

ADMINISTRATIVE INTERPRETATION
LEE COUNTY, FLORIDA

SOUTH SEAS RESORT DEVELOPMENT STATUS

WHEREAS, THE BOARD OF COUNTY COMMISSIONERS OF LEE COUNTY has requested the Director of the Department of Community Development (hereafter "Director") and the County Attorney to summarize and clarify the current status of development of a project known as South Seas Resort on property located on the northern end of Captiva Island, described more particularly as:

LEGAL DESCRIPTION: In Sections 15 and 22, Township 45 South, Range 21 East, Lee County, Florida:

See attached **Exhibit "A"**

Zoning District for South Seas Resort

WHEREAS, Section 2-1 of the Land Development Code (LDC) provides that the Director may make interpretations of an administrative nature concerning the procedure to be followed in unusual circumstances; and

WHEREAS, LDC Section 34-172(b) provides that the Director, in conjunction with the County Attorney's Office has the discretion to interpret and apply the provisions of Chapter 34 of the LDC (Zoning); and

WHEREAS, the Board of County Commissioners of Lee County originally approved a zoning district change for the subject property on November 20, 1973, by adopting Resolution Z-73-202, Case Number 73-10-33, which changed the zoning district for the subject South Seas Resort property from the RU-3 and RU-2 zoning districts to a unique zoning district, described particularly in Resolution Z-73-202 as "RU-3 using a PUD concept as a guid[e] with special limitation of 3 units per acre and special permit for up to 5 acres of commercial property" and, inter alia limited the development density for this zoning district to 912 units; and

WHEREAS, in conjunction with said Resolution the Board of County Commissioners of Lee County approved a master development plan for the South Seas Resort (hereafter 1973 SSRMDP) which detailed existing developed and future development areas within the unique zoning district approved for South Seas Resort or the South Seas Resort District (hereafter SSRD); and

WHEREAS, in 1973 Lee County's zoning regulations did not provide for a Planned Unit Development (hereafter PUD) zoning district classification per se, however, in 1978 the Board of County Commissioners adopted Resolution Z-1 (1978 Zoning Ordinance) revising the

scheme of zoning regulations for Lee County to include a PUD zoning district classification; and

WHEREAS, the 1978 Zoning Ordinance converted conventional RU-3 zoning districts to RM-2 zoning districts, but did not specifically convert the unique SSRD to either an RM-2 or PUD zoning district; and

WHEREAS, the 1978 Zoning Ordinance defined a PUD as:

A tract of land which is developed as a unit under single ownership or control and which is planned and developed in a single operation or within a proposed period of time by a series of scheduled development phases according to an officially approved Final PUD Development Plan, which does not necessarily correspond to the property development and use regulations of the conventional zoning districts but which permits flexibility in building siting, mixtures of housing types and land uses, and encourages the utilization of usable open space and the maintenance of significant natural features.

WHEREAS, in light of the PUD definition provided by the 1978 Zoning Ordinance, converting the SSRD to, or treating the SSRD as an RM-2 zoning district does not further the mutual intention of the Board of County Commissioners and the developers of South Seas Resort evident in Resolution Z-73-202 for the project to be developed as a PUD; and

WHEREAS, the developers of South Seas Resort have developed the subject property similarly to a PUD, in reliance on Resolution Z-73-202; and

WHEREAS, on January 18, 1984, the Lee County Board of County Commissioners adopted Resolution DSO 84-1 reaffirming "[t]here was site plan approval at the time the original P.U.D. was granted;" and granting on appeal an exemption from Development Standards Ordinance 82-42 to allow the relocation of the residential development area identified as Golf Villas on the 1973 SSRMDP from the originally approved location on the *Bay Island Parcel* to the *Resort Area* on the northernmost end of Captiva Island for the development of 68 residential units known as *Land's End Village*; and

WHEREAS, on July 23, 1985, Lee County Zoning and Development Review Division confirmed that, as a result of the developers of South Seas Resort timely applying for and receiving approval for a site plan under the previous F-0015 review procedure, South Seas Resort met the outlined requirements of and was deemed consistent with the Lee Plan; and

WHEREAS, the approved 1985 site plan included, as Sheet 1 of 16, a revised master plan showing as-built and proposed modifications to the 1973 SSRMDP; and

WHEREAS, the Lee County Zoning and Development Review Division outlined and accepted by in a letter dated June 24, 1987, a process for reviewing a detailed plan or plans for a particular development phase for substantial compliance with the SSRMDP, but did not provide for modification or revision of the SSRMDP itself; and

WHEREAS, the Board of County Commissioners of Lee County initiated and approved Resolution Z-90-91 to include particularly described areas of the property comprising the SSRD within the water-dependent overlay of the Lee Plan and provide that those particularly described areas would be treated as Marine Commercial zoning (CM) districts within the SSRD;

See attached Exhibits "B" and "C"

South Seas Resort Master Development Plan (SSRMDP) Amendment Procedure

WHEREAS, the Director is of the opinion that effective administration of requests to modify or change the SSRMDP as this resort destination evolves under the current and evolving zoning regulations necessary to effectively regulate contemporary land development in Lee County requires treating the SSRD similarly to a PUD, in accordance with Article VI, Division 10, Subdivision IV of the LDC; and

WHEREAS, Article VI, Division 10, Subdivision IV of the LDC provides a contemporary context for adequately and effectively regulating future development and administering future requests for development approvals in furtherance of the intention of the Board of County Commissioners and the developers of the South Seas Resort pursuant to Resolution Z-73-202; and

WHEREAS, the 1978 Zoning Ordinance authorized the Director to approve minor changes in the location, siting or height of buildings, structures and improvements authorized by the approved PUD final development plan; and

WHEREAS, the Board of County Commissioners of Lee County in 1989 amended the Zoning Ordinance to provide the Director with greater flexibility to amend PUD final development plans (see Ordinance 89-4); and

WHEREAS, the parameters set forth in Ordinance 89-4 regarding changes to PUD final development plans are currently codified in LDC Section 34-1038, which provides:

For any approved final PUD development plan for a PUD which does not specifically set forth those minor changes that may be approved by the director of the department of community development or any PUD development plan which has not received final approval prior to the effective date of the ordinance from which this subdivision is derived (July 6, 1987), minor changes (amendments) that may be approved by the department director include, in general, any change to the interior of the development which does not increase density or intensity (i.e., number of dwelling units or quantity of commercial or industrial floor area), or which does not decrease buffers or open space. The director shall not approve any change which results in a substantial underutilization of public resources and public infrastructure committed to the support of the development, nor shall the director approve any change which results in a reduction of total open space, buffering,

landscaping and preservation areas, or which adversely impacts on surrounding land uses.

Bayside Villas Lock-off Units

WHEREAS, during the review of South Seas Resort to provide the requested summary and clarification a question arose as to the number of units at *Bayside Villas* and within the SSRD, and Staff determined that 102 of the 912 maximum allowed residential living units were consistently allocated to the development area identified as Bayside Villas; and

WHEREAS, during the course of this review Staff determined that a portion of the 102 residential living units allocated to Bayside Villas have been and are being operated as lock-off accommodations; and

WHEREAS, lock-off accommodations have been regulated by Lee County Ordinances and counted as living units since 1974 (see Lee County Ordinances numbers 74-9, 78-7, and 82-44, and LDC Sec 34-1547); and

WHEREAS, the marking and use of the 102 units allocated to Bayside Villas as more than 102 units is counter to the SSRMDP and the density cap for the SSRD; and

WHEREAS, the developers and operators of South Seas Resort have voluntarily agreed through a Compliance Agreement with the Director to amortize the use of the units at Bayside Villas as lock-off accommodations in a manner acceptable to Lee County;¹ and

Five Acre Commercial Area and 2002 South Seas Resort Master Development Plan (2002 SSRMDP)

WHEREAS, during the review of South Seas Resort to provide the requested clarification a question arose as to the physical extents of the five (5) acres of commercial development permitted by Resolution Z-73-202; and

WHEREAS, at the request of the County, the developers submitted to the County a revised Master Development Plan (hereafter "2002 SSRMDP") showing the current as built/as approved configuration of the SSRD; and

WHEREAS, the 2002 SSRMDP clearly delineates the current extents of the five (5) acres of permitted commercial development within the SSRD and the perimeter boundary of the current extents of this commercial area have been separately described by metes and bounds to facilitate County verification of this acreage:

¹ This Compliance Agreement operates to eliminate separate use of portions of the Bayside Villas units as lock-off units—what are now being marketed as "Standard Sleeper Rooms," "Bayside Executive Studios," and "two-bedroom Bayside Villas". See www.south-seas-resort.com/accommodations/bayside.asp site last visited January 25, 2002.

See attached **Exhibit “D”**

WHEREAS, it is in the best interests of Lee County and the developers of South Seas Resort to summarize and clarify the current status of the South Seas Resort development so as to administer future development approval requests while avoiding possible misunderstandings; and

WHEREAS, the Director of the Department of Community Development has determined and the developers of South Seas Resort have agreed that:

1. Resolution Z-73-202, adopted on November 20, 1973 by the Lee County Board of County Commissioners, established a unique zoning district, hereafter referred to as the South Seas Resort District (SSRD).
2. In conjunction with Resolution Z-73-202, the Board of County Commissioners approved a master development plan, hereinafter South Seas Resort Master Development Plan (SSRMDP). The SSRMDP delineated ten (10) areas as *Beach Homes*, four (4) areas as *Beach Villas*, two (2) areas as *Golf Villas*, and three (3) areas as *Bayside Villas*, a *Golf Course*, *Resort area*, *Commercial area*, *Tennis Villas area*, *Employee Housing area*, *Boat Basin area*, and *Plantation Preserve area* as well as areas of Existing Mangrove. Additionally the approved master plan identified locations for Sewage Treatment & Wastewater Recycling, Boardwalks, an Observation Tower, Indian Mound, golf holes, lakes, roadways, and docking facilities.
3. Contemporaneous to the adoption of Resolution Z-73-202, the developers made the following representations to Lee County Staff, the Zoning Board, the Board of County Commissioners, and the Public, which representations constitute enforceable conditions of the SSRD:
 - a. Development of the SSRD will evolve over a number of years in line with several very basic guidelines: very low density development utilizing a number of small scale clusters; carefully planned and tightly controlled development; preservation of bayou shoreline and mangrove areas; Emphasis on pedestrian traffic, not automobiles.
 - b. The project will be limited to 912 residential units (304 acres at three units per acre) and five (5) acres of commercial development.
 - c. Four (4) miles of mangrove and bayou shoreline will be preserved by clustering higher density into smaller development areas with greenbelt separations.
 - d. A 20 acre *Plantation Preserve* parcel, a natural area to be accessible by wooden walkways that will include instructional stopping points describing the origin and type of vegetation in a bayou area will be set aside.
 - e. Employee housing accommodations will be developed.

