

LEE COUNTY BOARD OF ADJUSTMENTS AND APPEALS Community Development/Public Works Center 1500 Monroe Street, Fort Myers First Floor Conference Room 1B

THURSDAY, APRIL 25, 2019 10:00 A.M.

AGENDA

CASE TO BE HEARD

Case #ADM2019-00002, 14630/14628 Abaco Lakes Drive (RES2018-00707)

- 1. Call to Order/Review of Affidavit of Publication
- 2. Roll Call
- 3. Swearing in of all testifying
- 4. Hearing
- 5. Call the Vote
- 6. Adjournment

In accordance with the Americans with Disabilities Act, Lee County will not discriminate against qualified individuals with disabilities in its services, programs, or activities. To request an auxiliary aid or service for effective communication or a reasonable modification to participate, contact Joan LaGuardia, (239) 533-2314, <u>ADArequests@leegov.com</u> or Florida Relay Service 711. Accommodation will be provided at no cost to the requestor. Requests should be made at least five business days in advance.

MEMORANDUM FROM THE DEPARTMENT OF COMMUNITY DEVELOPMENT DEVELOPMENT SERVICES DIVISION

DATE: April 9, 2019

Lee County Board of **To:** Adjustments and Appeals

FROM:

Shawn McNulty Lee County Building Official

RE: Case #ADM2019-00002 – Building Permit RES2018-00707 14630/14628 Abaco Lakes Drive

Pursuant to Lee County Land Development Code (LDC) §6-461, this is a request for the Lee County Board of Adjustment and Appeals (BOAA) to approve a variance from R322.2 of the Florida Building Code - Residential (FBC-R) to allow the finished floor of a two-family attached structure to be 4 inches below the required elevation of 8.0 feet NAVD.

Taylor Morrison of Florida, Inc. (Owner/Applicant), seeks to construct a two-family attached dwelling at 14630/14628 Abaco Lakes Drive, in Fort Myers, in Lee County, Florida (Lee County Property Appraiser STRAP No.: 29-45-24-L3-3500A.0060). Details of the building are contained in Lee County Building Permit Number RES2018-00707, the details of which are incorporated herein by reference.

This property is located in a special flood hazard area with an established elevation of AE-EL 7.0 NAVD and the proposed development on this property under Lee County Permit Number RES2018-00707 is subject to the current flood provisions of the Florida Building Code Residential 6th Edition (2017).

The section of the Florida Building Code – Residential at issue states:

R322.2 Flood hazard areas (including A Zones).

Areas that have been determined to be prone to flooding and that are not subject to high-velocity wave action shall be designated as flood hazard areas. Flood hazard areas that have been delineated as subject to wave heights between 11/2 feet (457 mm) and 3 feet (914 mm) or otherwise designated by the jurisdiction

shall be designated as Coastal A Zones and are subject to the requirements of Section R322.3. Buildings and structures constructed in whole or in part in flood hazard areas shall be designed and constructed in accordance with Sections R322.2.1 through R322.2.3.

R322.2.1 Elevation requirements.

Buildings and structures in flood hazard areas, including flood hazard areas designated as Coastal A Zones, shall have the lowest floors elevated to or above the base flood elevation plus 1 foot (305 mm), or the design flood elevation, whichever is higher.

The permit application for the proposed structure was reviewed, approved and issued pursuant to the most current flood provisions of the Florida Building Code Residential 6th Edition (2017). This code requires the minimum finished floor to be elevated to or above the base flood elevation of AE-EL 7.0 NAVD, plus 1 foot, or to 8.0 feet NAVD. Construction of the building commenced and when the required under construction elevation certificate was obtained the concrete finished floor was 7.7 feet NAVD, 4 inches below the minimum required elevation.

LDC §467 sets forth the requirements necessary for the BOAA to consider in reviewing a request for a variance. The BOAA will consider all technical evaluations, all relevant factors, all other applicable provisions of the Florida Building Code, Article IV of LDC Chapter 6 and the following:

- 1. The danger that materials and debris may be swept onto other lands resulting in further injury or damage;
- 2. The danger to life and property due to flooding or erosion damage;
- 3. The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners;
- 4. The importance of the services provided by the proposed development to the community;
- 5. The availability of alternate locations for the proposed development that are subject to lower risk of flooding or erosion;
- 6. The compatibility of the proposed development with existing and anticipated development;

- 7. The relationship of the proposed development to the comprehensive plan and floodplain management program for the area;
- 8. The safety of access to the property in times of flooding for ordinary and emergency vehicles;
- 9. The expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
- 10. The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges.

Pursuant to LDC §6-468 the BOAA may only issue a variance upon:

- 1. Submission by the applicant, of a showing of good and sufficient cause that the unique characteristics of the size, configuration, or topography of the site limit compliance with any provision of this article or the required elevation standards;
- 2. Determination by the Board of Adjustment and Appeals that:
 - a. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;
 - b. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and articles; and
 - c. The variance is the minimum necessary, considering the flood hazard, to afford relief.
- 3. If the request is for a variance to allow construction of the lowest floor of a new building, or substantial improvement of a building, below the required elevation, a copy in the record of a written notice from the Floodplain Administrator to the applicant for the variance, specifying the difference between the base flood elevation and the proposed elevation of the lowest floor, stating that the cost of federal flood insurance will be commensurate with the increased risk resulting from the reduced floor elevation (up to amounts as high as \$25.00 for \$100.00 of insurance coverage), and

stating that construction below the base flood elevation increases risks to life and property.

The two-family attached dwelling at 14630/14628 Abaco Lakes Drive, in Fort Myers is partially constructed. The as-built elevation of the finished floor of the partially constructed two-family attached dwelling is at 7.7 FT-NAVID, 0.7 feet above the minimum Base Flood Elevation of AE-EL 7.0 FT NAVD, but still short of meeting the January 1, 2018-implemented revision to the FBC that added the additional requirement of 1-foot of freeboard above the Base Flood Elevation.

Notwithstanding the Applicant's error in construction, leaving the structure without the required one foot of freeboard above the Base Flood Elevation, and even though the finished floor is above the AE-EL 7.0 FT NAVD Base Flood Elevation, FBC R322.2 of the Florida Building Code - Residential (FBC-R) is not met. There is no provision for administrative approval by the Lee County Building Official to override or otherwise approval this shortcoming. As a result, County Staff has no choice but to recommend the denial of the requested variance, leaving the Applicant/Owner to present this request to the BOAA.

cc. John J. Fredyma, Senior Assistant County Attorney

ADM2019-00002



BONITA SPRINGS Tampa Orlando

Sarasota

28100 Bonita Grande Dr., Suite 305, Bonita Springs, FL 34135 p. (239) 405-7777 f. (239) 405-7899

April 3, 2019

Ms. Jessica Sulzer Lee County Department of Community Development 1500 Monroe Street Fort Myers, FL 33901

RE52018-00707 Lucaya – Building 63 Subject: Lee County Board of Adjustments and Appeals Application

Dear Ms. Sulzer:

On behalf of Taylor Morrison of Florida, Inc., we are submitting the enclosed Board of Adjustments and Appeals Application for Building 63 at Lucaya. The purpose of this application is to request a variance pursuant to Section 6-468 of the Lee County Land Development Code to deviate from Section R322.2 of the Florida Building Code, which requires 1 foot of freeboard above an established Base Flood Elevation (BFE).

Project History

Lucaya was initially permitted and the infrastructure was developed in 2005/2006. The project has received several extensions and DO revisions with the most recent Amendment issued on 4/12/2017 (DOS2015-00064) and received County CC on 3/12/2018. DOS2015-00064 Permitted the remaining units as Twinvillas, which is known as Hamilton 2 and 3. Currently the FEMA Base Flood Elevation (BFE) for the project site is 7.00' NAVD.

80 out of the 81 residential buildings within the community were permitted and constructed to an elevation 7.00' or 7.52'. Prior to the Florida Building Code revision that was implemented in January 2018, Taylor Morrison submitted all remaining building permits for the twin villa buildings in December 2017, except for Lot or Building 63. Building 63 was inadvertently left off the master permit list and was eventually permitted in August of 2018.

Construction commenced on Building 63 in January of 2019 and was unintentionally constructed to an elevation of 7.7' NAVD, which is inline or slightly higher than all other Twin Villa units within Lucaya. Construction has since then stopped at the Tie-Beam and is on hold until further action.

Request

Taylor Morrison is requesting relief from the requirement to provide one foot above the FEMA Base Flood Elevation under the FBC and Lee County LDC pursuant to LDC 6-468 and allow the Finished Floor of Building 63 remain at 7.7 FT-NAVD.

The applicate is requesting the variance be approved by demonstrating compliance to Section 6-468(2) a.-c.

a. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;

80 out of 81 of the residential buildings within Lucaya are constructed or permitted from 7.00 to 7.52 FT-NAVD, including the adjacent units on either side of Building 63.

b. b. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and articles; and

Leaving Building 63 at 7.7 FT-NAVD will not increase flood heights, reduce public safety, cause or create a public expense, create a nuisance, nor will it cause fraud on or victimization of the public or conflict with existing local laws and articles.

c. c. The variance is the minimum necessary, considering the flood hazard, to afford relief; Approval of the variance does not negatively impact the level of service or the performance of the existing surface water management system; for example, the 100-YR storm elevation is 5.5 FT-NAVD and the finished floor of Building 63 is at 7.7 FT-NAVD. Furthermore, the constructed FFE is 7.7 FT-NAVD, which is still above the FEMA BFE of 7.00 FT-NAVD and is consistent with the existing buildings onsite.

We have included the following items for staff review and approval:

- 1. Ten (10) copies of the Cover Letter briefly explaining the request;
- 2. One (1) check in the amount of \$100.00 representing the review fee;
- 3. Ten (10) copies of the Board of Adjustments and Appeals Application;
- 4. Ten (10) copies of the Affidavit of Authorization and Evidence of Authority;
- 5. Ten (10) copies of the previously approved Lucaya Development Order Amendment Plans; and
- 6. Ten (10) copies of the Elevation Certificate for Building 63.

If you have questions or require further information, please contact me directly at (239) 405-7777 or jeremy.arnold@waldropengineering.com.

Sincerely,

WALDROP ENGINEERING, P.A.

Jeremy H. Arnold, P.E. Senior Vice President

cc: Taylor Morrison of Florida, Inc.

Case #ADM <u>2019-00002</u>

LEE COUNTY BOARD OF ADJUSTMENTS AND APPEALS APPLICATION (RES2018-00707)

Name: Waldrop Engineering, P.A.- Jeremy H. Arnold, P.E.

Address: 28100 Bonita Grande Dr. #305, Bonita Springs, FL 34135

Phone #: (239) 405-7777 Email: Jeremy.Arnold@waldropengineering.com

STRAP #: 29-45-24-L3-3500A.0060

Representing: <u>Taylor Morrison of Florida, Inc. - Andrew "Drew" Miller</u>

IS THIS A VARIANCE OR APPEAL? (PLEASE SELECT ONE) Please provide specific sections of the code or ordinance to which the variance or appeal applies:

BUILDING CODE Section R322.2	
COASTAL PLAIN MANAGEMENT	
FIRE CODE	
FLOOD PLAIN MANAGEMENT	
LIFE SAFETY CODE	
L.D.C	
MECHANICAL	22
PLUMBING	

If this is an appeal of an administrative decision, please indicate the official who made the decision:

I Request that this matter be scheduled for a hearing before the Lee County Board of Adjustments and Appeals. My reason for this request is as follows: (Provide additional sheets if needed.)

