STUCCO) TO BE 5/8" PORTLAND CEMENT PLASTER. ALL EXTERIOR STUCCO TO RECEIVE WATER REPELLENT SEALER PRIOR TO PAINT APPLICATION.
8. METAL STUD PARTITIONS: PROVIDE CROSS BRACINGS AT 4' O.C. TO RESIST A LATERAL LOAD OF 3 PSF.
9. ALL PARTITIONS TO RESIST A 3 PSF LIVE LOAD WITH A DEFLECTION NOT TO EXCEED L/80.

**INTERIOR FINISH NOTE**

ALL NEW INTERIOR FINISHES SHALL COMPLY WITH SECTION 901 OF THE FLORIDA BUILDING CODE SIXTH EDITION (2017) WITH LATEST REVISIONS.

**HALL BACKING NOTES**

- PLUMBING CHASE NOTES**
1. STEEL STUDS SUPPORTING HALL HANG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GA WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.284 I<sub>x4</sub>.
  2. SUCH STUD SHALL BE RIGIDLY CONNECTED TOP AND BOTTOM TO PREVENT SIGNIFICANT END ROTATION OR DISPLACEMENT.
  3. A HORIZONTAL MEMBER SECURELY FASTENED TO NOT LESS THAN TWO STUDS SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH HALL HANG PLUMBING FIXTURE.

- HALL NOTES**
1. FOR MOUNTING BASE AND HALL CABINETS PROVIDE 1/2" OR 3/8" PT HOOD BACKING IN ALL STUD WALLS AND FINISH SPACE OF ALL CHASE WALLS. TOP OF HOOD BACKING SHALL BE AT 34" AND 84" AFF. - MATCH CASWORK ELEVATIONS.
  2. BACKING FOR GRAB BARS & SHOWER SEATS SHALL RESIST THE MINIMUM FORCES SPECIFIED ON FIG. SIXTH EDITION 2017 ACCESSIBILITY. SECTIONS BOLD & BOLD STRUCTURAL STRENGTH. BACKING SHALL BE 2x6 PT HX BETWEEN METAL STUDS.

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LICENSE #AA6001874  
400 CLEVELAND STREET, SUITE 200  
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**GASPARRA IN BEACH COTTAGES AND AMENITIES INN ADVENTURES**  
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ROBERT E. JANSSEN  
ARCHITECT

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A-5.02

DOOR SCHEDULE													
MARK	DOOR										GLASS	REMARKS	
	TYPE	MANUFACTURER	HINGE	SIZE			MATERIAL	ELEV.	FINISH				HARDWARE
				WIDTH	HEIGHT	THICK.			EXTERIOR	INTERIOR			
001	GLAZED	-	SWING	3'-0"	8'-0"	1-3/4"	ALUMINUM/GLASS	-	-	-	-	IMPACT RESISTANT	-
002	GLAZED	-	SWING	3'-0"	8'-0"	1-3/4"	ALUMINUM/GLASS	-	-	-	-	IMPACT RESISTANT	-
003	GARAGE DOOR	-	OVER HEAD	16'-0"	8'-0"	-	-	-	-	-	-	IMPACT RESISTANT	-
004	GLAZED	-	SWING	3'-0"	8'-0"	1-3/4"	ALUMINUM/GLASS	-	-	-	-	IMPACT RESISTANT	-
INTERIOR													
101	SINGLE	-	SWING	3'-0"	7'-0"	1-3/4"	SG WOOD	-	-	-	-	-	-
103	SINGLE	-	SWING	3'-0"	7'-0"	1-3/4"	SG WOOD	-	-	-	-	-	-
104	SINGLE	-	SWING	3'-0"	7'-0"	1-3/4"	SG WOOD	-	-	-	-	-	-

WINDOW SCHEDULE												
MARK	DOOR							GLASS	REMARKS	ELEVATION		
	TYPE	MANUFACTURER	QTY	FRAME SIZE		MATERIAL	FINISH					
				WIDTH	HEIGHT		EXTERIOR				INTERIOR	
A	SINGLE HUNG	-	7	3'-0"	5'-0"	ALUMINUM	-	-	IMPACT RESISTANT	PROVIDE PRIVACY GLASS IN RESTROOM WINDOW	-	