4. Since the inception of the SSRD, the developers of South Seas Resort have allocated units to various projects throughout the district and allocated, *inter alia*, 102 units to Bayside Villas and 26 units to the South Seas Plantation Homesites subdivision.
5. On January 18, 1984, the Lee County Board of County Commissioners adopted Resolution DSO 84-1 granting an exemption from the Development Standards Ordinance 82-42 (hereafter "DSO") for the relocation of the Golf Villas from the originally approved location on the *Bay Island Parcel* to the north end of the *Resort Area* for the development of 68 residential units known as *Land's End Village*.
6. In 1985, the developers of South Seas Resort timely requested and received a Lee Plan Consistency Determination. Included with this request were a cover letter, eight (8) page Project Overview, a Tabulation of Dwelling Units at South Seas Resort, and a 16 sheet, 24" x 36" plan package entitled "Construction Plans for South Seas Plantation" (hereafter "1985 plan package"). At that time, the SSRD was deemed consistent with the Lee Plan.
7. The 1985 cover letter noted it was "likely to take an additional three to five years to complete the development in accordance with the approved Master Plan," and that the developer was submitting building permit applications and drawings for review simultaneously.
8. The 1985 Project Overview to some extent reiterated and modified the developer's 1973 representations, providing six (6) guidelines for development, 4 basic types of projects proposed for the final phases of development, a series of descriptions for each individual phase included in the 1985 plan package, and a summary, a Tabulation of Dwelling Units, and an accompanying narrative.
9. The 1985 plan package included the following modifications to the 1973 SSRMDP for the overall plan of development for the SSRD:
 - a. Graphic designations of vegetation were removed. See Sheet 1 of 16.
 - b. The legend was changed from colored to hatched and expanded to include *Beach Homesites, Marina Villas, Commercial, Resort Complex, Employee Housing, Resort Services Facilities*; and *Beach Villas* was modified to *Beach Villas and Plantation Villas*. See Sheet 1 of 16.
 - c. The *Golf Villas* were depicted on the northern end of the northernmost peninsular area (to reflect the relocation of the *Golf Villas* and their development of *Land's End Villas*)² and the golf holes in that area were reconfigured. See Sheet 1 of 16.

² See Resolution DSO 84-1, County Commission Minutes Book 141 pp 34-35

- d. An area designated *Resort Complex* generally corresponding to the Resort area of the 1973 SSRMDP was identified, see Sheet 1 of 16; and a Paving, Grading, Drainage, and Utility Plan for Plantation House II, see Sheet 2 of 16, and a Paving, Grading and Drainage Plan for Harbourside III, see Sheet 3 of 16, and a Utility Plan for Harborside III were provided. See Sheet 4 of 16.
- e. An area on the northern end of the most northeastern peninsula or *Bay Island Parcel* was identified as *Resort Complex*, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for 18 one- and two-story hotel units to be known as *Harbour Pointe*. See Sheet 5 of 16.
- f. A *Marina Villas* area was depicted on the northern peninsula of the land southeasterly and adjacent to the northern Marina and the golf holes in that area reconfigured. See Sheet 1 of 16.
- g. Two areas south of the northern *Resort Complex* area were also designated "Resort Complex," see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for a new *Estate Residence*³ and *Health Club*. See Sheet 6 of 16.
- h. The northern areas designated *Beach Villas and Plantation Villas* were modified from the 1973 SSRMDP to show one smaller area on the east side of the road and one larger area on the west side of the road, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for two 1-1/2 story duplex units identified as *Plantation Bay Villas* on the east side of the road and one four-plex, two stories over parking identified as *Plantation Beach Villas* on the west side of the road. See Sheet 7 of 16. The larger *Beach Villas and Plantation Villas* area on the west side of the road on Sheet 1 of 16 included property not included in the SSRD. Cf. 1973 SSRMDP.⁴
- i. Three new areas, two on the *Plantation East (aka Bay Island) Parcel* and one in the general area of the *Commercial and Bayside Villas* areas of the 1973

³ The *Estate Residence* was erroneously excluded from the Tabulation of Dwelling Units, and thus an additional residential unit should be counted against the total 912 allocation.

⁴ As developed, this northern *Beach Villas and Plantation Villas* area is comprised of two resort residential projects known as *Sandrift* and *Plantation Beach Club* (PBC), with PBC encompassing the majority of the development area. While PBC was developed with a total of 56 total units, a portion of the project—PBC II, Phase 1, an eight (8) unit building—was constructed on a parcel of land acquired by the developers subsequent to the 1973 zoning approval and not included within the SSRD. Thus the total number of PBC units within the SSRD which may be counted against the total 912 allocation is 48 and the 1985 plan package Tabulation of Dwelling Units total of 56 is in error.

SSRMDP were designated *Resort Services Facilities*, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for a Proposed Addition to Sewage Treatment Plant. See Sheet 8 of 16.

- j. The areas designated *Beach Homesites* were modified from the 1973 SSRMDP to show the area platted and developed as South Seas Plantation Beach Homesites, Plat Book 29, Page 106, Public Records of Lee County, Florida. See Sheet 1 of 16.
 - k. The areas designated *Beach Homes* were modified to reflect the as-built development areas. See Sheet 1 of 16.
 - l. The southern area designated *Beach Villas and Plantation Villas* was modified from the 1973 SSPMPD to combine *Beach Homes* and *Beach Villas* development areas. See Sheet 1 of 16.
 - m. The *Commercial* area and the *Tennis Villas* area were revised to generally reverse their positions as shown on the 1973 SSRMDP and *Bayside Villas* was reduced from three (3) areas to two (2) to reflect the as-built development areas, see Sheet 1 of 16, and a Paving, Grading, Drainage, and Utility Plan provided for Chadwick's Commercial, Restaurant, and Meeting Rooms. See Sheet 10 of 16.
 - n. The *Employee Housing* area was revised and modified, see Sheet 1 of 16, and a Paving, Grading, Drainage and Utility Plan provided for Employee Housing/Human Resources and Employee Housing Phase Four. See Sheet 9 of 16.
 - o. Typical Details and Notes with respect to paving, grading, drainage and utilities were also provided. See Sheets 11 through 16 of 16.
10. In 1987, the developers of South Seas Resort, in conjunction with a proposal to County Staff of a procedure for plan review and final inspection in the SSRD in light of the process provided under the DSO and the exemption granted the project under Resolution DSO 84-1, submitted a new overview of the master plan, updating the 1985 Project Overview, and a revised Tabulation of Dwelling Units, updating the 1985 Tabulation of Dwelling Units..
11. The June 24, 1987, Lee County Zoning and Development Review Division letter agreed to a process for reviewing a detailed plan or plans for a particular development site or phase for substantial compliance with the SSRMDP, but did not provide for modification or revision of the SSRMDP itself.
12. As the exemption granted under DSO 84-1 was directed at the relocation of the dwelling units for *Land's End Village*, the procedure outlined in staff's June 24, 1987 letter is no longer an effective procedure under current County standards.

13. Mariner's purchase of the Hanchar property and the variance granted by BZA-86-46 does not affect the total number of units permitted within the SSRD (912), however, construction of Sanddrift (aka Plantation Beach Villas within the SSRD allocated four (4) of the 912 SSRD units to that development.
14. The parcel on which the *Estate Residence* was constructed is within the SSRD and one (1) residential dwelling unit will be counted against the total 912 allocation of dwelling units
15. The *Plantation Beach Club II, Phase 1* building, was constructed on a parcel not included within the SSRD, and the eight (8) units it contains will not be counted against the total 912 allocation of dwelling units.
16. The current allocation of units to the various development areas is:

<u>Area Name</u>	<u>Number of Units</u>
1. Bayside Villas	102
2. Tennis Villas	60
3. Employee Housing	140
4. Beach Villas	160
5. Beach Cottages	26
6. Beach Homes	33
7. Beach Homesites	26 ⁵
8. Sandrift (aka Plantation Beach Villas)	4
9. Plantation Beach Club	48
10. Plantation Bay Villas	4
11. Marina Villas	40
12. Harbourside Villas	107
13. The South Seas Club	24
14. Cottages at South Seas Plantation	14
15. Plantation House Phase I	12
16. Seabreeze (aka Plantation House Phase II)	8

⁵ The developers of the South Seas Resort have allocated 26 units to the Beach Homesites area. Only 24 units have been constructed to date. In 1999, the Lee County Hearing Examiner granted Lot 21 of this subdivision a variance from the building height limitations of LDC Section 34-2175(2). VAR963127 aka 99.05.144.05V 01.01. LDC Section 34-2175(2) was subsequently amended to prohibit such grant of variance. Lee County Ordinance 99-13.