The purpose of this application is to request a deviation from Section R322.2 of the Florida Building Code and the 1 foot

of freeboard requirement for the Finished Floor Elevation. Please see attached Cover Letter for additional details.

I hereby certify that to the best of my knowledge, the information submitted for this hearing is true and correct. Signature Authorization: ______ Date: 03132019

NOTE: Provide ten (10) copies of all backup information for BOAA members. If there are sealed plans/drawings for the project for which the appeal/variance is requested, the architect/engineer who sealed the plans or drawings **MUST** be present at the hearing.

The applicant's presence is required for a case to be heard by this board. Hearing dates are usually arranged for Thursday morning at 10:00 a.m. Applications must be received at least 10 WORKING DAYS before the hearing date.

FEE: \$100.00 - Make check payable to Lee County Board of County Commissioners This application must be submitted to the Lee County Community Development Permit Center.

Revised 12/8/14 s:\committees\boaa\boaa.doc

AFFIDAVIT OF AUTHORIZATION

APPLICATION IS SIGNED BY INDIVIDUAL OWNER, APPLICANT, CORPORATION, LIMITED LIABILITY COMPANY (L.L.C.), LIMITED COMPANY (L.C.), PARTNERSHIP, LIMITED PARTNERSHIP, OR TRUSTEE

I, <u>Andrew "Drew" Miller</u> (name), as <u>Authorized Agent - Land Development</u> (owner/title) of <u>Taylor Morrison of Florida, Inc.</u> (company/property), swear or affirm under oath, that I am the owner or the authorized representative of the owner(s) of the property and that:

- 1. I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the County in accordance with this application and the Land Development Code;
- 2. All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;
- I have authorized the staff of Lee County Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that
- 4. The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.

*Notes:

- If the applicant is a corporation, then it is usually executed by the corp. pres. or v. pres.
- If the applicant is a Limited Liability Company (L.L.C.) or Limited Company (L.C.)., then the documents should typically be signed by the Company's "Managing Member."
- If the applicant is a partnership, then typically a partner can sign on behalf of the partnership.
- If the applicant is a limited partnership, then the general partner must sign and be identified as the "general partner" of the named partnership.
- If the applicant is a trustee, then they must include their title of "trustee."
- In each instance, first determine the applicant's status, e.g., individual, corporate, trust, partnership, estate, etc., and then use the appropriate format for that ownership.

Under penalties of perjury, I declare that I have read the foregoing Affidavit of Authorization and that the facts stated in it are true.

Signature

03	13	2019
		Date

STATE OF FLORIDA COUNTY OF LEE

The foregoing instrument was sworn to (or affirmed) and subscribed before me on <u>03132019</u> (date) by <u>Andrew "Drew" Miller</u> (name of person providing oath or affirmation), who is

Signature of Notary Public

as identification.



JESSICAN LINN	Δ.
State of Florida-Notary Public	1
A State of Flores # GG 170813	
Commission # Od 170010	
My Commission Expires	
April 16, 2022	1
	JESSICA K LINN State of Florida-Notary Public Commission # GG 170813 My Commission Expires April 16, 2022

(Updated 05/2013 - thru Ord. 13-05) P:\WEBPage\...\AffidavitofAuthorization.doc

(type of identification)

U.S. DEPARTMENT OF HOMELAND SECURITY Federal Emergency Management Agency National Flood Insurance Program

OMB No. 1660-0008 Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation	Certificate and all attachments for	(1)	communit	v official	(2) insurance ad	pent/comp	anv	and (3	a) building	owner.
oop an pageo of and Eloration		· · /		,	(-)		~		,	

	SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE				
A1. Building Owne TAYLOR MORRISC	ON OF FLOR					Policy Num	iber:		
A2. Building Street Box No. 14630/14628 ABAC		luding Apt., Unit, Suite RIVE	, and/o	r Bldg. No.) or P.O.	Route and	Company N	NAIC Number:		
City FORT MYERS				State Florida		ZIP Code 33908			
· •	A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) BEING OF BUILDING 63, LUCAYA								
A4. Building Use (e	∍.g., Resident	tial, Non-Residential, A	Addition	, Accessory, etc.)	RESIDENTIAL				
A5. Latitude/Longit	ude: Lat. <u>26</u>	31 14 N	Long. 8	31 55 28W	Horizontal Datur	m: 🗌 NAD 1	1927 🔀 NAD 1983		
A6. Attach at least	2 photograph	ns of the building if the	Certific	cate is being used to	o obtain flood insur	ance.			
A7. Building Diagra	am Number	1A							
A8. For a building v	with a crawlsr	pace or enclosure(s):							
a) Square foot	age of crawls	space or enclosure(s)		N/A sq ft					
b) Number of p	permanent flo	ood openings in the cra	awlspac	e or enclosure(s) w	vithin 1.0 foot above	e adjacent gr	rade N/A		
c) Total net are	ea of flood op	penings in A8.bN	/As	sq in			_		
d) Engineered	flood opening	gs? 🗌 Yes 🗵 No	0						
A9. For a building v	with an attach	ed garage:							
a) Square foot	age of attach	ed garage N/A		sq ft					
	-	ood openings in the atta			ot above adjacent	orade	N/A		
c) Total net are	-		N/A	sq in					
d) Engineered				-					
u) <u> </u>		<u></u>							
	SE	CTION B - FLOOD IN	NSURA	NCE RATE MAP	(FIRM) INFORMA				
B1. NFIP Communi LEE COUNTY 1251	-	ommunity Number		B2. County Name LEE COUNTY	2		B3. State Florida		
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	E	IRM Panel ffective/	B8. Flood Zone(s	(Zo	se Flood Elevation(s) ne AO, use Base od Depth)		
12071C-0416	F	08/28/2008		evised Date 3/2008	AE	7.0			
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:									
B11. Indicate eleva	B11. Indicate elevation datum used for BFE in Item B9: 🗌 NGVD 1929 🛛 NAVD 1988 🔲 Other/Source:								
B12. Is the building	located in a	Coastal Barrier Resou	urces Sy	ystem (CBRS) area	or Otherwise Prote	ected Area (C	OPA)? 🗌 Yes 🔀 No		
Designation D)ate:		CBRS						

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 2018
IMPORTANT: In these spaces, copy the corresponding	j information fror	n Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or 14630/14628 ABACO LAKES DRIVE			Policy Number:
City Sta FORT MYERS Flor	ite rida	ZIP Code 33908	Company NAIC Number
SECTION C – BUILDING EL	EVATION INFOF	MATION (SURVEY F	REQUIRED)
 C1. Building elevations are based on: Construction *A new Elevation Certificate will be required when concerning to the second sec	onstruction of the l VE, V1–V30, V (w ding diagram spec	vith BFE), AR, AR/A, AF	
Indicate elevation datum used for the elevations in it	Source:		
 Datum used for building elevations must be the same a) Top of bottom floor (including basement, crawlsp b) Top of the next higher floor c) Bottom of the lowest horizontal structural member d) Attached garage (top of slab) e) Lowest elevation of machinery or equipment sem (Describe type of equipment and location in Comf) Lowest adjacent (finished) grade next to building g) Highest adjacent (finished) grade next to building h) Lowest adjacent grade at lowest elevation of decostructural support SECTION D – SURVEYOR, This certification is to be signed and sealed by a land sur <i>l certify that the information on this Certificate represents statement may be punishable by fine or imprisonment unit.</i>	pace, or enclosure er (V Zones only) vicing the building nments) g (LAG) g (HAG) ck or stairs, includi , ENGINEER, OR rveyor, engineer, c s my best efforts to nder 18 U.S. Code,	floor) 7.7 N/A. N/A. 7.3 N/A. 7.0 7.0 7.1 ng N/A. RARCHITECT CERTIF por architect authorized b pointerpret the data avail , Section 1001.	X feet meters X feet meters
Certifier's Name JOHN SCOTT RHODES Title PRESIDENT Company Name RHODES AND RHODES LAND SURVEYING, INC. Address 28100 BONITA GRANDE DRIVE, UNIT 107 City	License Number 5739 State	r ZIP Code	No. 5739 No. 5739 No. 5739 No. 5739
BONITA SPRINGS	Florida Date	34135 Telephone	
John Scott Rhodes Surveying Inc. 2019/04/1719 Professional Surveying and Mapping Accumption Mapping Accumption Accumption and Mapping Accumption Accumption and Mapping Accumption and	02/14/2019	(239) 405-8166	
Copy all pages of this Elevation Certificate and all attachme Comments (including type of equipment and location, per JOB# 2017-415 SLAB F.B. 1195 PG. 58			agent/company, and (3) building owner.

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: Novem	ber 30, 2018
IMPORTANT: In these spaces, copy the corresp	onding informatio	n from Section A.	FOR INSURANCE COM	MPANY USE
Building Street Address (including Apt., Unit, Suite, 14630/14628 ABACO LAKES DRIVE	and/or Bldg. No.)	or P.O. Route and Box No.	Policy Number:	
City FORT MYERS	State Florida	ZIP Code 33908	Company NAIC Numbe	er
		ORMATION (SURVEY N NE A (WITHOUT BFE)	OT REQUIRED)	
For Zones AO and A (without BFE), complete Items complete Sections A, B,and C. For Items E1–E4, u enter meters.				
 E1. Provide elevation information for the following the highest adjacent grade (HAG) and the low a) Top of bottom floor (including basement, 			ther the elevation is above o	or below
crawlspace, or enclosure) is b) Top of bottom floor (including basement,				
crawlspace, or enclosure) is E2. For Building Diagrams 6–9 with permanent flo		feet me		
the next higher floor (elevation C2.b in the diagrams) of the building is			eters above or belo	-
E3. Attached garage (top of slab) is	· .	feet 🗌 me	eters 🗌 above or 🗌 belo	ow the HAG.
E4. Top of platform of machinery and/or equipmen servicing the building is	t	feet 🗌 me	eters above or belo	ow the HAG.
E5. Zone AO only: If no flood depth number is ava floodplain management ordinance? Yes			accordance with the community this information in	
SECTION F - PROPERTY	OWNER (OR OWN	ER'S REPRESENTATIVE)	CERTIFICATION	
The property owner or owner's authorized represer community-issued BFE) or Zone AO must sign here				
Property Owner or Owner's Authorized Representa	tive's Name			
Address		City	State ZIP (Code
Signature		Date	Telephone	
Comments				
			Check here if at	tachments.