- DOOR SCHEDULE NOTES**
- SUBMIT MANUFACTURER PRODUCT APPROVAL INFORMATION & SHOP DRAWINGS FOR ALL EXTERIOR DOORS.
  - ALL HARDWARE AND DOORS TO COMPLY WITH NFPA 101 AND FLORIDA ACCESSIBILITY CODE 2001 EDITION.
  - COORDINATE COLORS AND FINISHES WITH OWNER.
  - ALL EXTERIOR DOORS TO RECEIVE WEATHER STRIPPING.
  - COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE HINGE AND DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  - COORDINATE HINGE/ROUGH OPENINGS WITH HINGE/DOOR SUPPLIER.
  - ALL EXTERIOR DOOR BUGS TO BE 1/4" MIN. P.T. HOOD HRL.
  - FASTEN DOOR FRAMES TO SILL FOR MANUFACTURER'S TESTED SPECIFICATIONS, FASTEN @ 12" O.C. AND @ 4" FROM EDGES IN HRL BY EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & HINGE DETAILS FOR TYPE OF FASTENERS.
  - ALL INTERIOR DOORS TO HAVE 1/2" HRL THICKNESS AND TO BE STAINED UNLESS OTHERWISE NOTED.
  - COORDINATE INTERIOR THRESHOLDS WITH CHANGE OF FLOOR LEVEL AND MATERIALS.
  - ALL EXTERIOR DOORS AND FRAMES TO BE IMPACT RATED WITH CURRENT PRODUCT APPROVAL, PROVIDE SHOP DRAWINGS AND FULL SCALE SAMPLES FOR ARCHITECT AND OWNER APPROVAL PRIOR TO FABRICATION.
  - PROVIDE DRIPCHANNEL PER MANUFACTURER'S SPECIFICATIONS.
  - HANGING TO SILLULATE TRIM DIVIDED LITES, REFER TO EXTERIOR ELEVATIONS FOR HANGING LAYOUT AND HEIGHT OF DOOR ASSEMBLIES.
  - COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  - O.C. TO COORDINATE HINGE/ROUGH OPENINGS WITH HINGE/DOOR SUPPLIER.
  - ALL EXTERIOR DOOR AND HINGE BUGS TO BE 3/4" P.T. HOOD HRL. FASTEN DOOR & HINGE FRAMES TO SILL FOR MANUFACTURER'S TESTED SPECIFICATIONS, FASTEN @ 12" O.C. AND @ 4" FROM EDGES IN HRL BY EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & HINGE DETAILS FOR TYPE OF FASTENERS. REFER ALSO TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DETAILS.

- WINDOW SCHEDULE NOTES**
- ALL EXTERIOR GLAZING IN WINDOWS SHALL BE TYPED AND HAVE MANUFACTURER PRODUCT APPROVAL FOR HINGE/DOOR (PER NFPA 101) AND HINGE/DOOR FRAME IMPACT TESTS, PER 2001 EDITION. EXTERIOR GLAZING SHALL COMPLY WITH 216.2.1, 216.2.2 AND 216.2.3.2.
  - COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE HINGE AND DOOR MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  - O.C. TO COORDINATE HINGE/ROUGH OPENINGS WITH HINGE/DOOR SUPPLIER.
  - ALL HINGE BUGS TO BE 1/4" MIN. P.T. HOOD HRL.
  - FASTEN HINGE FRAMES TO SILL FOR MANUFACTURER'S TESTED SPECIFICATIONS, FASTEN @ 12" O.C. AND @ 4" FROM EDGES IN HRL BY EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & HINGE DETAILS FOR TYPE OF FASTENERS.
  - GENERAL CONTRACTOR AND HINGE SUPPLIER TO VERIFY ALL QUANTITIES AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
  - PROVIDE DRIPCHANNEL PER MANUFACTURER'S SPECIFICATIONS.
  - COORDINATE THE ABOVE DIMENSIONS WITH THE STANDARDS SET BY THE HINGE MANUFACTURER, NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
  - ALL EXTERIOR DOOR AND HINGE BUGS TO BE 3/4" P.T. HOOD HRL. FASTEN DOOR & HINGE FRAMES TO SILL FOR MANUFACTURER'S TESTED SPECIFICATIONS, FASTEN @ 12" O.C. AND @ 4" FROM EDGES IN HRL BY EMBEDMENT INTO SOLID CONCRETE. REFER TO DOOR & HINGE DETAILS FOR TYPE OF FASTENERS.
  - HINGE TRIMMING HINGES ARE LOCATED ABOVE DOORS / HINGES, THROUGH SASH WITHIN SMALL MATCH HEIGHT OF SASH BELOW. REFER ALSO TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DETAILS.