17. Land's End Village (aka Golf Villas)	68
18. Estate Residence	1
19. Harbour Pointe	18
TOTAL ALLOCATED DWELLING UNITS	895
TOTAL APPROVED DWELLING UNITS	912
TOTAL DEVELOPED DWELLING UNITS	877 ⁶
TOTAL UNDEVELOPED DWELLING UNITS	35

17. There is evidence to conclude that, when used as lock-off units, Bayside Villas provides more than the 102 units allocated to that development phase by the current schedule allocating the 912 SSRD units.
18. The use of lock-off units on Captiva Island is regulated by LDC Section 34-1547.
19. It is in the best interests of the developers and operators of South Seas Resort and Lee County that the design and use as lock-off accommodations of the 102 units allocated to Bayside Villas be amortized. The developers of South Seas Resort have proposed and the County has agreed to a program for timely amortization of the design and use of these units as lock-off accommodations through a Compliance Agreement acceptable to the County.
20. The County-initiated zoning action memorialized by Resolution Z-90-91 established within the SSRD two (2) specific water-dependent overlay Marine Commercial (CM) zoning districts as a part of the SSRD, but that zoning action had no effect on the density or number of units approved within the SSRD.
21. LDC Section 34-1038 provides an effective procedure for reviewing proposed modifications or revisions to the SSRMDP and SSRD for compliance with Chapter 34 of the LDC.

WHEREAS, THE PURPOSE OF THIS ADMINISTRATIVE INTERPRETATION IS TO SUMMARIZE AND CLARIFY ALL PRIOR APPROVALS INTO ONE COMPREHENSIVE DOCUMENT DETAILING WHAT DEVELOPMENT CURRENTLY EXISTS, CLARIFY WHAT ADDITIONAL DEVELOPMENT MAY BE PERMITTED, AND PROVIDE FOR A REASONABLE METHOD FOR THE COUNTY TO REVIEW REQUESTS FOR FUTURE DEVELOPMENT APPROVALS TO MODIFY OR CHANGE THE MASTER DEVELOPMENT PLAN ADOPTED BY RESOLUTION Z-73-202;

NOW, THEREFORE, the Director of Community Development has determined:

⁶ Of the 877 developed units, to date only 875 have been constructed. Supra note 5.

1. The development of 912 residential units within the SSRD, the extents of which are described in attached Exhibit "A," together with the following Tabulation of Dwelling Units for the allocation of these dwelling units within the SSRMDP is approved:

<u>Area Name</u>	<u>Number of Units</u>
1. Bayside Villas	102
2. Tennis Villas	60
3. Employee Housing	140
4. Beach Villas	160
5. Beach Cottages	26
6. Beach Homes	33
7. Beach Homesites	26 ⁷
8. Sandrift (aka Plantation Beach Villas)	4
9. Plantation Beach Club	48
10. Plantation Bay Villas	4
11. Marina Villas	40
12. Harbourside Villas	107
13. The South Seas Club	24
14. Cottages at South Seas Plantation	14
15. Plantation House Phase I	12
16. Seabreeze (aka Plantation House Phase II)	8
17. Land's End Village (aka Golf Villas)	68
18. Estate Residence	1
19. Harbour Pointe	18
TOTAL APPROVED ALLOCATED DWELLING UNITS	895
TOTAL APPROVED DWELLING UNITS	912
TOTAL DEVELOPED DWELLING UNITS	877⁸

⁷ Id.

⁸ Id.

2. The existing commercial development within a 5 acre area the perimeter boundaries of which are described in attached Exhibit "D" is approved.
3. The existing Marine Commercial development within the two areas, the perimeter boundaries of which are described in attached Exhibits "B" and "C" is approved.
4. Except as specifically conditioned herein, the following development standards applicable to the SSRD, based on standards that have been applied since its inception in 1973 are approved:
 - a. **Open space:** Of the 304± acres⁹ that make up the SSRD, approximately one third is set aside as open space (this 100+ acres includes now privately owned uplands, wetlands, and submerged lands). Additionally there is an allocation of open space for those lands seaward of the coastal construction control line, currently in excess of 15 acres. The South Seas Golf Course and other recreational lands supplement the beachfront and preservation land categories such that a minimum of 50% (approximately 152 acres) of the overall property is allocated to Open Space. Therefore, no minimum amount of Open Space is required per individual parcel.
 - b. **Landscape:** Emphasis will be placed on the use of native species. Canopy trees for shading and trees and/or shrubs for the screening of service areas or for privacy will be used to the extent possible. The final plant selection and placement shall be at the discretion of the owner working in concert with County staff. The use of invasive exotics is prohibited.
 - c. **Buffers:** There will be a natural (mostly mangrove) shoreline buffer along the bay waters of the SSRD. Specifically, that natural buffer shall be a minimum of 35' wide (except to the extent that the existing South Seas Road or Bay Drive (leading to Harbour Pointe) may currently encroach into and therefore reduce that 35' buffer). Where it is within or proximate to approved development areas, the natural buffer may be subject to a number of existing small openings as necessary for helicopter, vehicular, boat, pedestrian, and/or utility access, and trimming in accordance with State Standards for Mangrove Trimming where permitted. There is no buffer required along the bay waters extending from the southeasterly tip of the Harbour Pointe site continuing across the marina entrance channel and along the bay waters to Redfish Pass. There shall be no

⁹ The developers have had the property surveyed since 1973 and the greater accuracy of contemporary surveying has determined that the overall acreage is greater than indicated in 1973. This new, larger total acreage does not in any way modify the total maximum of 912 residential dwelling units permissible in the SSRD.

required minimum buffer between residential parcels internal to the development.

- d. **Setbacks:** Captiva Drive Southwest—minimum 25' to edge of right-of-way.
South Seas Road—minimum 10' to edge of pavement, excluding security building, signs, walls and other entrance features, when consistent with LDC site visibility requirements.
Internal Driveways—no minimum setbacks required
Building to External Property Line:
 —minimum 10' with minimum 6' high wall and vegetation buffer
 —minimum 15' with minimum 6' high wall or vegetation buffer
 —minimum 20' without wall or vegetation buffer
Building to Internal Property Line—no minimum setback required
Building to Bay Waters
 —minimum 25' setback from mean high tide line
Building to Waters of Gulf of Mexico
 —minimum 50' from mean high tide line
Building to Natural or Manmade Lake, Pond, Bayou, Canal, or Marina
 —no minimum setback required for buildings redeveloped within existing building footprints; 25' for any new buildings.
Building to Building Separation
 —minimum 10' separation unless additional separation is required by Building/Fire Code
Accessory Structures including Fences and Walls
 —for walls or structures 8' or less in height above grade. No minimum setback required
 —for walls or structures over 8' in height above grade, the setback shall be the same as set forth above for Buildings, except as to water bodies where there will be no setbacks required.
 —there shall be no minimum required separation between walls and accessory structures or one accessory structure and another.
- e. **Building Heights:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code) maximum height to the top of a parapet wall, roof, or mid-point of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building at its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic impact statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via

Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for information purposes only. Approval of TIS is not a precursor to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this interpretation.

- g. **Parking:** (These standards recognize the developers long standing commitments to transportation alternatives to the automobile on Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of daily free tram service.)

General

–Individual parking spaces will be no less than 9' wide by 18' deep.

–The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.

–Any proposed reduction or reconfiguration of the as-built/as approved parking spaces provided contemporaneous to this interpretation is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort uses as required below.

Residential

–Single family/duplex will have a minimum of 2 off-street parking spaces per unit.

–Multi-family housing (whole ownership/timeshare/etc) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.

–Hotel/Motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.

Commercial

–Activities/facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course, tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.

–Activities/facilities within the designated five (5) acre Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum of 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other back of house areas and service facilities).

- h. **Construction Standards (other than for buildings):**

–Roads, driveways, walks, bike paths, seawalls, etc. shall be built in accordance with sound engineering design standards typical of those facilities

constructed within the SSRD during the past 28 years, subject to review and approval by County staff through the limited review development order process.

i. **Stormwater Management:**

–The standards of the existing approved SSRMDP as authorized and permitted by the South Florida Water Management District, or as they may be amended in the future, shall govern the surface water management elements of future development in the SSRD.

j. **Other:** Except as otherwise noted herein, the applicable standards of the Lee County Land Development Code shall apply within the SSRD

5. The 2002 SSPMPD, as revised July 22, 2002, stamped approved July 30, 2002, is approved **with the following conditions:**

- a. Current and future development within the SSRD will
1. be limited to a development density of 912 units utilizing a number of small scale clusters;
 2. be carefully planned and tightly controlled;
 3. provide for a self-support capability in terms of facilities and service needed;
 4. emphasize pedestrian movement, not automobile traffic;
 5. preserve shoreline and mangrove areas, including 2.5 miles of beach, 3.5 miles of bayou shoreline, and 20 acres of *Plantation Preserve* mangrove forest; and
 6. demonstrate leadership in rational development techniques in advance of proposed or enacted legislation; and
 7. provide and maintain a balance of dwelling units, amenities, and service facilities for the benefit of the entire community (SSP owners and guests, Captiva, and Lee County).

b. The final phases of development in the SSRD include three (3) basic types of projects in accordance with the SSRMDP and the allowed limits:

1. upgrading of resort service facilities;
2. development of small scale clusters of residential units;
3. Improvements to guest facilities.

These include development and redevelopment of resort service facilities and guest facilities, including utilities and other infrastructure.

c. The Beach Pavilion described in the 1985 plan package is not approved

d. Other than as discussed in the letter from the Lee County Attorney's Office dated June 11, 1992, no wetland impacts are authorized by the SSRMDP. Prior to proposing amendments to the SSRMDP for development that may

encroach on wetlands—including but not limited to any expansion of the Harbour Pointe development area—the developers will initiate an environmental study adequate to evaluate the feasibility of such development in wetlands.

- e. The reallocation of any of the currently existing dwelling units or the development of the unallocated dwelling units is permissible by administrative action if such reallocation or development accords with the requirements of LDC Section 34-1038(a)
 - f. Guest access and resort services to the *Harbour Pointe* development area will be via launch from the existing northern marina, and the existing service road will be used for emergency access.
 - g. Employee housing will be provided and included in the total approved dwelling units in the SSRD.
6. This Administrative Interpretation and the attached 24" x 36" set of plans, entitled **2002 Master Development Plan South Seas Resort** bound together with all attendant plan sheets, signed by the Director and comprises the SSRMDP, in attached Exhibit "E".
7. To memorialize this Administrative Interpretation and guide future development review in accordance with this Interpretation, the Official and Current Zoning Maps will be revised to label the SSRD and a note added to reference this Interpretation.
8. Proposed revisions to the approved 2002 SSRMDP will be reviewed as changes to a PUD master development plan in accordance with LDC Section 34-1038.
9. Plan review and inspections for future specific development approval requests will be reviewed for consistency with the SSRMDP under the provisions of the LDC, however, these requests will be reviewed as limited review development orders. At the discretion of the Director, a given development approval request may be required to be submitted as a full development order.