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 2018	
IMPORTANT: In these spaces, copy the co	rresponding information	on from Section A.	FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, 14630/14628 ABACO LAKES DRIVE	Suite, and/or Bldg. No.)	or P.O. Route and Box I	No. Policy Number:	
City FORT MYERS				
			NAL)	
The local official who is authorized by law or Sections A, B, C (or E), and G of this Elevations used in Items G8–G10. In Puerto Rico only, of	ordinance to administer on Certificate. Complete	the community's floodpla	ain management ordinance can complete	
	rized by law to certify ele		ned and sealed by a licensed surveyor, cate the source and date of the elevation	
G2. A community official completed Se or Zone AO.	ction E for a building loc	ated in Zone A (without a	a FEMA-issued or community-issued BFE)	
G3. The following information (Items G	4–G10) is provided for c	ommunity floodplain mar	nagement purposes.	
G4. Permit Number	G5. Date Permit Iss	ued	G6. Date Certificate of Compliance/Occupancy Issued	
G7. This permit has been issued for:	New Construction] Substantial Improveme	ent	
G8. Elevation of as-built lowest floor (include of the building:	ing basement)	[feet meters	
G9. BFE or (in Zone AO) depth of flooding a	at the building site:		feet inters Datum	
G10. Community's design flood elevation:			feet meters Datum	
Local Official's Name		Title		
Community Name		Telephone		
Signature		Date		
Comments (including type of equipment and	location, per C2(e), if ap	plicable)		
			Check here if attachments.	

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008 Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy	FOR INSURANCE COMPANY USE		
Building Street Address (including Ap 14630/14628 ABACO LAKES DRIVE	Policy Number:		
City FORT MYERS	State Florida	ZIP Code 33908	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

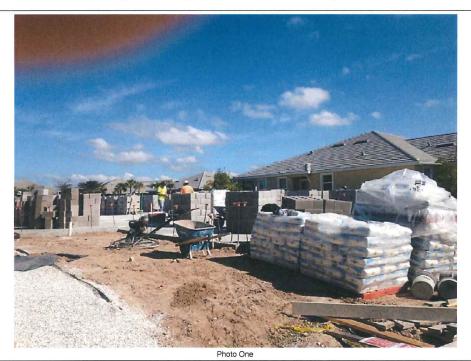


Photo One Caption FRONT VIEW 02/12/2019

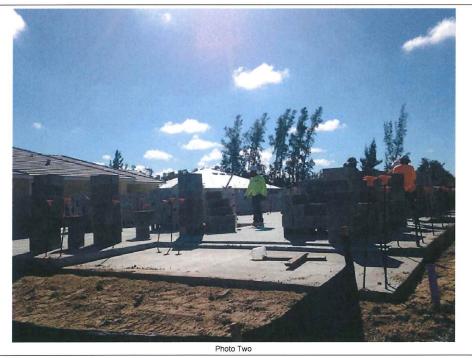


Photo Two Caption REAR VIEW 02/12/2019

AMENDMENT TO DEVELOPMENT ORDER PLANS FOR &

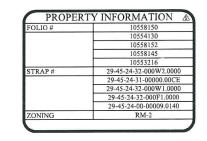
LUCAYA - HAMILTON 2 AND 3

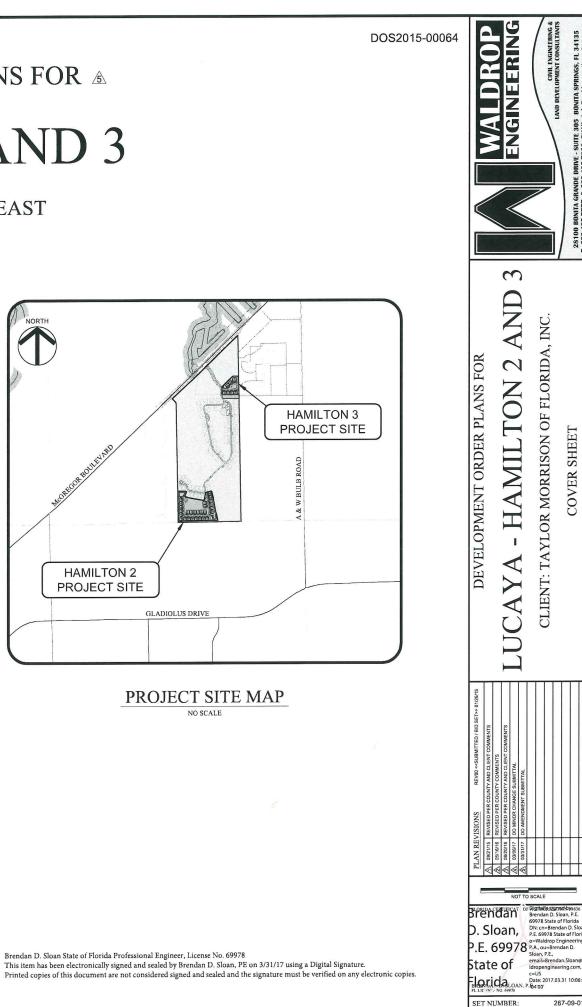
PART OF SECTION 29, TOWNSHIP 45 SOUTH, RANGE 24 EAST LEE COUNTY, FLORIDA



PROJECT L	OCATION	MAP
	NO SCALE	

	SHEET INDEX AA	
1	COVER SHEET	_
2	AERIAL MAP	
3	MASTER SITE PLAN HAMILTON 2	_
4	MASTER SITE PLAN HAMILTON 3	_
5	MASTER PAVING AND DRAINAGE PLAN HAMILTON 2	
6	MASTER PAVING AND DRAINAGE PLAN HAMILTON 3	
7	MASTER UTILITY PLAN HAMILTON 2	
8	MASTER UTILITY PLAN HAMILTON 3	
9	TYPICAL SECTIONS HAMILTON 2	_
10	TYPICAL SECTIONS HAMILTON 3	_
11	PAVING AND DRAINAGE DETAILS	
12	STORMWATER POLLUTION PREVENTION PLAN AND EROSION CONTROL DETAILS HAMILTON 2	
13	STORMWATER POLLUTION PREVENTION PLAN AND EROSION CONTROL DETAILS HAMILTON 3	_





FINAL INSPECTION REQUIRED of Substantial Compliance to schedule a Final Inspection. **DEVELOPED BY:**

taylor Morrison Homes Inspired by You

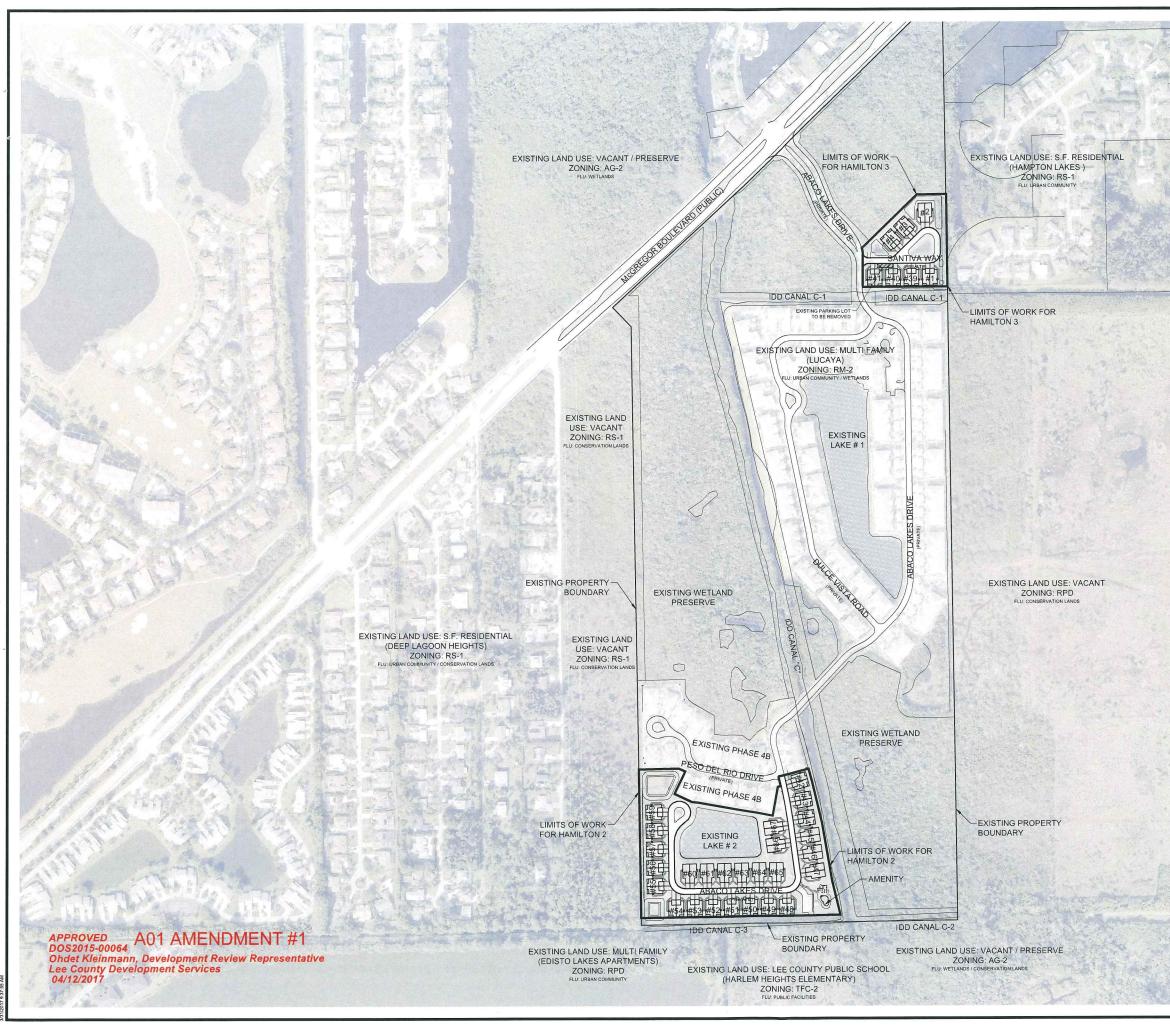
551 NORTH CATTLEMEN ROAD - SUITE 200 SARASOTA, FLORIDA 34232 PHONE: (941) 554-2852

At the completion of the improvements, please submit a Letter

APPROVED A01 AMENDMENT #1 Ohdet Kleinmann, Development Review Representative Lee County Development Services 04/12/2017

ELEVATIONS ARE BASED ON: NAVD - 88

SHEET



	N.	CML ENDERING CML ENDERING ENGINEERING CML ENDERING CML EN
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CODE 35 EXOTIC THE PRG 2 PRIOR T VEGETA SHALL IN PRESER SHALL IN CONSTR	10 BULDING #43 11 BULDING #44 12 BULDING #45 13 BULDING #45 14 BULDING #46 15 BULDING #46 16 BULDING #46 17 BULDING #46 18 BULDING #46 19 BULDING #46 11 BULDING #46 12 BULDING #50 20 BULDING #51 21 BULDING #52 22 BULDING #55 23 BULDING #56 24 BULDING #57 25 BULDING #60 26 BULDING #61 30 BULDING #61 31 BULDING #61 32 BULDING #61 33 BULDING #62 34 BULDING #64 35 AMENIY FACILITY 36 AMENIY FACILITY 37 BULDING #64 38 BULDING #64 39 BULDING #64 31 BULDING #64 32 BULDING #64 33 BULDI	BREENIDAN D. SLOAN, P.E. PLACE BREENIDAN D. SLOAN, P.E. PLACE SET NUMBER: 267-09-01 SHEET:

GENERAL NOTES

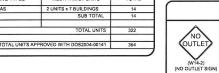
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD-88)
- INTEREMENTATION OF A DESCRIPTION OF A DE
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.
- ONDITION OF IS RESPONSIBLE FOR IMPLEMENTING AND ADHERING TO A NATIONAL I LIMINATION SYSTEM (MPDES) GENERAL PERMIT FROM THE FLORIDA DEPARTMENT O ROTECTION (FDEP). CONTRACTOR SHALL CREATE, IMPLEMENT, AND MAINTAIN A ST REVENTION PLAN AS REQUIRED BY THE MPDES GENERAL PERMIT.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF TRENCHES TO AVOID DISTURBING NATURAL VEGETATION. MATERIAL REMOVED FROM THE TRENCHES SHALL BE PLACED ONLY ON PREVIOLISY. CLEARED AREAS OR AS DIRECTED BY THE OWNER.
- ALL MATERIALS AND CONSTRUCTION METHODS USED FOR WATER, SEWER, AND DRAINAGE FACILITIES SHAL CONFORM TO THE APPROVED TECHNICAL SPECIFICATIONS.
- ALL ONSITE WATER AND SEWER FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED
- THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS, WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD. THE CONTRACTOR SHALL PREPARE AN AS BUILT PUNK IN WITH EXISTING EASEMENTS OF RECORD. THE CONTRACTOR SHALL PREPARE AN AS SULT PUNK IS FOR PRE LEG CONTRY STANDARDS, INDICATING ANY DIFFERENCES FROM THE ACTUAL CONSTRUCTION IMPROVEMENTS AND THE ORIGINAL CONSTRUCTION PLANS. THE ASBUILT PUNK SHALL BE SURVEY CRETIFIED FOR ALL IMPROVEMENTS BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR.
- RAD-ESSIDIARI, LAND SURVEYUK. LI CONSTRUCTION TO BE IN ACCORDINGE WITH THE PROJECTS TECHNICAL SPECIFIC/MIONS PTOT TANDARDS, CONTRACTOR IN REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY EVANIONS FROM THE PLANS RADIORS SPECIFICATIONS.

THE CONTRACTOR SHALL PROVIDE 48 HOURS WRITTEN NOTICE TO THE ENGINEER AND COUNTY PRIOR TO FOLLOWING (AS APPLICABLE):

- a. HOT TAPS TO POTABLE WATER LINES LARGER THAN 6" AND WASTEWATER SYSTEMS LINES GRE THAN 4"
- b. JACK AND BORE CASING
- c. PRESSURE TESTS
- d INFILTRATION / EXFILTRATION e. LIFT STATION INSTALLATION, PRIOR TO COVER UP AND START-UP
- LAMPING OF SEWER LINES
- 9. PIGGING AND FLUSHING OF WASTEWATER LINES, FORCE MAINS, POTABLE WATER MAINS AND NON-POTABLE IRRIGATION LINES
- h. CONFLICT CONSTRUCTION CONNECTIONS TO EXISTING POTABLE WATER, NON-POTABLE IRRIGATION WATER AND WASTEWATER SYSTEMS
- 8" DIAMETER OR LARGER CASING INSTALLATIONS k. CHLORINATION OF WATER LINES AND REFLUSHING OF LINE AFTER CHLORINATION (NEEDS ONLY WATER DEPARTMENT INSPECTION ONLY)
- I. INSTALLATION OF TEMPORARY METERS/BACKFLOWS m. BACTERIOLOGICAL SAMPLING (NEEDS WATER DEPARTMENT INSPECTION ONLY)
- n. HOT TAPS TO ANY WATER CONCRETE MAINS, PRESSURE TESTS ON LINES 20" AND GREATER, AND CONNECTIONS TO EXISTING POTABLE SYSTEMS GREATER THAN 12" NEED TO BE INSPECTED BY THE WATER DEPARTMENT AND CDES
- ALL UNDER GROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF SUBGRADE. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO DEWATER IN COMPLIANCE WITH LOCAL. STATE AND FEDERAL PERMITS
- GUNTINGTION IN REPORTINGELE 10 DEWATER IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. LITAFFIC MAINTENACE CONTROL SHALL BE IN ACCORANCE WITH HORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTLIT OPERATIONS.
- OPTIONAL BRICK PAVERS MAY BE INSTALLED IN LIEU OF ASPHALT PAVEMENT AT THE DISCRETION OF TH OWNER. SEE TYPICAL SECTIONS AND DETAILS FOR PAVEMENT SECTIONS.
- LAND USE SUMMARY A ACREAGE CATEGORY BUILDING 2.51 ± SIDEWALKS ROADWAY / PARKING LC IMPERVIOUS AREA TOTA 4.10 ± NT WETLAND 0.28 OPEN SPACE PERVIOUS AREA TOTA 4.64 ± 1.32 ± OVERALL PROJECT TOTA 10.06 ±

ACREAGE	10.06 AC			
UNIT COUNT	52			
FRONT SETBACK	20.0 FT			
REAR SETBACK	25.0 FT			
SIDE YARD SETBACK	15.0 FT			

0	(DOS2004-00064)	
BUILDING TYPES	MULTI-FAMILY UNITS	TOTAL
2 UNIT BUILDINGS	12 UNITS x 7 BUILDINGS	84
INIT BUILDINGS	8 UNITS x 4 BUILDINGS	32
NIT BUILDINGS	6 UNITS x 10 BUILDINGS	60
A) UNIT BUILDINGS	4 UNITS x 8 BUILDINGS	32
B) UNIT BUILDINGS	4 UNITS x 5 BUILDINGS	20
VIN VILLAS	2 UNITS x 14 BUILDINGS	28
	SUB TOTAL	256
CURRENTL	Y PROPOSED HAMILT (DOS2015-00064)	FON 2 🔬
	(DOS2015-00064)	
BUILDING TYPES	MULTI-FAMILY UNITS	TOTAL
		TOTAL
	MULTI-FAMILY UNITS	
VIN VILLAS	MULTI-FAMILY UNITS 2 UNITS x 26 BUILDINGS	52 52
WIN VILLAS	MULTI-FAMILY UNITS 2 UNITS x 26 BUILDINGS SUB TOTAL Y PROPOSED HAMILT	52 52
CURRENTL'	MULTI-FAMILY UNITS 2 UNITS x 26 BUILDINGS SUB TOTAL Y PROPOSED HAMILT (DOS2015-00064)	52 52