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**GASPARELLI INN BEACH Cottages and Amenities**  
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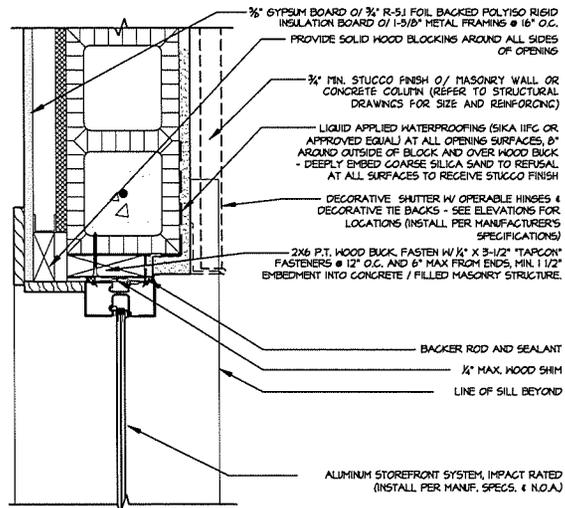
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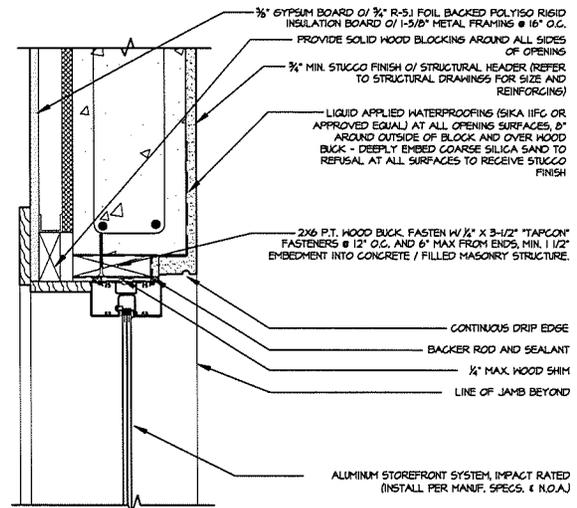


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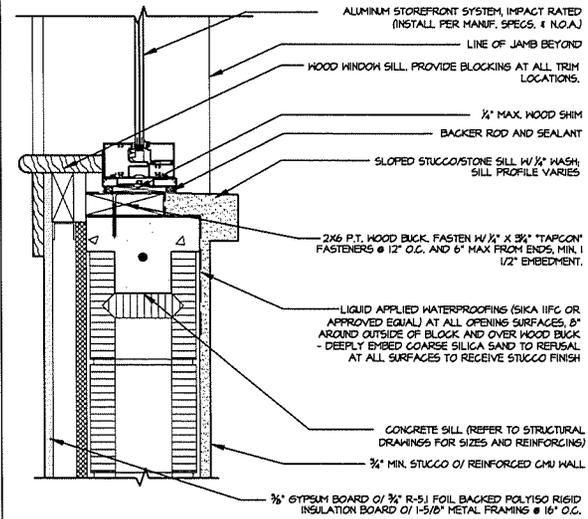
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**3 STOREFRONT WINDOW JAMB DETAIL**  
SCALE: 3" = 1'-0"