DULY SIGNED this 30th day of July, A.D., 2002.

BY: Mary Gibbs
Mary Gibbs, Director
Department of Community Development

APPROVED AS TO FORM BY: Timothy Jones
Timothy Jones
Assistant County Attorney

LEGAL DESCRIPTION
SOUTH EAS PLANTATION - CAPTIVA ISLAND
SCHEDULE "A"

October 23, 1973

PARCEL 1: Hunt

A lot or parcel of land lying in Government Lot 1, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run along a road North 23° 54' 30" West for 39.1 feet and North 8° 50' 00" West for 673.6 feet to a point from which an artesian well bears South 43° 42' East distant 49.8 feet; thence run North 7° 40' 00" West for 886.2 feet passing over an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run North 89° 52' East for 96.4 feet; South 38° 52' West for 33.6 feet; South 0° 08' East for 62.92 feet; South 51° 08' East for 109.4 feet; thence North 38° 52' East for 175 feet to the point of beginning of the lands hereby conveyed.

From said point of beginning run South 38° 52' West for 175 feet; South 51° 08' East for 91 feet North 38° 52' East for 122.2 feet; and North 54° 42' East for 84 feet more or less to the waters of Pine Island Sound; thence run Northwesterly along said waters to an intersection with a line through the point of beginning bearing North 80° 52' East; thence run South 80° 52' West for 51 feet more or less to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 4 shown on the plat attached to instrument recorded in the Public Records of Lee County, Florida, in Miscellaneous Book 31 at page 225. All bearings hereinabove mentioned are plane coordinate for the Florida West Zone.

PARCEL 2: Kincaid

A lot or parcel of land lying in Government Lot 1, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run along a road North 23° 54' 30" West for 39.1 feet and North 8° 50' 00" West 673.6 feet to a point from which an artesian well bears South 43° 42' East distant 49.8 feet; thence run North 7° 40' 00" West for 886.2 feet, passing over an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run North 89° 52' East for 96.4 feet; South 38° 52' West for 33.6 feet, South 0° 08' East for 62.92 feet; South 51° 08' East for 34.4 feet and North 38° 52' East for 175 feet to the point of beginning of the lands hereby conveyed.

From said point of beginning run South 38° 52' West for 175 feet, South 51° 08' East for 75 feet, North 38° 52' East for 175 feet and

October 23, 1973

North 80° 52' East for 51 feet more or less to the waters of Pine Island Sound; thence run Northwesterly along said waters to an intersection with a line through the point of beginning bearing North 80° 52' East; thence run South 80° 52' West along said line for 65 feet more or less to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 3 shown on the plat attached to instrument recorded in the Public Records of Lee County, Florida, in Miscellaneous Book 31, at page 215. All bearings hereinabove mentioned are plane coordinate for the Florida West Zone.

PARCEL 3: Captiva Island Company

Government Lot 1, Section 22, Township 45 South, Range 21 East, Captiva Island, Lee County, Florida, excepting therefrom the following described parcels:

From a concrete post on the South line of Government Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West along the West side of a public road for 39.1 feet; thence run North 08° 50' 00" West for 673.6 feet to a point from which an artesian well bears South 43° 42' 00" East a distance of 49.3 feet; thence run North 07° 40' 00" West for 886.2 feet passing through an iron pipe at 799.2 feet; thence run North 77° 03' 30" East for 395.5 feet to an iron pin set in concrete; thence run South 00° 08' 00" East for 63.1 feet; thence run North 89° 52' 00" East for 75.25 feet; thence run South 00° 08' 00" East for 25.92 feet; thence run South 51° 08' 00" East for 34.4 feet; thence run North 38° 52' 00" East for 175.00 feet to the point of beginning of the herein described exception. From said point of beginning run South 38° 52' 00" West for 175.00 feet; thence run South 51° 08' 00" East for 166 feet; thence run North 38° 52' 00" East for 122.2 feet; thence run North 54° 42' 00" East for 84 feet, more or less, to the waters of Pine Island Sound, passing through an iron pin at 76.3 feet; thence run Northwesterly along said waters to an intersection with a line bearing North 80° 52' 00" East passing through the point of beginning; thence run South 80° 52' 00" West for 65 feet more or less, to the point of beginning passing through an iron pin at 55 feet from said point of beginning.

ALSO excepting therefrom the following described parcel:

From said concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to the Easterly side of a public road by user 30 feet wide; thence run North 22° 04' 40" West along said public road for 6.38 feet; thence run North 12° 19' West along said Easterly side for 386.16 feet to the point of beginning of the herein described exception. From said point of beginning run North 8° 50' West along said Easterly line for 136.24 feet; thence run North 89° 27' East for 227 feet, more or less, to the waters of a bayou; thence run Southeasterly along said waters to an inter-

October 23, 1973

section with a line bearing North 89° 27' East passing through the point of beginning; thence run South 89° 27' West for 243 feet, more or less to the point of beginning.

ALSO excepting therefrom the following described parcel:

Beginning at a concrete post on the South line of Government Lot 1, near the West shore of Bryant Bayou run North 81° 30' 10" West along said South line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to said Easterly side of said public road 30 feet wide; thence run North 22° 04' 40" West along said Easterly side for 6.38 feet; thence run North 12° 19' West along said Easterly side for 284.01 feet; thence run North 89° 27' East for 288 feet, more or less, to the waters of Bryant Bayou; thence run Southerly along said waters to an intersection with the said South line of Government Lot 1; thence run North 81° 30' 10" West for 20 feet, more or less, to the point of beginning.

NOTE: shore shown on original as short

ALSO excepting therefrom the following described parcel:

From said concrete post on the South line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.40 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to a point on the Westerly side of said road and the point of beginning of the herein described exception. From said point of beginning run North 12° 19' West for 346.27 feet; thence run North 08° 50' West along said West line for 251.50 feet to the Southeast corner of a pedestrian easement 30 feet wide as described in Official Record Book 22 at page 486 of said Public Records; thence run South 89° 27' West along said South line of said easement for 390 feet more or less to the waters of the Gulf of Mexico; thence run Southerly along said waters to an intersection with the South line of Government Lot 1; thence run Easterly along said South line of Government Lot 1 to the Westerly line of said public road; thence run Northerly along said Westerly line to the point of beginning.

ALSO:

A parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East which lot or parcel is described as follows:

From a concrete post on the North line of said Government Lot 3 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to an iron pin on the West side of a public road; thence run South 12° 19' 00" East along said West line of said public road for 43.40 feet; thence run South 22° 04' 40" East along said West line for 444.34 feet to the point of beginning of the lands herein described. From said point of beginning continue South 22° 04' 40" East along said West line for 146.79 feet; thence run South 00° 27' 00" East along said West line for 165.64 feet; thence run South 89° 27' 00" West along the North line of the lands conveyed by deed recorded in Official Record

October 23, 1973

Book 49 at page 422, of said Public Records, parallel with and 800.00 feet North of the South boundary of the lands conveyed by Deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records for 290 feet, more or less, to the waters of the Gulf of Mexico, passing through an iron pin at 200.17 feet; thence run Northwesterly along said waters to an intersection with a line bearing South 89° 27' 00" West passing through the point of beginning; thence run North 89° 27' 00" East along said line along the South line of the lands conveyed by deed recorded in Deed Book 260 at page 76 of said Public Records for 402 feet, more or less, to the point of beginning passing through an iron pin at 365.25 feet from the point of beginning.

ALSO:

A parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the North line of said Government Lot 3 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 57.4 feet; thence run North 23° 54' 30" West for 39.1 feet to an iron pin on the West side of a public road; thence run South 12° 19' 00" East along said West line of said public road for 43.40 feet; thence run South 22° 04' 40" East along said West line for 591.13 feet; thence run South 0° 27' 00" East along said West line for 265.64 feet to the point of beginning of the lands herein described. From said point of beginning continue South 0° 27' 00" East along said West line for 100 feet; thence run South 89° 27' West for 223 feet, more or less, to the waters of the Gulf of Mexico; thence run Northwesterly along said waters to an intersection with a line bearing South 89° 27' West along said line along the South line of the lands conveyed by deed recorded in Official Record Book 49 at page 422 of said Public Records for 260 feet, more or less, to the point of beginning.

ALSO:

A parcel of land lying in Governments Lots 3 and 4, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the North line of said Lot 1 near the West shore of Bryant Bayou, run North 81° 30' 10" West along said lot line for 220.4 feet to a concrete post; thence continue on the same course for 32.57 feet to the Easterly side of a public road; thence run South 22° 04' 40" East along said Easterly line for 447.23 feet to the point of beginning of the lands herein described. From said point of beginning continue Southeasterly and Southerly along said Easterly line of said public road to an intersection with the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records; thence run North 89° 27' East along said South line and an Easterly prolongation to the East line of said Section 22; thence run North along said East line to the Northeast corner of Government Lot 4; thence run North 81° 30' 10" West to the Westerly shore of Bryant Bayou; thence run Southerly along said West shore to an intersection with a line bearing North 89° 27' East passing through the point of beginning; thence run

October 23, 1973

South 89° 27' West along said line for 182 feet, more or less, to the point of beginning.

ALSO:

All that part of said Government Lot 4 and Government Lot 5 of said Section 22 lying Southerly of said South line of the lands described in Deed Book 209 at pages 71 and 72 of said Public Records and lying Easterly of a Northerly arm of Chadwick Bayou.

ALSO:

All of Government Lot 1, Section 23, Township 45 South, Range 21 East.