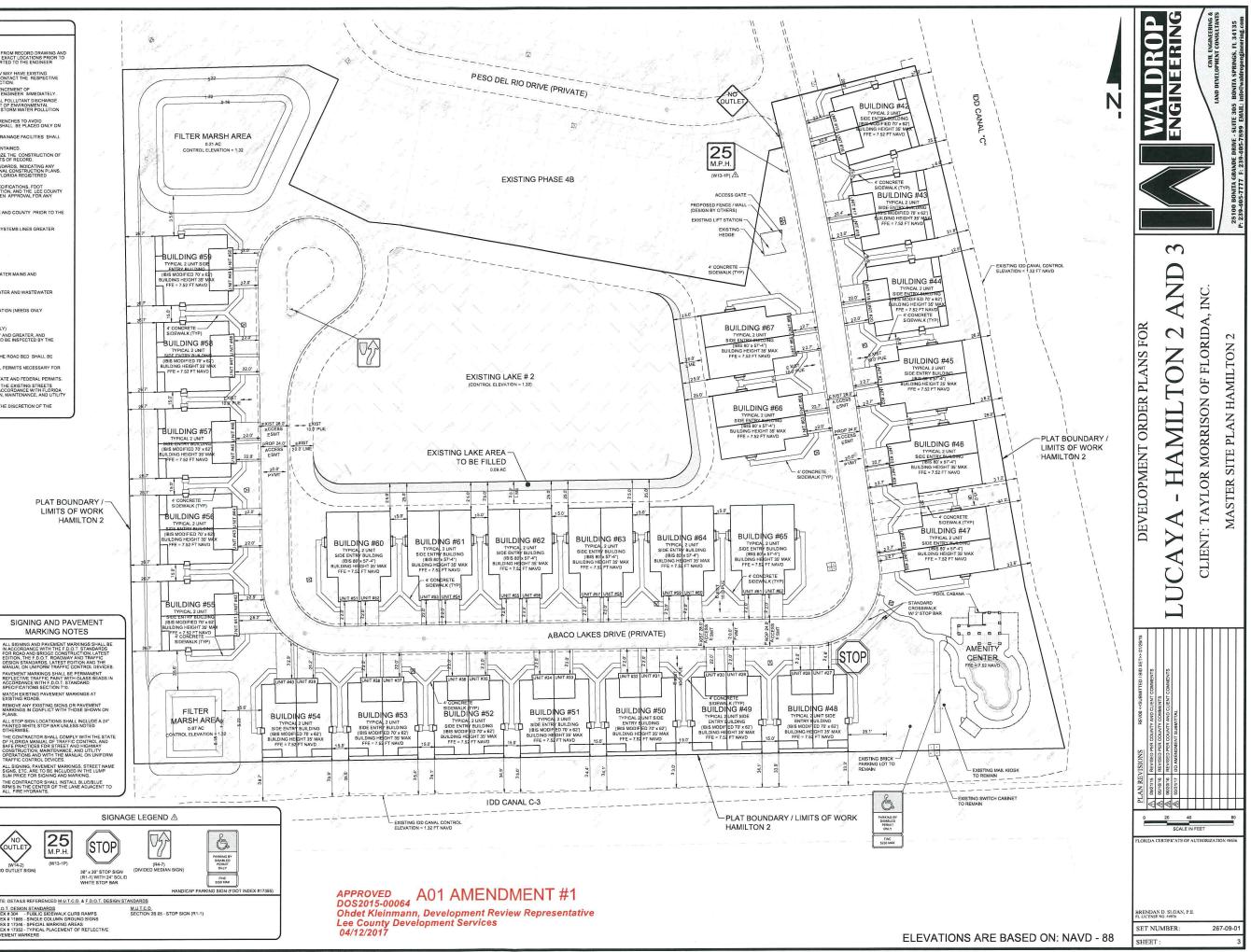


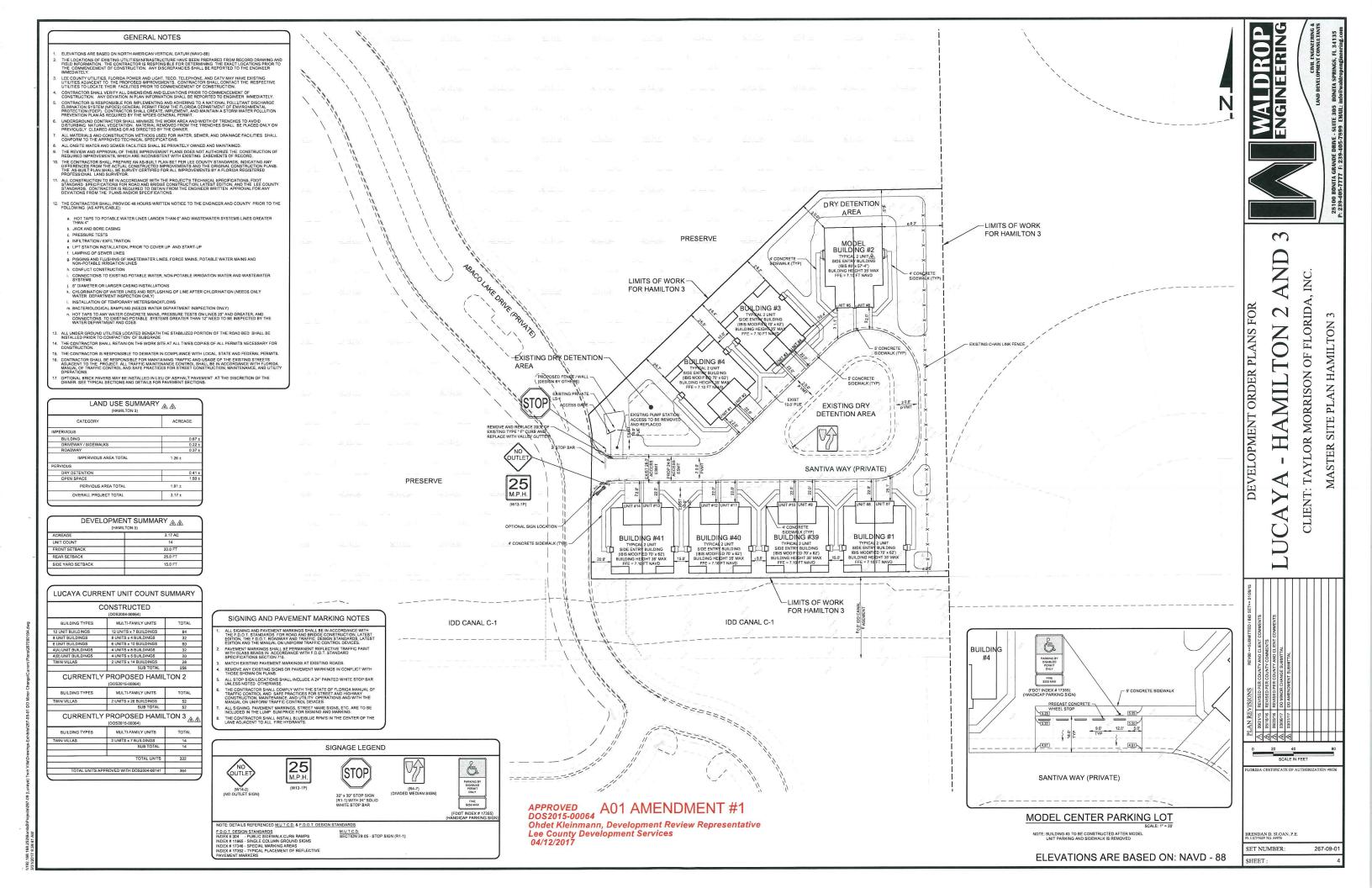


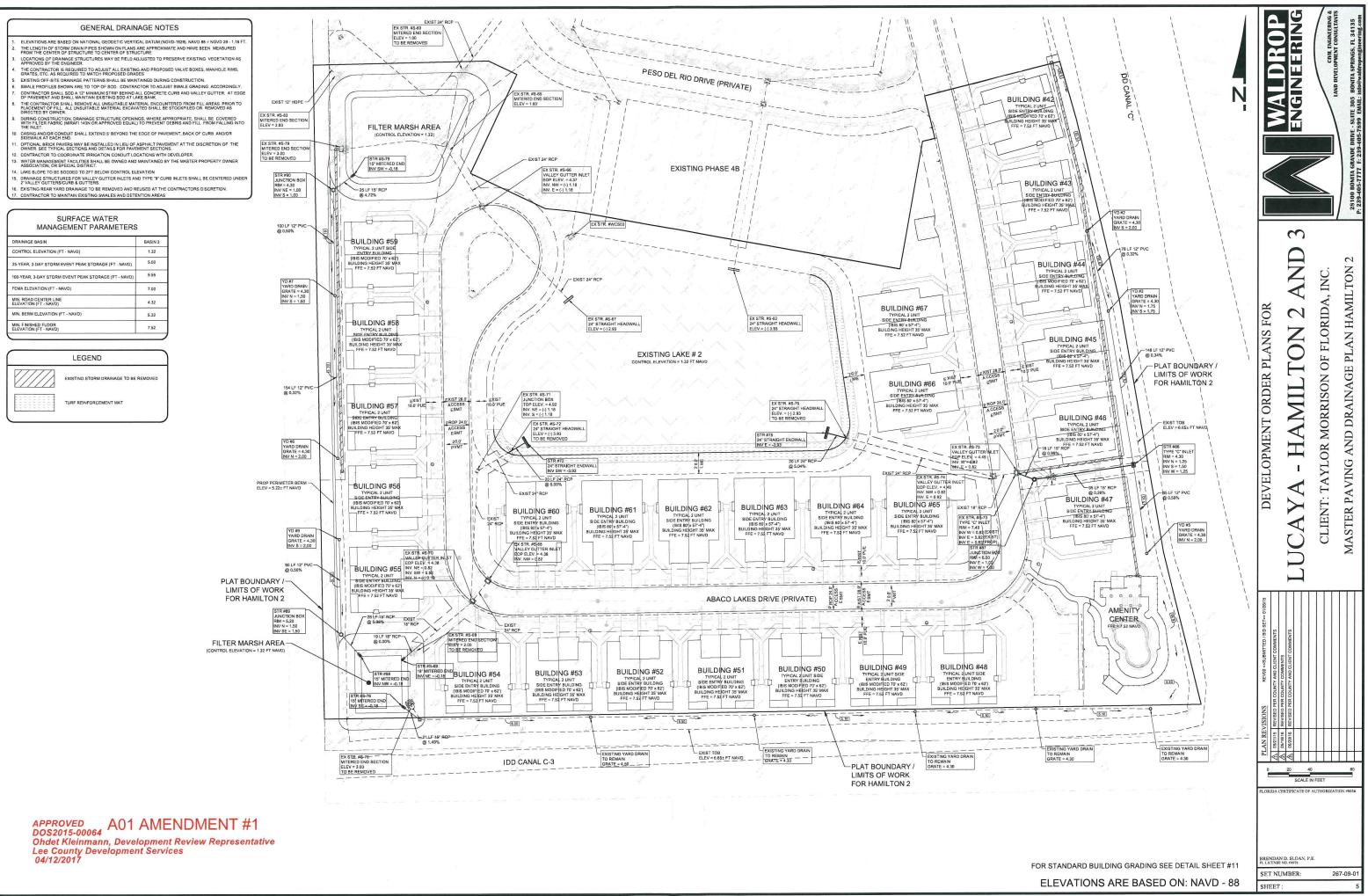
25 M.P.H.

MARKING NOTES

MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.



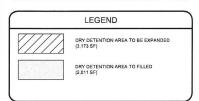


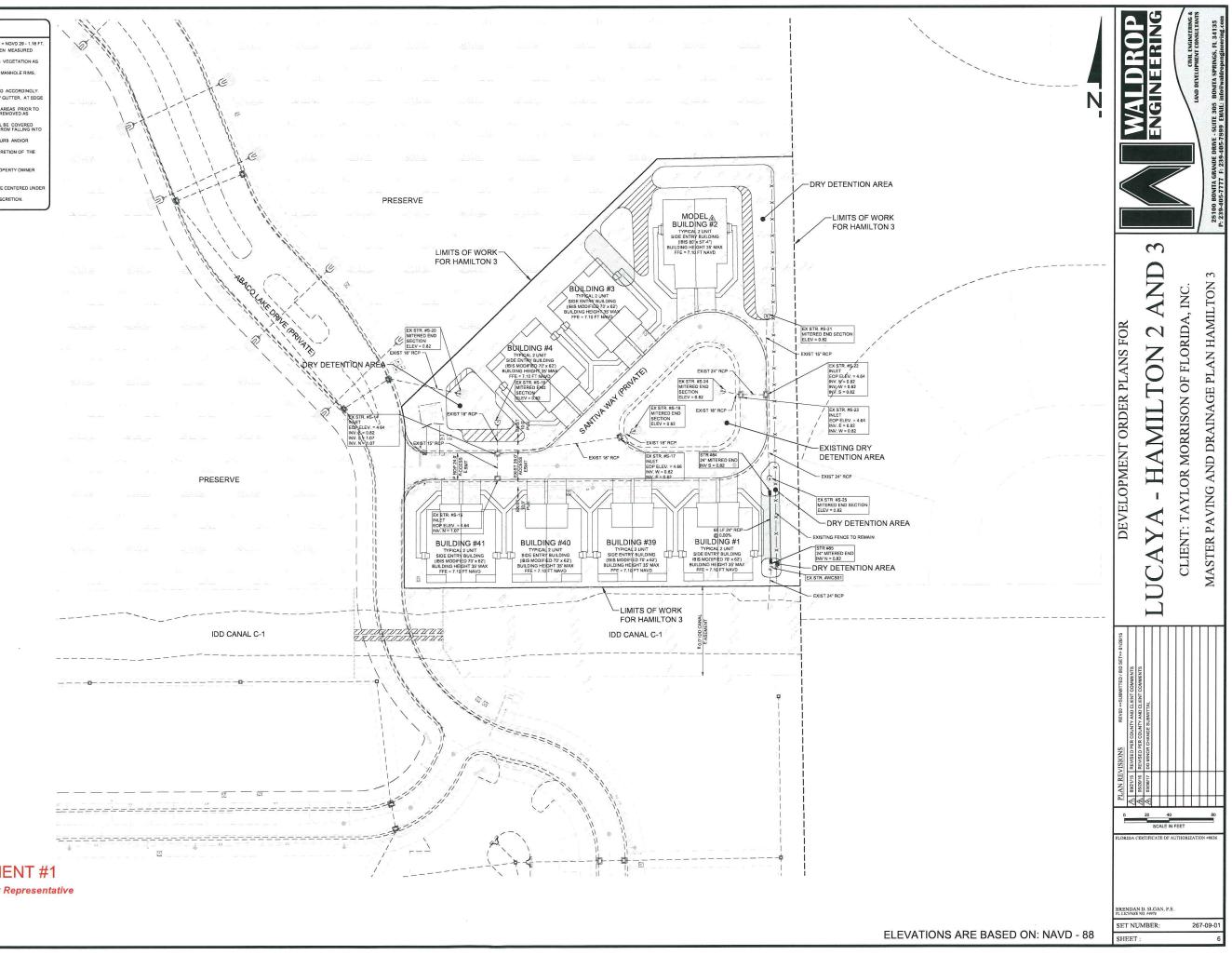


GENERAL DRAINAGE NOTES

- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (NGVD-1929). NAVD 88 = NGVD 29 1.18 F
- THE LENGTH OF STORM DRAIN PIPES SHOWN ON PLANSA RE APPROXIMATE AND HAVE BEEN MEASUREL FROM THE CENTER OF STRUCTURE TO CENTER OF STRUCTURE LOCATIONS OF DRAINAGE STRUCTURES MAY BE FIELD ADJUSTED TO PRESERVE EXISTING VEGETATION APPROVED BY THE ENGINEER