**1 STOREFRONT WINDOW HEAD DETAIL**  
SCALE: 3" = 1'-0"



**2 STOREFRONT WINDOW SILL DETAIL**  
SCALE: 3" = 1'-0"

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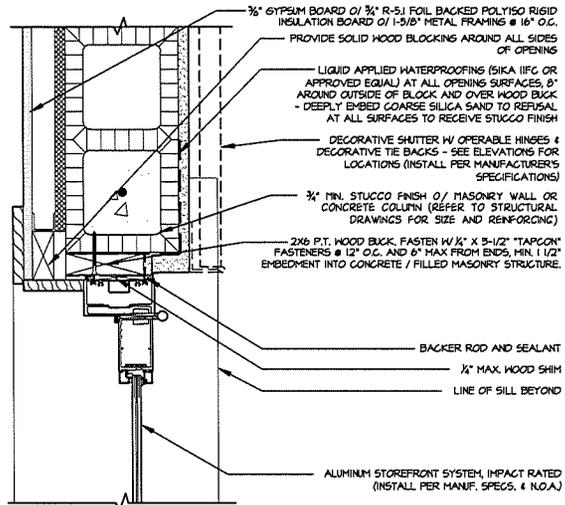
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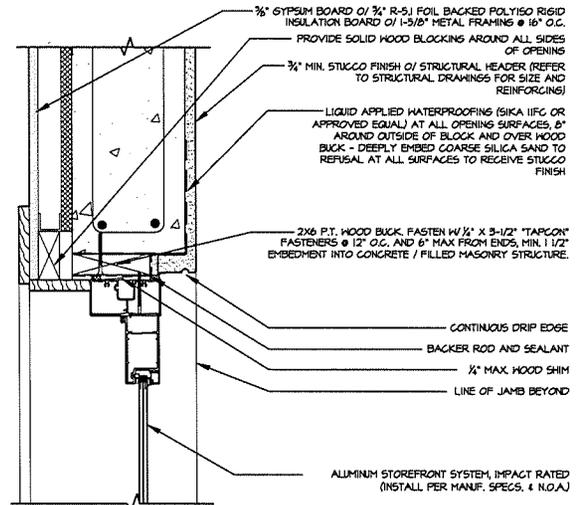
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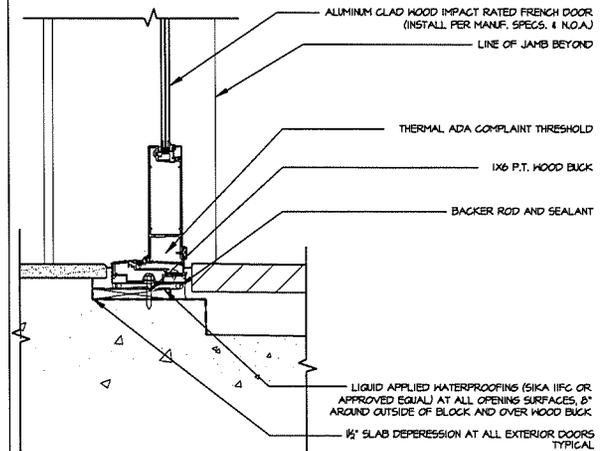
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**3 STOREFRONT DOOR JAMB DETAIL**  
SCALE: 3" = 1'-0"



**1 STOREFRONT DOOR HEAD DETAIL**  
SCALE: 3" = 1'-0"



**2 STOREFRONT DOOR SILL DETAIL**  
SCALE: 3" = 1'-0"

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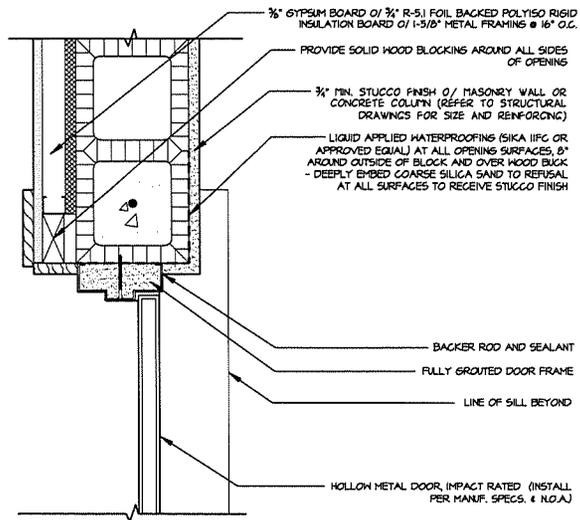
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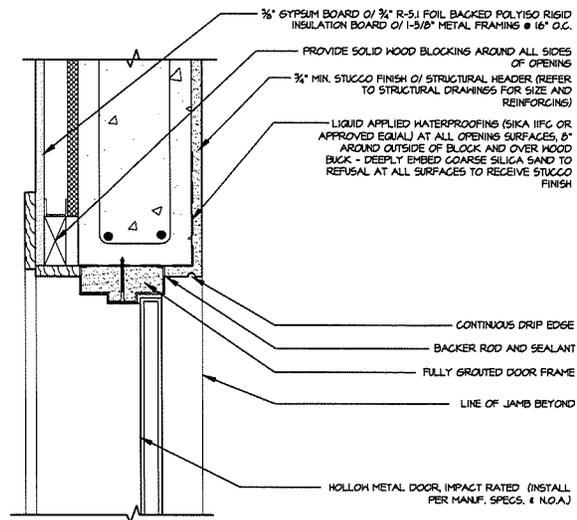