ALSO:

All of the submerged lands of Pine Island Sound and Chadwick Bayou lying between the Mean High Water Line and the bulkhead line approved by the Board of Lee County Commissioners of Lee County, Florida, on May 22, 1968, which bulkhead line is more particularly described as follows:

From the unsurveyed corner common to Sections 22, 23, 26 and 27, Township 45 South, Range 21 East, run North 8° 29' 50" East along the line common to Sections 22 and 23 for 1435.7 feet to an intersection with an Easterly prolongation of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the Public Records of Lee County; thence run South 89° 27' West along said prolongation for 710.82 feet to an intersection with the bulkhead line as recorded in County Commission Minute Book 23 at pages 54 A-D of said Public Records and the point of beginning of the herein described bulkhead line. From said point of beginning run Northerly and Northwesterly along the arc of a curve to the left of radius 100.94 feet (chord bearing North 45° 34' 40" West) for 179.11 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 73 feet (chord bearing North 53° 28' 50" West) for 109.39 feet to a point of tangency; thence run North 10° 33' West for 126.80 feet to a point of curvature; thence run Northwesterly, Northerly, Northeasterly, Easterly and Southeasterly along the arc of a curve to the right of radius 35 feet (chord bearing North 66° 57' 00" East) for 94.68 feet to a point of reverse curvature; thence run Southeasterly along the arc of a curve to the left of radius 191.45 feet (chord bearing South 54° 18' East) for 125.30 feet to a point of tangency; thence run South 73° 03' 00" East for 163.07 feet to a point of curvature; thence run Southeasterly along the arc of a curve to the right of radius 150 feet (chord bearing South 45° 25' 30" East) for 144.64 feet to a point of tangency; thence run South 17° 48' East for 130 feet; thence run Southeasterly, Southerly and Southwesterly along the arc of a curve to the right of radius 150 feet (chord bearing South 9° 57' West) for 145.30 feet to a point of reverse curvature; thence run Southwesterly, Southerly and Southeasterly along the arc of a curve to the left of radius 150 feet (chord bearing South 0° 31' 20" East) for 200.13 feet to a point of tangency; thence run South 38° 44' 40" East for 145.60 feet to a point of curvature; thence run Southeasterly along the arc of a curve to the right of radius 680 feet (chord bearing South 20° 09' 40" East) for 441.10 feet to a point of reverse curvature; thence run Southeasterly and Easterly along the arc of

October 23, 1973

a curve to the left of radius 241.48 feet (chord bearing South 39° 41' 20" East) for 321.25 feet to a point of tangency; thence run South 77° 48' 00" East for 425.21 feet to a point of curvature; thence run Southeasterly, Easterly and Northeasterly along the arc of a curve to the left of radius 250 feet (chord bearing North 58° 27' East) for 381.79 feet to a point of tangency; thence run North 14° 42' 00" East for 244 feet to a point of curvature; thence run Northeasterly along the arc of a curve to the left of radius 200 feet (chord bearing North 5° 12' East) for 66.52 feet to a point of tangency; thence run North 4° 18' West for 286 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 200 feet (chord bearing North 13° 53' 30" West) for 66.96 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 397.28 feet (chord bearing North 4° 04' 00" West) for 269.26 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the left of radius 175.97 feet (chord bearing North 10° 34' 30" West) for 159.24 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the right of radius 540 feet (chord bearing North 16° 37' 30" West) for 374.63 feet to a point of reverse curvature; thence run Northwesterly along the arc of a curve to the left of radius 220 feet (chord bearing North 4° 22' 30" West) for 58.56 feet to a point of tangency; thence run North 12° West for 638 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 150 feet (chord bearing North 23° West) for 57.60 feet to a point of tangency; thence run North 34° West for 290.84 feet to an intersection with said line common to Sections 22 and 23 at a point 122.0 feet North of the Southeast corner of Government Lot 1 of said Section 22; thence continue North 34° West for 690.39 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the right of radius 500 feet (chord bearing North 32° 53' 55" West) for 19.22 feet to a point of tangency; thence run North 31° 47' 50" West for 591.34 feet to a point of curvature; thence run Northwesterly along the arc of a curve to the left of radius 1400 feet (chord bearing North 35° 16' West) for 169.55 feet to a point of tangency; thence run North 38° 44' 10" West for 497.24 feet to a point of curvature; thence run Northwesterly, Westerly and Southwesterly along the arc of a curve to the left of radius 25 feet (chord bearing North 89° 56' 05" West) for 44.68 feet more or less to an intersection with the Mean High Tide Line on the Easterly shore of Captiva Island and the end of the herein described bulkhead line.

ALSO:

The following described real estate, situate, lying and being in Lee County, Florida, to-wit:

All of Government Lot 3, Section 15, Township 45 South, Range 21 East.

ALSO:

A tract or parcel of land lying in Sections 22, 26 and 27, Township 45 South, Range 21 East, Lee County, Florida, more particularly described as follows:

October 23, 1973

From the corner common to Sections 22, 23, 26 and 27, of said township and range, run North $81^{\circ} 30' 10''$ West along the North line of said Section 27 for 230.95 feet to the point of beginning of the lands herein described. From said point of beginning run South $18^{\circ} 15' 20''$ West along the bulkhead line as approved by the Lee County Board of Commissioners on May 8, 1963 and approved by the Trustees of the Internal Improvement Fund on June 18, 1963 for 466.75 feet; thence run South $10^{\circ} 42' 40''$ East along said bulkhead line for 942.39 feet to a point on the East line of said Section 27, which point bears South $08^{\circ} 29' 50''$ West and is 1349.83 feet South of the Northeast corner of said Section 27; thence continue South $10^{\circ} 42' 40''$ East along said bulkhead line in said Section 26 for 938.72 feet to a point of curvature; thence run Southeasterly, Easterly, and Northeasterly along said bulkhead line along the arc of a curve to the left of radius 430 feet (chord bearing South $66^{\circ} 09' 00''$ East) for 832.11 feet to a point of tangency; thence run North $58^{\circ} 24' 50''$ East along said bulkhead line for 205.81 feet to a point of curvature; thence run Northeasterly Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 185 feet (chord bearing North $13^{\circ} 24' 50''$ East) for 290.60 feet to a point of compound curvature; thence run Northwesterly along said bulkhead line, along the arc of a curve to the left of radius 325 feet (chord bearing North $51^{\circ} 29' 50''$ West) for 225.88 feet to a point of reverse curvature; thence run Northwesterly, Northerly and Northeasterly along said bulkhead line along the arc of a curve to the right of radius 185 feet (chord bearing North $28^{\circ} 07' 10''$ West) for 279.54 feet to a point of reverse curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 225 feet (chord bearing North $01^{\circ} 56' 10''$ West) for 134.34 feet to a point of reverse curvature; thence run Northwesterly, Northerly, Northeasterly, Easterly and Southeasterly along said bulkhead line along the arc of a curve to the right of radius 227.37 feet (chord bearing North $57^{\circ} 27' 20''$ East) for 607.13 feet to a point of compound curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 1485 feet (chord bearing South $21^{\circ} 34' 00''$ East) for 1269.01 feet; thence run South $02^{\circ} 54' 50''$ West along said bulkhead line for 695 feet to a point of curvature; thence run Southwesterly, Southerly and Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135 feet (chord bearing South $22^{\circ} 05' 10''$ East) for 117.81 feet to a point of reverse curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 80 feet (chord bearing South $00^{\circ} 24' 50''$ West) for 132.65 feet to a point of reverse curvature; thence run Southwesterly and Southerly along said bulkhead line along the arc of a curve to the left of radius 180 feet (chord bearing South $30^{\circ} 58' 30''$ West - chord distance 104.85 feet) for 106.39 feet to an intersection with an Easterly prolongation of the Northerly boundary of the lands conveyed by deed recorded in Deed Book 130 at page 21 of the Public Records of Lee County; thence run North $88^{\circ} 35' 50''$ West along said Northerly boundary for 502.64 feet; thence run South $2^{\circ} 37' 50''$ West along the Westerly boundary

October 23, 1973

of the lands conveyed by said Deed Book 130 at page 21 for 450.40 feet; thence run South $83^{\circ} 13' 30''$ East along the Southerly boundary of the lands conveyed by said Deed Book 130 at page 21 for 41.54 feet to an intersection with the West right of way of a 30 foot easement for roadway purposes as recorded in Official Record Book 1216 at pages 1789 and 1790 of the Public Records of Lee County; thence run South $2^{\circ} 51' 50''$ West along said West right of way for 226.03 feet to an intersection with the Northerly right of way of a 30 foot public road dedicated by deed recorded in Deed Book 54 at page 540, Public Records of Lee County; thence run along said Northerly right of way for 808.13

- NOTE:
1. 450.40 shown on original as 250.40
 2. easement for roadway purposes as recorded in Official Record Book 1216 at pages 1789 and 1790 shown on original as public road dedicated by deed recorded in Deed Book 5 at page 70
 3. 808.13 shown on original as 608

feet to an intersection with the East boundary of G.W. Bryant's Addition to Gulf View Captiva Island as recorded in Plat Book 3 at page 21, Public Records of Lee County; thence run North $12^{\circ} 48' 10''$ East along said East boundary for 8.41 feet to the Northerly right of way of Binder Avenue as recorded in said G. W. Bryant's Addition to Gulf View Captiva Island; thence run North $77^{\circ} 11' 50''$ West along said Northerly right of way of Binder Avenue for 358.28 feet to an intersection with the Easterly right of way of a 30 foot public road, also being the East boundary of Gulf View Subdivision as recorded in Plat Book 3 at page 8, Public Records of Lee County; thence run North $16^{\circ} 51' 30''$ West along said Easterly right of way of a 30 foot public road for 650 feet, more or less, to the waters of the Gulf of Mexico; thence run Northwesterly along said waters of the Gulf of Mexico for 4550 feet, more or less, to an intersection with the South line of the lands described in Deed Book 209 at pages 71 and 72; thence run North $89^{\circ} 27' 00''$ East along said South line for 680 feet, more or less, to an intersection with the aforementioned approved bulkhead line; thence run Southwesterly along said bulkhead line along the arc of a curve the right of radius 100.94 feet (chord bearing South $0^{\circ} 24' 50''$ West - chord distance 17.04 feet) for 17.06 feet to a point of tangency; thence run South $5^{\circ} 15' 20''$ West along said bulkhead line for 94.28 feet to a point of curvature; thence run Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135.00 feet (chord bearing South $16^{\circ} 44' 40''$ East - chord distance 101.14 feet) for 103.67 feet to a point of tangency; thence run South $38^{\circ} 44' 40''$ East along said bulkhead line for 390.00 feet to a point of curvature; thence run Southeasterly along said bulkhead line along the arc of a curve to the right of radius 620.00 feet (chord bearing South $10^{\circ} 14' 40''$ East - chord distance 591.68 feet) for 638.44 feet to a point of tangency; thence run South $18^{\circ} 15' 20''$ West along said bulkhead line for 317.84 feet to the point of beginning.