- APPROVED BY THE ENGINEER THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH PROPOSED GRADES EXISTING OFF-STE DRAINAGE PATTERNS SHALLB E MINITAINED DURING CONSTRUCTION, SWALE PROFILES SHOWN ARE TO TOP OF SOD. CONTRACTOR TO ADJUST SWALE GRADING ACCORDINGLY. CONTRACTOR SHALL SOD A 12' MINIMUM STRIP BEHIND ALL CONCRETE CURB AND VALLEY GUTTER, AT EDGE OF FAVEMENT AND SHALL MANTAR EXISTING SOD AT LAKE BANK.
- THE CONTRACTOR SHALL ENGINE ALL UNSUITING SOD AT LAKE BANK THE CONTRACTOR SHALL ENGINE ALL UNSUITABLE MATERIAL ENGINE MATERIAL ENGINEERED FROM FULL AREAS PRIVED AS DIRECTED BY OWNER.
- DURING CONSTRUCTION, DRAINAGE STRUCTURE OPENINGS, WHERE APPROPRIATE, SH/ WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL THE INLET.
- CASING AND/OR CONDUIT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END.
- OPTIONAL BRICK PAVERS MAY BE INSTALLED IN LIEU OF ASPHALT PAVEMENT AT THE DISCRETION OF THE OWNER. SEE TYPICAL SECTIONS AND DETAILS FOR PAVEMENT SECTIONS.
- WATER MANAGEMENT FACILITIES SHALL BE OWNED AND MAINTAINED BY THE MASTER ASSOCIATION, OR SPECIAL DISTRICT.
- LAKE SLOPE TO BE SODDED TO 2FT BELOW CONTROL ELEVATIO
- DRAINAGE STRUCTURES FOR VALLEY GUTTER INLETS AND TYPE "9" CURB INLETS SHALL BE CENTERED UNDI 2 VALLEY GUTTERSICURB & GUTTERS.
- KISTING REAR YARD DRAINAGE TO BE REMOVED AND REUSED AT THE CONTRACTORS DISCRETION ACTOR TO MAINTAIN EXISTING SWALES AND DETENTION AREAS
- SURFACE WATER MANAGEMENT PARAMETERS BASIN 1 RAINAGE BASIN 1.32 CONTROL ELEVATION (FT - NAVD) 5.21 25-YEAR, 3-DAY STORM EVENT PEAK STORAGE (FT - NAVD) 5.77 100-YEAR, 3-DAY STORM EVENT PEAK STORAGE (FT - NAVC FEMA ELEVATION (FT - NAVD) 7.00 MIN. ROAD CENTER LINE ELEVATION (FT - NAVD) 4.32 MIN. BERM ELEVATION (FT - NAVD) 5.22 MIN. FINISHED FLOOR ELEVATION (FT - NAVD) 7.10





APPROVED A01 AMENDMENT #1 Ohdet Kleinmann, Development Review Representative Lee County Development Services 04/12/2017

STANDARD UTILITY NOTES

THE STANDARD NOTES SHOWN BELOW SHALL BE INCLUDED ON ALL WATER AND SEWER PLANS SUBMITTED FO APPROVAL TO LEE COUNTY UTILITIES (LCU).

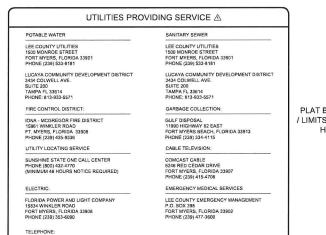
ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LEE COUNTY UTILITIES OPERATIONAL MANUAL WHICH IS ON FILE AT THE DIVISION OF LEE COUNTY UTILITIES OFFICE (1500 MONROE STREET, P.O. BOX 398, FORT WYERS, FLORIDA 39902).

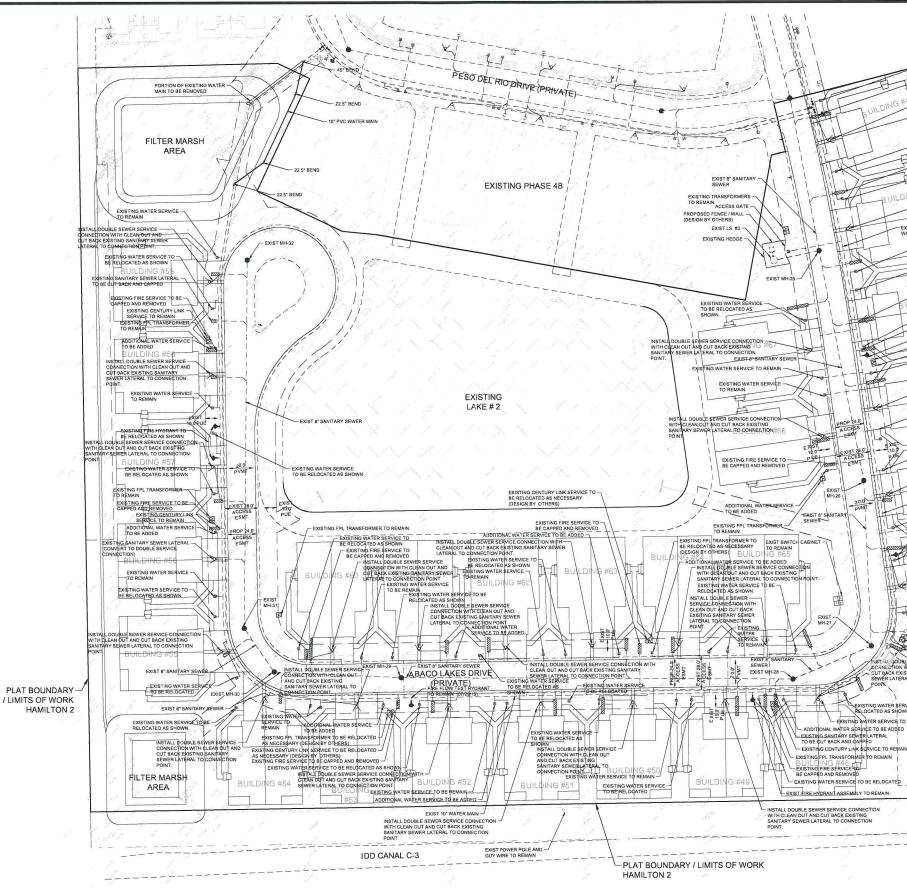
HIGH ID AVAIL DRT MYERS, FLORIDA 339/2/. MY GUANTITES SHOWN ON PLANS ARE NOT VERIFIED BY LUG. AT THE SITE KERP AND MAINTAIN ONE RECORD COPY OF ALL CONTRACT DOCUMENTS, REFERENCES DOCUMENTS AND ALL TECHNICAL DOCUMENTS SUBMITTED IN GOOD ORDER AS THE WORK PRORDERSE DOCUMENTS AND ALL TECHNICAL DOCUMENTS SUBMITTED IN GOOD ORDER AS THE WORK PRORDERSE THE ENRIFER ON IS DESIGNATE DEPRESENTATIVE SHALL RECORD ON ON SES TO CHE PRODUCIDE THE ENRIFER ON IS DESIGNATE DEPRESENTATIVE SHALL RECORD ON ONE SET OF DRIFTS AND DEVINTON ALL CHANGES AND DEVINTIONS FROM THE ORIGINAL PLANS, HE SHALL RECORD THE EXACT THE ENRIFER ON IS DESIGNATE DEPRESENTATION AND OTHER SERVICES BY OFF SET DISTANCE TO MUCH THE AND THE DRIFT OF THE DRIFTS AND THE ORIGINAL PLANS. HE SHALL RECORD THE EXACT THE ENRIFER ON THE DRIFT OF THE DRIFT OF THE DRIFT OF THE DRIFT OF THE STATEMENT AND OTHER SERVICES AND DEVINTON AND OTHER SERVICES BY OFF SET DISTANCE TO AND OTHER SERVICES AND OFFICE AND THE DRIFT OFFICE ADDRIFT OF THE DRIFT OFFICE ADDRIFT OF

Server, WATER, LECTING, GAS, COMMUNICATION AND OTHER SERVICES BY OFF-SET DISTANCE TO PERMANENT IMPROVEMENTS SUCH AS BUILDION AND CURRIS THESE RECORD DRAWINGS MUST BE CERTIFIED BY THE FLORIGA REDISTRED PROFESSIONAL ENGLINES, HALL MICH. VERTICAL AND HORIZONTAL LAURINEWIT OF ALL WATER, SEVER, AND EFFLUENT REUSE LINES, VALVES, TESS BENDS, REDUCERS, HYDRAMTS, PUWP STATIONS, SERVICE CONNECTIONS, METER BOXES AND/OR PHORIZONTAL AUXIONMENT OF ALL WINE STATIONS, SERVICE CONNECTIONS, METER BOXES AND/OR PHORIZONTAL AUXION STATISTIC UNES PERIOD REUSE AND STATISTICS OF SEAL (SECONDECTIONS, METER BOXES AND/OR PHORIZON AND ROMING AND AND AND AND STATIONS, SERVICE CONNECTIONS, METER BOXES AND/OR ALIGNMENT SHALL BE TIED TO PERMANENT IMPROVEMENTS, SUCH AS ROADWAY AND/OR RALROAD SURVEYOR CAN COORDINATE WITH THE CONTRACTOR TO INSTALL THE NECESSIAN APPLIATE BOXES SURVEYOR CAN COORDINATE WITH THE CONTRACTOR TO INSTALL THE NECESSIAN APPLIATE BOXES AND STATIST PROFERSIONAL LAND SURVEYOR LOND STALL STATE CONTRACTOR TO INSTALL THE INFORMATION CONTRACTOR TO INSTALL THE INFORMACE SON PROFERSIONAL LAND SURVEYOR LOND STALL STATE ON STALL THE RESEARCH APPLIATEMANCES ON PROFESSIONAL LAND SURVEYOR LOND STALL STATE ON STALL THE RESEARCH APPLIATEMANCES ON PROFESSIONAL LAND SURVEYOR LOND STALL THE STATE OF FLORING CONSENT MUST FIRST BE OBTING TO COLLINE UNIT THE CONTRACTOR TO INSTALL THE INFORM CONSENT MUST FIRST BE OBTING TO TOULING LOND STALL THE STATE OF FLORING CONSENT MUST FIRST BE OBTING FORMULE COUNTY UTILITIES. THE COUNTY SHALL WITHOUD FINAL ACCEPTANCE OF FROM LEGIC COUNTY UTILITIES THE CONTRACTOR TO MERGY AND RELATED RECORD CONSENT MUST FIRST BE OBTING FORMULE COUNTY DILLING DI VERDER DANG CONSENT MUST FIRST BE OBTING FORMULE EFFORMED FORM FORMANIAN DUE AND CORDER FORMANCE AND FLORE FUNCTION METRIC DI SERVICE DE DEFORM FORMATIONAL AND RELATED RECORD SHALE BEN MUST FIRST BE OBTING FORMULE RELEGIED. DI VERDER DEFORM FORMANCE AND HEAL DURING FORMAL FAULTIES SHOWN WILL BE RELEGIED.