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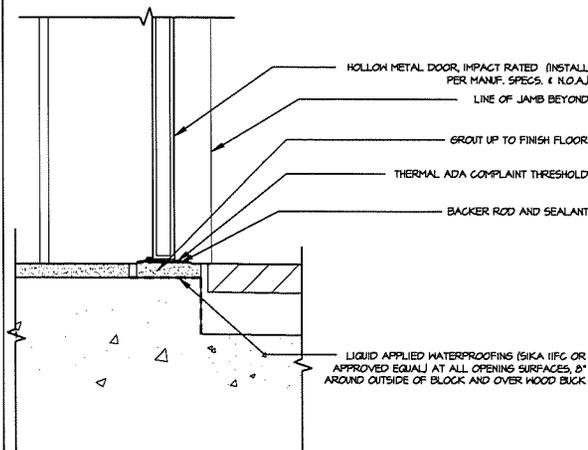
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A-6.03



**3** HOLLOW METAL DOOR JAMB DETAIL  
SCALE: 3" = 1'-0"



**1** HOLLOW METAL DOOR HEAD DETAIL  
SCALE: 3" = 1'-0"



**2** HOLLOW METAL DOOR SILL DETAIL  
SCALE: 3" = 1'-0"

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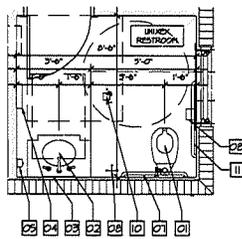
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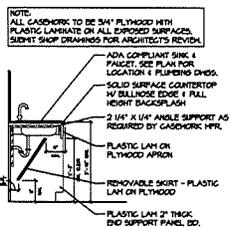
**ENLARGED BATHROOM PLANS**

SCALE 3/8" = 1'-0"



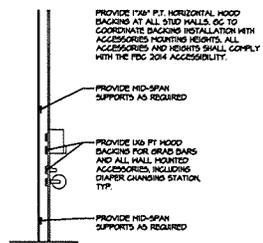
FIXTURES & ACCESSORIES LEGEND			
NO.	DESCRIPTION	MANUFACTURER / MODEL	REMARKS
01	ADA FLOOR MOUNTED WATER CLOSET	SEE PLUMBING DRAWINGS	-
02	COUNTER MOUNTED LAVATORY	SEE PLUMBING DRAWINGS	SEE DETAIL VA-02
03	MIRROR W/ STAINLESS STEEL HELDED FRAME 12" X 30"	-	-
04	SURFACE MOUNTED ADA HAND DRYER	-	-
05	SURFACE MOUNTED SOAP DISPENSER	-	(1) PER SINK
06	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	-	-
07	CONCEALED MOUNTING W/ SHAP FLANGE GRAB BAR	-	-
08	CONCEALED MOUNTING W/ SHAP FLANGE GRAB BAR	-	-
09	HALL HYDRANT W/ LOCKABLE DOOR (RECESSED)	SEE PLUMBING DRAWINGS	-
10	FLOOR DRAIN	SEE PLUMBING DRAWINGS	-

NOTES:  
 1. PROVIDE SPECIFIED PRODUCTS OR APPROVED EQUALS.  
 2. SEE DETAIL SPA-01 FOR MOUNTING HEIGHTS.  
 3. HALL TILE FROM FLOOR TO 7'-0" UNLESS INDICATED OTHERWISE. TILE TO BE SELECTED BY OWNER.  
 4. PROVIDE EPOXY PAINT ABOVE TILE LINE & CEILING. COLOR TO BE SELECTED BY OWNER.  
 5. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION ON PLUMBING FIXTURES.