ALSO:

A tract of submerged land lying offshore in Sections 22, 26 and 27, Township 45 South, Range 21 East, Lee County, Florida, more particularly described as follows:

October 23, 1973

From the corner common to Sections 22, 23, 26 and 27, said Township and Range, run North 81° 30' 10" West along the North line of said Section 27 for 230.95 feet to the point of beginning of the lands herein described. From said point of beginning run South 18° 15' 20" West along the bulkhead line as approved by the Lee County Board of County Commissioners on May 8, 1963 and approved by the Trustees of the Internal Improvement Fund on June 18, 1963 for 466.75 feet; thence run South 10° 42' 40" East along said bulkhead line for 942.39 feet to a point on the East line of said Section 27, which point bears South 08° 29' 50" West and is 1,349.83 feet South of the Northeast corner of said Section 27; thence continue South 10° 42' 40" East along said bulkhead line in said Section 26 for 938.72 feet to a point of curvature; thence run Southeasterly, Easterly and Northeasterly along said bulkhead line along the arc of a curve to the left of radius 430 feet (chord bearing South 66° 09' 00" East) for 832.11 feet to a point of tangency; thence run North 58° 24' 50" East along said bulkhead line for 205.81 feet to a point of curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 185 feet (chord bearing North 13° 24' 50" East) for 290.60 feet to a point of compound curvature; thence run Northwesterly along said bulkhead line, along the arc of a curve to the left of radius 325 feet (chord bearing North 51° 29' 50" West) for 225.88 feet to a point of reverse curvature; thence run Northwesterly, Northerly and Northeasterly along said bulkhead line along the arc of a curve to the right of radius 185 feet (chord bearing North 28° 07' 10" West) for 279.54 feet to a point of reverse curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 225 feet (chord bearing North 01° 56' 10" West) for 134.34 feet to a point of reverse curvature; thence run Northwesterly, Northerly, North-easterly, Easterly and Southeasterly along said bulkhead line along the arc of a curve to the right of radius 227.37 feet (chord bearing North 57° 27' 20" East) for 607.13 feet to a point of compound curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 1,485 feet (chord bearing South 21° 34' 00" East) for 1,269.01 feet; thence run South 02° 54' 50" West along said bulkhead line for 695 feet to a point of curvature; thence run Southwesterly, Southerly and Southeasterly along said bulkhead line along the arc of a curve to the left of radius 135 feet (chord bearing South 22° 05' 10" East) for 117.81 feet to a point of reverse curvature; thence run Southeasterly, Southerly and Southwesterly along said bulkhead line along the arc of a curve to the right of radius 80 feet (chord bearing South 00° 24' 50" West) for 132.65 feet to a point of reverse curvature; thence run Southwesterly and Southerly along said bulkhead line along the arc of a curve to the left of radius 180 feet to the intersection with an Easterly prolongation of the Northerly boundary of the lands conveyed by deed recorded in Deed Book 130 at page 21, of the Public Records of Lee County; thence run Westerly along said Easterly prolongation to the point of mean high tide on the West shore of Pine Island Sound; thence run Northwesterly, Westerly, Southwesterly, Southerly, Southeasterly, Southerly, Southwesterly, Westerly, Northwesterly, Northeasterly and Northerly along said mean high tide line to an intersection with the North line of said Section 27; thence run South 81° 30' 10" East along said North line of Section 27 to the point of beginning.

October 23, 1973

ALSO:

From said corner common to said Sections 22, 23, 26 and 27, run North 81° 30' 10" West along the South line of said Section 22 for 230.95 feet to the point of beginning of the herein described lands. From said point of beginning run North 18° 15' 20" East along said bulkhead line for 317.84 feet to a point of curvature; thence run Northeasterly, Northerly and Northwesterly along said bulkhead line along the arc of a curve to the left of radius 620 feet (chord bearing North 10° 14' 40" West) for 638.44 feet to a point of tangency; thence run North 38° 44' 40" West along said bulkhead line for 390 feet to a point of curvature; thence run Northwesterly and Northerly along said bulkhead line along the arc of a curve to the right of radius 135 feet (chord bearing North 16° 44' 40" West) for 103.67 feet to a point of tangency; thence run North 05° 15' 20" East along said bulkhead line to an intersection with an Easterly prolongation of a Southerly boundary of the lands described in deed recorded in Deed Book 209 at pages 71 and 72 of said Public Records; thence run Westerly along said Westerly prolongation to the point of mean high tide line on the Westerly shore of an arm of Chadwick Bayou; thence run Southeasterly, Southerly and Southwesterly along said high tide line to an intersection with the South line of said Section 22; thence run South 81° 30' 10" East along said South line of Section 22 to the point of beginning.

PARCEL 4: Watts

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows: From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the Public Records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89° 27' West, along said South line and the line of the centerline of a ditch between rows of coconut palms, for 390.0 feet to a concrete post on the West side of a public road; thence continue South 89° 27' West along said South line for 2.4 feet; thence run North 4° 57' West along the Westerly side of said public road for 377.0 feet; thence run North 0° 27' West for 124.14 feet to a concrete monument and the point of beginning of the lands hereby conveyed. From said point of beginning run North 0° 27' West along the Westerly side of said public road (15 feet from the center line) for 100.00 feet to a concrete monument; thence run South 89° 27' West 600 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 at pages 71 and 72 for 355 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 240 feet; thence run Southeasterly along said waters to an intersection with a line bearing South 89° 27' West through the point of beginning; thence run North 89° 27' East along said line for 325 feet, more or less, to the point of beginning; together with all riparian rights appurtenant thereto; being Parcel No. 6 as shown on unrecorded plat.

PARCEL 5: Holtz

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel of land is described

October 23, 1973

as follows: From a concrete post on the south line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet more or less westerly from the westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89° 27' West along said south line and the line of the center line of a ditch between rows of coconut palms for 390.0 feet to a concrete post on the west side of a public road; thence continue south 89°27' west along said south line for 2.4 feet thence run north 4°57' west along the westerly side of said public road for 377.0 feet; thence north 0°27' west for 24.14 feet to a concrete monument and the p.o.b. of the land herein described. From said p.o.b. run north 0°27' west along the westerly side of said public road (15 feet from center line) 100.00 feet to a concrete monument; thence run south 89°27' west 500 feet north of and parallel to said south line of the lands conveyed by said deed recorded in Deed Book 209, at pages 71 and 72, for 325 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 230 feet; thence run southeasterly along said waters to an intersection with the line through the p.o.b. bearing south 89°27' west; thence run north 89°27' east along said line for 310 feet more or less, to the p.o.b.;

PARCEL 6: Jay

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209 at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with Pine Island Sound, run South 89°27' West along said South line and the line of the center line of a ditch between rows of coconut palm for 390 feet to a concrete post on the West side of a public road; thence continue South 89° 27' West along said South line for 2.4 feet; thence run North 4° 57' West along the Westerly side of said public road for 300.9 feet to a concrete monument and the point of beginning of the lands herein described.

From said point of beginning run North 4° 57' West for 76.1 feet and North 0° 27' West for 24.14 feet along the Westerly side of said public road (15 feet from the center line) to a concrete monument; thence run South 89° 27' West, 400 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 at pages 71 and 72, for 310 feet, more or less, to the waters of the Gulf of Mexico, passing through a palm tree at 40 feet and a steel pin at 229.8 feet; thence run Southeasterly along said waters to an intersection with a line through the point of beginning bearing South 89° 27' West; thence run North 89° 27' East along said line for 305 feet, more or less, to the point of beginning.

ALSO:

A lot or parcel of land lying in Government Lot 3, Section 22, Township 45 South, Range 21 East, which lot or parcel is described as follows:

From a concrete post on the South line of the lands conveyed by deed recorded in Deed Book 209, at pages 71 and 72 of the public records of Lee County, which concrete post is 24 feet, more or less, Westerly from the Westerly shore of the waterway connecting Bryant Bayou with

October 23, 1973

Pine Island Sound, run South 89° 27' West, along said South line and the line of the center line of a ditch between rows of coconut palms, for 390.0 feet to a concrete post on the West side of a public road; thence continue South 89° 27' West along said South line for 2.4 feet; thence run North 4° 57' West along the Westerly side of said public road for 200.6 feet to a concrete monument and the point of beginning of the lands hereby described.

From said point of beginning run North 4° 57' West along the Westerly side of said public road (15 feet from the center line) for 100.2 feet to a concrete monument; thence run South 89° 27' West 300 feet North of and parallel to said South line of the lands conveyed by said deed recorded in Deed Book 209 pages 71 and 72 for 305 feet, more or less, to the waters of the Gulf of Mexico, passing through a steel pin at 200 feet; thence run Southeasterly along said waters to an intersection with a line bearing South 89° 27' West through the point of beginning; thence run North 89° 27' East along said line for 297 feet to the point of beginning.