- A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE WORK MAY BEGIN. LEE COUNTY UTILITIES SHALL BE NOTIFIED 48 HOURS PRIOR TO PROJECT MOBILIZATION.
- ALL WORK AND MATERIALS, WHICH DO NOT CONFORM TO LCU SPECIFICATIONS, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF LCU IS SUBJECT TO RE-EXCAVATION, REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROVIDE SUFFICIENT PERSONNEL AND EQUIPMENT ON THE JOB AT ALL TIMES DURING CONSTRUCTION TO SATISFY THE SPECIFICATIONS AND TO COMPLETE WORK. COMPOSITION TO SATISFY THE SPECIFICATIONS AND TO COMPLETE WORK. LCU INSPECTION STAFF MAY OBSERVE PROJECT CONSTRUCTION. THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO AND VERIFY GRADES BEFORE BEGINNING CONSTRUCTION.
- DECIMINATION CONSTRUCTION ESPONSEBILITY TO LOCATE AND TAKE ALL POSSIBLE PRECAUTIONS TO AVOID THY IN CONTRACT DIMENSION OF THE CONSTRUCTION CONTRACTOR SAND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION LCU WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OWNED FROM THESE FUNS. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PROTECT EXISTING UTLITIES AND STRUCTURES.

- PROTECT EXISTING UTILITIES AND STRUCTURES CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANS. IF ANY DISCREPANCIES IN QUANTITIES ARE FOUND. THE CONTRACTOR SHALL NOTY THE PROJECT ENGINEER AND LGU. ALL REGULTARY NAND FERMITING AGENCIES REQUIREMENTS SHALL BE COMPLIED WITH APPROPRIATE TURBIDITY CONTROL DEVICES (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL APPROPRIATE TURBIDITY CONTROL DEVICES (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL THE ADDRESS AND ADDRESS (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL APPROPRIATE TURBIDITY CONTROL DEVICES (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL THE ADDRESS AND ADDRESS (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL THE ADDRESS AND ADDRESS (E.G. SLIT FENCES, HAY BALES WILL BE UTILIZED URING ALL THE ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND THE ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND THE ADDRESS AND CONTRACTOR IS RESPONDED TO THE FEASIBLE FOR DEVICE ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND CONTRACTOR IS RESPONDED TO THE ADDRESS AND A
- FALL DIAG PREVENTION PLAN IN THE OVERT THE THE ANAL DIAGNONE FORMATION IS ENCOUNTERED MAKING IT MOOSSILE TO ESCAVET IN THE OVER THE THE ANAL DIAGNONE FORMATION IS ENCOUNTERED MAKING IT MOOSSILE TO ESCAVET PRECOVER TO NOT LESS THAN TWO (2) FEET WHILE MANTAINING THE LOU REQUIRED THICKNESS OF REDONG UNDER THE PPE, SUCH DEVINTION FROM THE PLANS BUSITE FRRST ESCAPPORTO BY CLU AND ECONTRACTOR SHALL PROVIDE OTHER METHOD OF CONSTITUCTION OR PIPE PROTED THE ANAL FIRST ELE APPROVED BY CLU AND THE ENDINESE. A TO ADDITIONAL COST TO THE COUNTY.
- FIRST BE APPROVED BY LCU AND THE ENGINEER, AT NO ADDITIONAL COST TO THE COUNTY. LOCATIONS ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION MAILABLE AT THE TIME OF PREMARATION OF THESE FLANS, BUT DO NOT PURPORT TO BE ABSOLUTE? CORRECT PROVINCE MICH WIGHT BE OCCASSIONED SHALL VERIFY AND BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WIGH WIGHT BE OCCASSIONED DO THEM FEATURES AFFECTION BIN WORK, ANYTHING NOT SHOWN ON THESE DRAWINGS SHOLD BO BROUGHT TO THE ATFECTION BIN WORK, ANYTHING NOT SHOWN ON THESE DRAWINGS SHOLD BO BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL NOT CONSTITUTE AN EXTRA. UNLESS
- THE CONTRACTOR SHALL CONTACT THE ENGINEER AND LCU IMMEDIATELY CONCERNING ANY CONFLICTS WITH LCU UTILITIES/STRUCTURES ARISING DURING CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE JRAWINGS.
- TRAFFIC MUST BE MAINTAINED AT ALL TIMES AS PER LEE COUNTY DEPARTMENT OF TRANSPORTATION (CDDT) AND PER FLORIDA DEPARTMENT OF TRANSPORTATION (FDDT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATOST TRANSPORTATION.
- THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND PROVIDE AT LEAST 48 HOURS NOTICE TO THE INDIVIDUAL UTILITY COMPANIES AND FDOT AND LCDOT PRIOR TO CONSTRUCTION.
- INDITIOUSE DITEIT COMPARES AND FOOT AND COOPTING TO COMBINED THAT. THE CONTRACTOR SHALL REPLACE ALL PARCENTIC CURBS, DREVEN'S, SIDEWALLS, FENCES ETC. WITH EXEMPTION OF SHALL REPLACE ALL PARCENTIC CURBS, DREVEN'S, SIDEWALLS, FENCES ETC. WITH EXEMPTION CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED BY THE CONSTRUCTION TO ITS ORIGINAL CONTRIDUTION, OR BITTER.
- UNIDINAL CURUTION OF BETTER. WITHIN THE FOOT AND LCOOT RIGHT-OF-WAY, ALL DISTURBED AREAS SHALL RECEIVE GRASSING (SEEDING OR SODDING MATERIALS IN ACCORDANCE WITH FOOT SPECIFICATIONS. THOSE AREAS THAT ARE CLASSIFIED AS DRAINAGE DITCHES SHALL RECEIVE FULL SOLID SOD.
- TED AS DKAININGE DI ICHES SHALL RECEIVE FULL SOLID SOU ORMATION RROVIDED IN THESE FUNAIS IS SOLELT YO ASSIST THE CONTRACTOR IN ASSESSING THE AND EXTENT OF CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF WORK ALL COTOS ARE DIRECTED, PRIOR TO BIDIONE, OT CONDUCT WHATEVER WINESTIGATIONS THEY MAY ECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT ENCOUNTERED, NOU POW WHICH THEIR BIDISWILL BE BASED.
- DEEM NEGLE ALL FRAMES, OVERS YALVE BOXES, METER BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION. ALL VALVE PADS SHALL BE POURED IN PLACE. NO PRE-FORKED VALVE PADS ALLOWED.
- 3. ANY EXISTING WATER SERVICES OR SANITARY SERVICES LOCATED WITHIN PROPOSED PAVED AREAS SHALL BE RELOCATED TO PERVIOUS AREAS