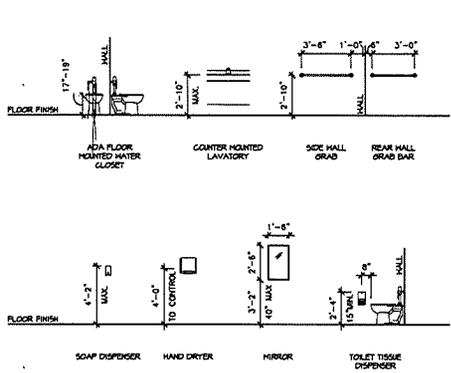
**TYPICAL COUNTER MOUNTED ADA SINK DETAIL**

SCALE 1" = 1'-0"



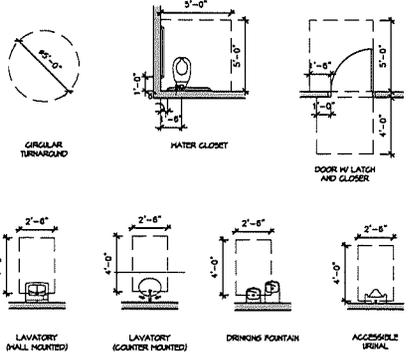
**ACCESSORIES MOUNTING DETAIL**

SCALE 1/2" = 1'-0"



**PLUMBING FIXTURES & ACCESSORIES MOUNTING HEIGHTS**

SCALE 1/4" = 1'-0"



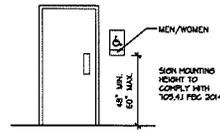
**ACCESSIBILITY MIN. CLEARANCE LEGEND**

SCALE 1/4" = 1'-0"



**INTERIOR ACCESSIBILITY SIGN**  
 INSTALL AT EACH ACCESSIBLE STALL

ALL SIGNAGE TO COMPLY WITH 2021 IBCS 508.6 AND 508.6.2



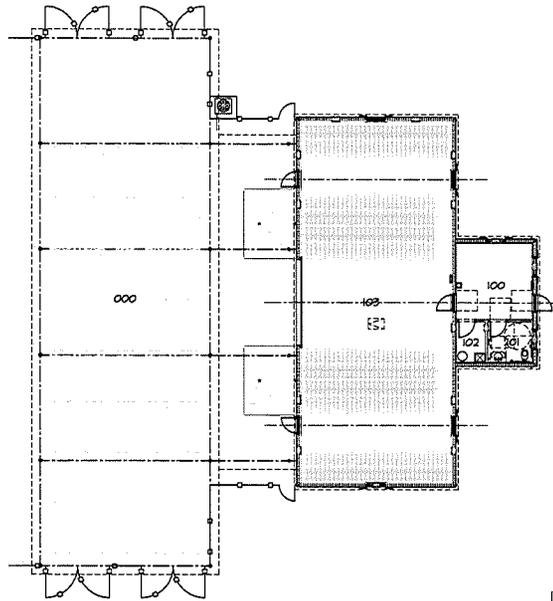
**EXTERIOR SIGN LOCATION DETAIL**

INTERIOR AND EXTERIOR - BLUE PLASTIC  
 ALL SIGNAGE TO BE INSTALLED WITH TAMPER RESISTANT FASTENERS AND TO MEET ADA REQUIREMENT FOR SIZE OF CHARACTERS, CONTRAST, GRADE 2 BRAILLE, AND MOUNTING LOCATION.

PERMANENT IDENTIFICATION REQUIRED AT ALL ACCESSIBLE ROOMS AND SPACES (RESTROOMS, SHOWERS, ETC.). SIGNAGE TO BE LOCATED ON THE WALL ADJACENT TO THE LATCH SIDE OFF THE DOORWAY - OR NEAREST ADJACENT WALL.

**ACCESSIBILITY SIGN DETAIL**

NTS



INTERIOR FINISH SCHEDULE									
ROOM #	ROOM NAME	ROOM AREA (SF)	DIMENSIONS	FLOOR	WALLS	BASE	CEILING	CROWN	REMARKS
000	GOLF CART COVERED STORAGE	4175	49'-0" X 100'	CRUSHED SHELLS	-	-	-	-	-
100	OFFICE	201	14'-0" X 14'-4"	CERAMIC TILE	PAINTED GYPSUM BOARD	PAINTED HOOD	PAINTED GYPSUM BOARD	PAINTED HOOD	-
101	RESTROOM	60	24'-0" X 7'-0"	CERAMIC TILE	CERAMIC TILE	TILE BASE	PAINTED GYPSUM BOARD	PAINTED HOOD	-
102	JANITORS CLOSET	43	9'-4" X 7'-0"	VINYL COMPOSITION TILE	PAINTED GYPSUM BOARD	-	PAINTED GYPSUM BOARD	-	-
103	HALL STORAGE	1844	28'-0" X 66'-0"	SEALED CONCRETE	PAINTED GYPSUM BOARD	-	PAINTED GYPSUM BOARD	-	-