NOTE: coconut shown on original as cocoanut

ADD2002-00098
EXHIBIT "B"

A TRACT OF LAND LYING IN SECTION 22, TOWNSHIP 45 SOUTH, RANGE 21 EAST, CAPTIVA ISLAND, LEE COUNTY, FLORIDA WHICH TRACT IS DESCRIBED AS

BEGINNING AT THE SOUTHWESTERLYMOST CORNER OF THE MARINA AS DESCRIBED IN OFFICIAL RECORDS BOOK 1106 AT PAGE 1881;
THENCE RUN N09°15'52"W FOR 119.38 FEET;
THENCE RUN N06°15'44"W FOR 145.32 FEET;
THENCE RUN N54°13'14"E FOR 207.47 FEET;
THENCE RUN N77°48'24"E FOR 5.49 FEET;
THENCE RUN S77°35'33"E FOR 56.50 FEET TO A POINT OF CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT WITH A RADIUS OF 154.76 FEET (CHORD BEARING S84°44'14"E) (CHORD 38.50 FEET) FOR 38.60 FEET TO A POINT OF TANGENCY;
THENCE RUN N88°07'04"E FOR 32.10 FEET TO A POINT OF CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT WITH A RADIUS OF 135.00 FEET (CHORD BEARING N79°13'07"E) (CHORD 41.77 FEET) FOR 41.94 FEET TO A POINT OF REVERSE CURVATURE;
THENCE RUN ALONG A CURVE TO THE RIGHT OF RADIUS 30.00 FEET (CHORD BEARING S59°25'32"E) (CHORD 46.13 FEET) FOR 52.63 FEET TO A POINT OF NON-TANGENCY;
THENCE RUN N32°48'09"E FOR 277.42 FEET;
THENCE RUN N49°14'36"W FOR 169.28 FEET;
THENCE RUN S22°25'15"W FOR 231.04 FEET;
THENCE RUN N56°42'51"W FOR 325.76 FEET;
THENCE RUN N33°17'09"E FOR 98.67 FEET;
THENCE RUN N56°42'51"W FOR 72.50 FEET;
THENCE RUN N81°38'32"W FOR 116.25 FEET;
THENCE RUN S30°39'13"W FOR 8.18 FEET;
THENCE RUN S28°07'41"E FOR 165.27 FEET;
THENCE RUN S28°50'23"W FOR 346.97 FEET;
THENCE RUN S84°44'03"W FOR 127.34 FEET;
THENCE RUN S09°15'16"E AND ALONG THE WESTERLY LINE OF A 20-FOOT-WIDE ROADWAY EASEMENT FOR 625.62 FEET;
THENCE RUN N69°14'11"E ALONG A 30-FOOT-WIDE ROADWAY EASEMENT FOR 105.94 FEET TO A POINT OF CURVATURE;
THENCE ALONG A CURVE TO THE RIGHT OF RADIUS 110.87 FEET (CHORD BEARING N86°27'41"E) (CHORD 65.66 FEET) FOR 66.66 FEET TO A POINT OF REVERSE CURVATURE;
THENCE RUN ALONG A CURVE TO THE LEFT OF RADIUS 123.00 FEET (CHORD BEARING N63°41'11"E) (CHORD 158.13 FEET) FOR 171.74 FEET TO A POINT OF COMPOUND CURVATURE;
THENCE CONTINUING ALONG A CURVE TO THE LEFT OF RADIUS 349.28 FEET (CHORD BEARING N14°33'22"E) (CHORD 110.85 FEET) FOR 111.32 FEET TO A POINT OF TANGENCY;
THENCE RUN N05°25'32"E FOR 88.18 FEET;
THENCE RUN S77°44'35"W FOR 110.35 FEET TO THE POINT OF BEGINNING.

CONTAINING 7.82 ACRES MORE OR LESS.

BEARINGS SHOWN ARE PLANE COORDINATE FOR THE WEST ZONE BASED ON TIES TO THE LEE COUNTY COASTAL CONSTRUCTION SETBACK LINE FOR CAPTIVA ISLAND, LEE COUNTY, FLORIDA.

ADD2002-00098

EXHIBIT "C"

A TRACT OF LAND LYING IN SECTION 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST, CAPTIVA ISLAND, LEE COUNTY, FLORIDA WHICH TRACT IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF THE BAYSIDE VILLAS CONDOMINIUM, PHASE II, AS DESCRIBED IN OFFICIAL RECORD BOOK 1382 AT PAGE 1118;

THENCE RUN N35°54'10"E FOR 25.21 FEET TO THE **POINT OF BEGINNING**; FROM SAID POINT OF BEGINNING RUN N46°38'16"W FOR 60.59 FEET TO A POINT OF CURVATURE;

THENCE RUN ALONG A CURVE TO THE LEFT OF RADIUS 451.15 FEET (CHORD BEARING N50°02'53"W) (CHORD 53.67 FEET) (DELTA 06°49'13") FOR 53.70 FEET TO A POINT OF REVERSE CURVATURE;

THENCE RUN ALONG A CURVE TO THE RIGHT OF RADIUS 367.50 FEET (CHORD BEARING N52°34'13"W) (CHORD 11.39 FEET) (DELTA 01°46'33") FOR 11.39 FEET;

THENCE RUN N35°54'10"E FOR 110.00 FEET;

THENCE RUN S78°27'27"E FOR 102.43 FEET;

THENCE RUN N05°30'41"W FOR 160.00 FEET;

THENCE RUN WEST FOR 75.00 FEET;

THENCE RUN N75°02'43"E FOR 250.00 FEET;

THENCE RUN S50°17'17"E FOR 36.46 FEET;

THENCE RUN S07°27'27"E FOR 197.24 FEET;

THENCE RUN N75°04'00"E FOR 226.85 FEET;

THENCE RUN S02°54'13"W FOR 70.59 FEET;

THENCE RUN S75°02'00"W FOR 306.09 FEET;

THENCE RUN S69°35'26"W FOR 40.18 FEET;

THENCE RUN S75°06'36"W FOR 57.43 FEET;

THENCE RUN S84°23'43"W FOR 53.52 FEET;

THENCE RUN N81°18'46"W FOR 5.92 FEET;

THENCE RUN N67°01'16"W FOR 16.02 FEET;

THENCE RUN N54°05'47"W FOR 121.83 FEET;

THENCE RUN S35°54'10"W FOR 135.81 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 2.98 ACRES MORE OR LESS.

BEARINGS SHOWN ARE PLANE COORDINATE FOR THE WEST ZONE BASED ON TIES TO THE LEE COUNTY COASTAL CONSTRUCTION SETBACK LINE FOR CAPTIVA ISLAND, LEE COUNTY, FLORIDA.



January 12, 2001

DESCRIPTION

PARCELS 1 AND 2 AT SOUTH SEAS PLANTATION
SECTION 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

A tract or parcel of land lying in Section 26, Township 45 South, Range 21 East, being a portion of South Seas Plantation, Captiva Island, Lee County, Florida, which tract or parcel is described as follows:

Parcel 1

From the southeast corner of Tennis Villas Condominium Phase II as recorded in Official Record Book 1237 at Page 1217 of the Public Records of Lee County, Florida run the following courses and distances along the boundary of South Seas Plantation: S 02° 47' 50" W for 204.16 feet; S 85° 47' 00" E for 71.60 feet; S 02° 55' 20" W for 235.67 feet to an intersection with the northerly right-of-way line of Captiva Drive Southwest (30 feet wide); N 71° 18' 21" W along said northerly right-of-way line of Captiva Drive Southwest and the boundary of said South Seas Plantation for 327.76 feet to an intersection with a non-tangent curve; thence run northwesterly along the arc of said curve departing the right-of-way line of said Captiva Drive Southwest and the boundary of South Seas Plantation to the right of radius 594.46 feet (chord bearing N 46° 04' 35" W) (chord 257.51 feet) (delta 25° 01' 05") for 259.57 feet to a non-tangent compound curve, also a point designated "A"; thence run northwesterly along the arc of said curve to the right of radius 718.62 feet (chord bearing N 07° 54' 51" W) (chord 191.19 feet) (delta 15° 17' 20") for 191.76 feet to the end of said curve and a non-tangent line; thence run N 01° 38' 15" E for 39.23 feet; thence run N 02° 36' 46" E for 211.33 feet; thence run N 01° 52' 34" E for 16.83 feet to the beginning of a non-tangent curve; thence run southeasterly along the arc of said curve to the right of radius 32.17 feet (chord bearing S 89° 44' 44" E) (chord 62.00 feet) (delta 210° 56' 38") for 118.42 feet to the end of said curve and a non-tangent line; thence run S 07° 18' 01" W for 21.69 feet; thence run S 02° 41' 01" W for 81.35 feet; thence run S 87° 21' 31" E for 87.16 feet; thence run S 02° 38' 30" W for 130.44 feet; thence run S 87° 21' 30" E for 63.03 feet to an intersection with the east line of said South Seas Plantation boundary, also being the west line of said Tennis Villas Condominium Phase II; thence run S 02° 38' 04" W along said boundary line for 48.41 feet to the southwest corner of said Tennis Villas Condominium Phase II; thence run S 88° 28' 34" E along the south line of said Tennis Villas Condominium Phase II and the boundary line of said South Seas Plantation for 264.39 feet to the Point of Beginning.

Parcel contains 204,282 square feet, more or less.

Parcel 2

From the point hereinabove designated "A" run S 65° 10' 37" W for 68.52 feet to the Point of Beginning of said Parcel 2.

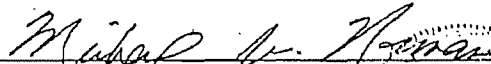
From said Point of Beginning run the following courses and distances along the perimeter of said Parcel 2: S 88° 11' 40" W for 64.43 feet; N 01° 04' 50" W for 26.90 feet; N 48° 20' 48" W for 18.32 feet; N 02° 58' 28" W for 43.74 feet; S 89° 55' 44" W for 15.80 feet; N 06° 16' 39" W for 95.89 feet; N 82° 28' 43" E for 79.92 feet; S 06° 18' 09" E for 111.04 feet; S 11° 02' 01" E for 21.20 feet; S 18° 47' 16" E for 25.19 feet; S 06° 26' 15" E for 31.66 feet to the Point of Beginning.