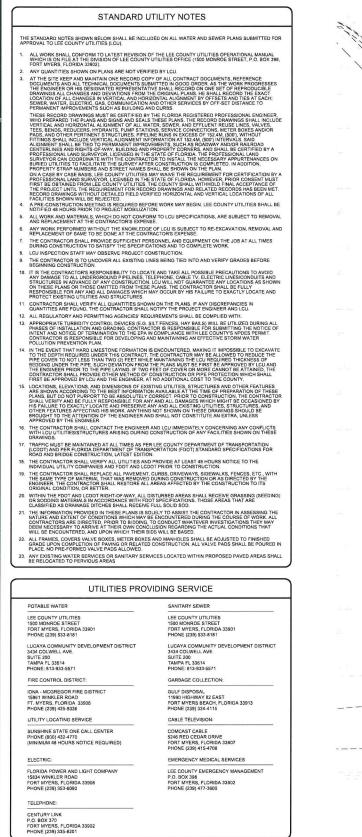


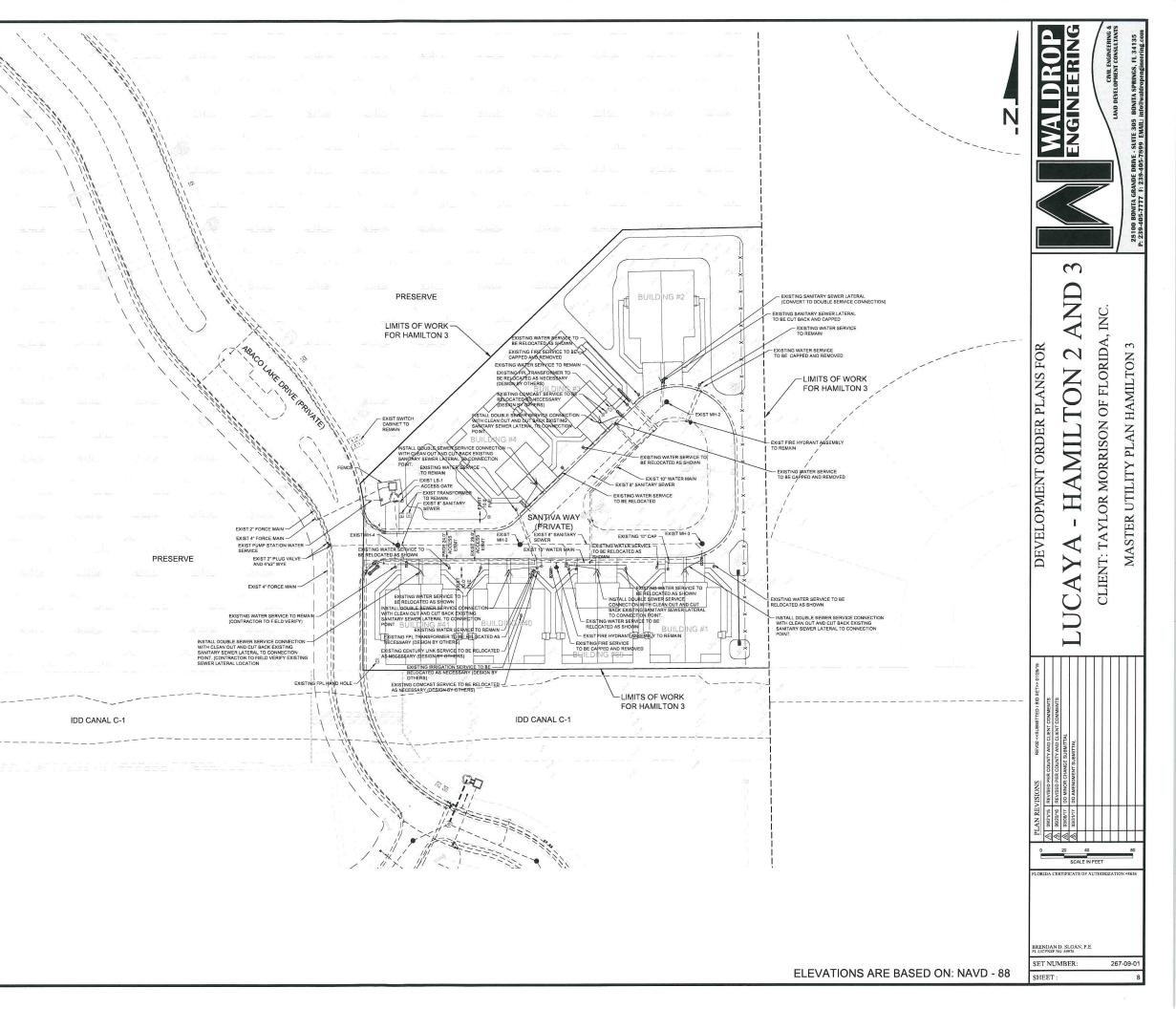
APPROVED A01 AMENDMENT #1

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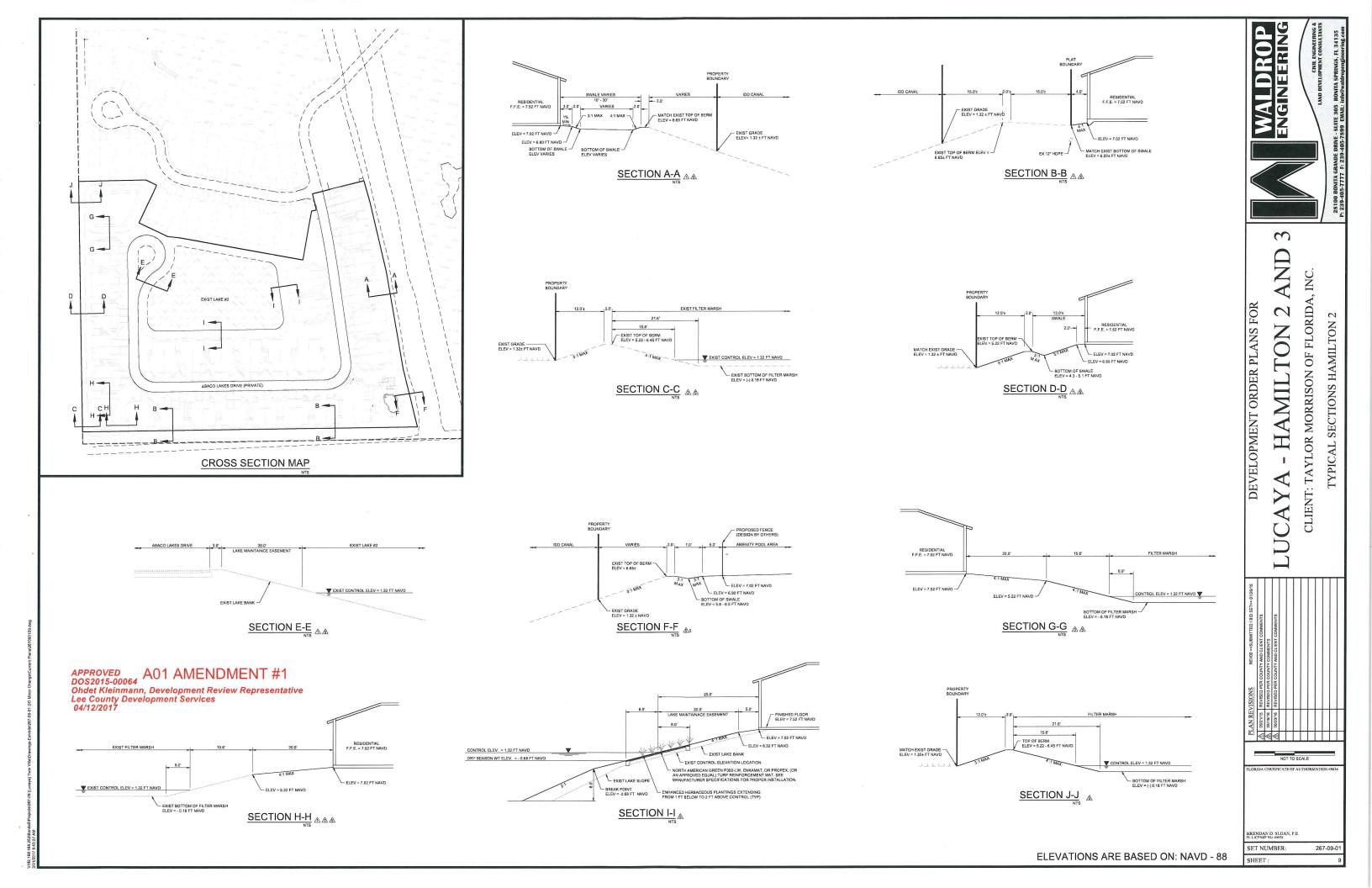
CENTURY LINK P.O. BOX 370 FORT MYERS, FLORIDA 33902 PHONE (239) 335-8201

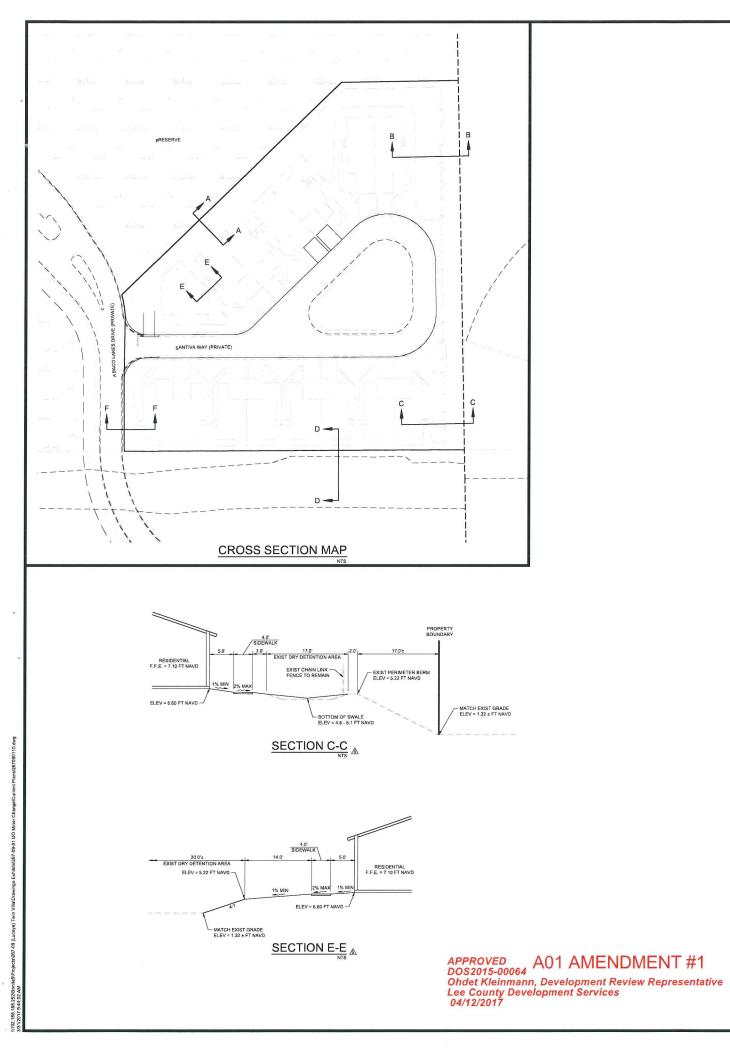


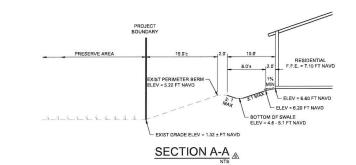


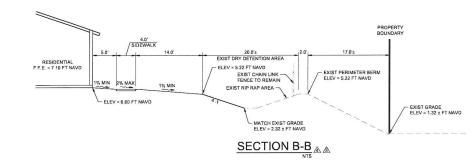


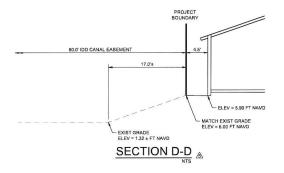
APPROVED A01 AMENDMENT #1 DOS2015-00064 Ohdet Kleinmann, Development Review Representative Lee County Development Services 04/12/2017

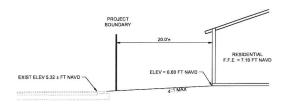






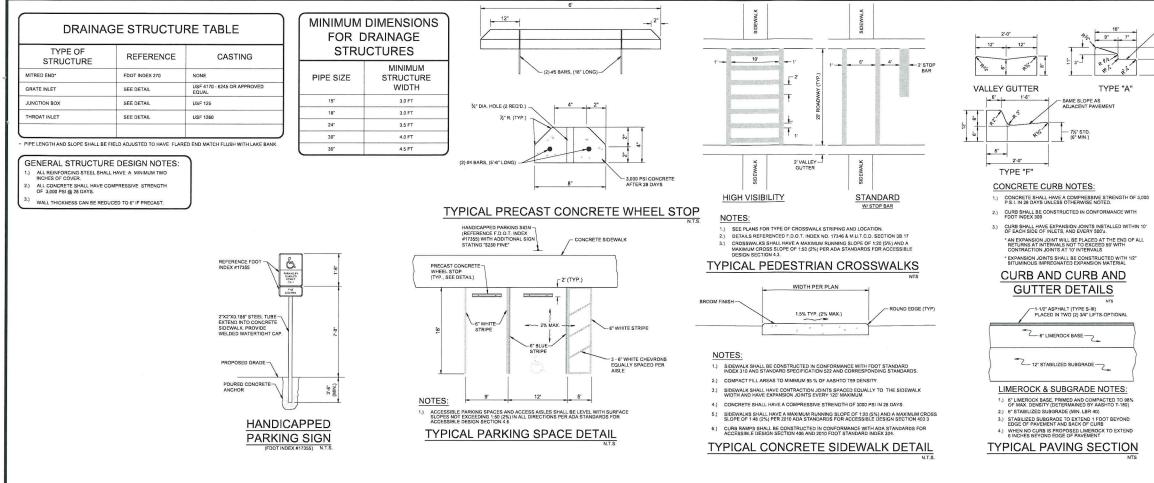


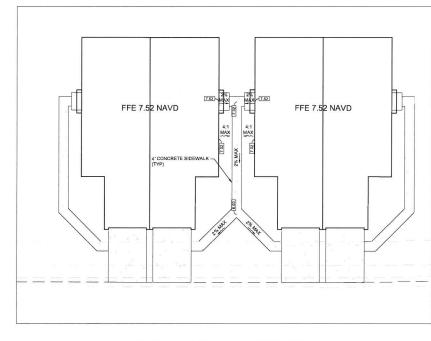




SECTION F-F

		WALUNOT						CIVIL ENGINEERING &	LAND DEVELOPMENT CONSULTANTS		28100 RONITA GRANDE DRIVE . SLITTE 205 RONITA SPRINGS EL 34135	P: 239-405-7777 F: 239-405-7899 EMAIL: info@waldropengineering.com
DEVELOPMENT ORDER PLANS FOR								CLIENT: TATLOR MORKISON OF FLORIDA, INC.			I YPICAL SECTIONS HAMILTON 3	
PLAN REVISIONS REV00 < <submitted bid="" set="">> 01/26/15</submitted>	▲ 09/21/15 REVISED PER COUNTY AND CLIENT COMMENTS	Δ 05/16/16 REVISED PER COUNTY COMMENTS	A 06/20/16 REVISED PER COUNTY AND CLIENT COMMENTS	G A 03/06/17 DO MINOR CHANGE SUBMITTAL	TTC) S00	ALE					
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TYPICAL BUILDING ELEVATIONS

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