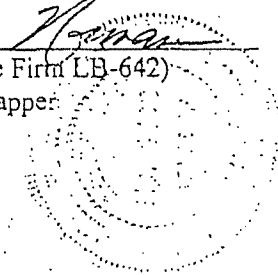
Parcel contains 13,518 square feet, more or less.

Total combined area for Parcels 1 and 2: 217,800 square feet (5.00 acres), more or less.

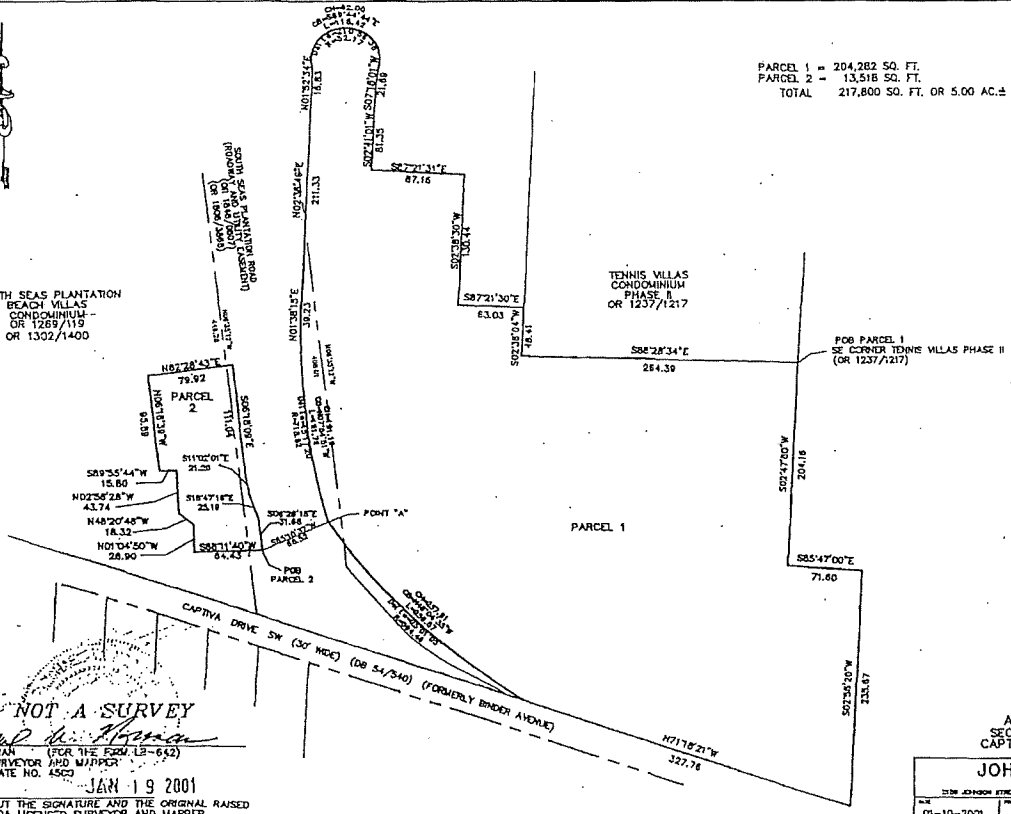
SUBJECT TO easements restrictions and reservations of record.

Bearings hereinabove mentioned are based on the north right-of-way line of Captiva Drive Southwest to bear N 71° 18' 21" W.


Michael W. Norman (For The Firm LB-642)
Professional Surveyor and Mapper
Florida Certificate No. 4500



SOUTH SEAS PLANTATION
BEACH VILLAS
CONDOMINIUM--
OR 1289/119
OR 1302/1400



THIS IS NOT A SURVEY

Michael W. Norman
MICHAEL W. NORMAN (FOR THE FIRM LB-652)
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 4562

DATE SIGNED: JAN 19 2001
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SKETCH TO ACCOMPANY DESCRIPTION
PARCELS 1 & 2
AT SOUTH SEAS PLANTATION
SECTION 26, TWP. 45 S., RGE. 21 E.
CAPTIVA ISLAND, LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.				
ENGINEERS, SURVEYORS AND ECOLDMNTS				
2218 JOHNSON STREET, POST OFFICE BOX 1088, FORT MYERS, FLORIDA 33902-1088, PHONE (888) 334-0244				
DATE	PROJECT NO.	SCALE	SHEET	
01-10-2001	20002191	26-45-21	1" = 100'	1 OF 1

M E M O R A N D U M
 FROM
 THE OFFICE OF THE
 COUNTY ATTORNEY
 LAND USE

DATE: 11 Jun 1992

TO: Rick Joyce
 Environmental SciencesFROM: Donna Marie CollinsDonna Marie Collins
 Assistant County AttorneyRE: Mariner Properties, Inc.
 South Seas Plantation
 LU--1074

On April 23, 1992, Raymond Pavelka and Bob Offi of Mariner Properties, Inc. (Mariner), and County staff members discussed the permitting and development history of South Seas Plantation. I have examined the South Seas Plantation Master Plan as it relates to the Harbour Pointe site. My research has confirmed that the South Seas Plantation Master Plan was subject to an F-0015 review. The project subsequently received a Development Standards Ordinance (DSO) Exemption in 1985. The approval dates suggest that the Master Plan for South Seas Plantation is not subject to the Lee County Mangrove, Wetland, or Tree Protection Ordinances. Section Seven of each Ordinance specifically provides that projects granted Final Development Orders prior to the enactment of those Ordinances would be exempt from those Ordinances to the extent the particular Ordinance conflicts with approvals given in the Development Order application.

Mariner received Master Plan approval for the South Seas Plantation project sometime in 1973. The Plan has been updated several times since then. When Mariner updated their Master Plan on May 16, 1985, the Plan specifically referenced a "service road" which would provide emergency access to the Harbour Pointe location. The project received a DSO Exemption on June 27, 1985. (E-16-39-85) — The basis for the Exemption was Mariner's F-0015 site plan approval within six months of December 21, 1984. At the time Mariner received the DSO Exemption there was no time limitation on the duration of such exemptions. The Plan was once again updated in February, 1987. Those documents also refer to a "service road" designed to provide access for emergency vehicles to the Harbour Pointe site. Insofar as the service road to Harbour Pointe was originally planned for the purposes of providing emergency access to the site, it is the opinion of this Office that Mariner's efforts to construct or improve the road consistent with this purpose should be exempt from the local permitting requirements of the Wetland Protection Ordinance, the Mangrove Ordinance, and the Tree Protection Ordinance.

Rick Joyce
June 11, 1992
Page 2 of 2

At this time, the minimum width necessary to provide adequate access for emergency vehicles is approximately 20 feet. See the Lee County Development Standards Ordinance, as amended. Therefore, Mariner may construct the service road to these dimensions without seeking permits from Lee County pursuant to the Mangrove, Tree or Wetlands Protection Ordinance. It is my understanding, however, that Mariner will remain subject to the Florida Department of Environmental Regulation and United States Army Corps of Engineers permitting requirements.

For similar reasons, Mariner is exempt from any potential violation for failing to obtain permits for the removal of Mangroves along the Point itself. Had Mariner constructed Harbour Pointe prior to 1986, as was their right to do so, the Point would require reinforcement in order to protect the proposed development. Mariner's placement of the revetment at this time is entirely consistent with the original approval and is therefore exempt from the permitting requirements of the Mangrove, Wetland Protection and the Tree Protection Ordinance.

For the foregoing reasons, the Official Notification of Code Violation issued on March 4, 1992 may be withdrawn. Although there is evidence that Mariner proposed that the service road would be 15 feet in width, the road has been repeatedly referred to as an "emergency access" road. Therefore the road should satisfy minimum standards to provide such access without the need to apply for additional permits from Lee County.

Should you have any questions regarding the foregoing, please do not hesitate to contact me. I am available to meet at your earliest convenience.

DMC/cpb

cc: Tim Jones, Assistant County Attorney
Greg Hagen, Assistant County Attorney
Mary Gibbs, Director, Community Development
Paul Bangs, Director, Development Review
Dave Ceilley, Environmental Sciences
Raymond Pavelka, Mariner Properties, Inc., 12800 University
Drive, Suite 350, Fort Myers, Florida 33907-5343

(3919M)

EXISTING DWELLING UNITS

1) BAYVIEW VILLAS	102
2) TUNING VILLAS	60
3) DUPLOITE HOUSING	160
4) BEACH VILLAS	150
5) BEACH COTTAGES	28
6) BEACH HOUSES	33
7) BEACH HOUSES	28**
8) SANDPIT (AKA PLANTATION BEACH VILLAS)	45 - SEE NOTE E)
9) PLANTATION BEACH CLUB	6
10) PLANTATION BAY VILLAS	60
11) HARBOR VILLAS	24
12) HARBOR VILLAS	909
13) THE SOUTH SEAS CLUB	24
14) OFFSHORE BEACH HOUSES PLANTATION	14
15) PLANTATION HOUSE PHASE 1	12
16) SEASIDE (AKA PLANTATION HOUSE PHASE 2)	8
17) LAND'S END VILLAGE (AKA GOLF VILLAS)	6
18) ESTATE LOT (NO. 2) - AMERICAN HOTEL (UNDEVELOPED)	1
TOTAL DEVELOPED TO DATE	877**

* INDICATES THOSE PROJECTS THAT WERE DEVELOPED PRIOR TO APRIL 1983
 ** THE DEVELOPERS OF THE SOUTH SEAS RESORT HAVE ALLOCATED 96 UNITS TO THE BEACH HOUSES AREA. ONLY 21 UNITS HAVE BEEN CONSTRUCTED TO DATE.

UNITS TO BE DEVELOPED

19) HARBOUR FRONT	10
20) HARBORVIEW VILLAS	10
UNALLOCATED	7
TOTAL NUMBER OF DWELLING UNITS APPROVED BY THE MASTER PLAN	33

JUNE 1983 DEVELOPMENT ORDER EXEMPTION 6-39-83
 APPROVED COVER PAGE AND SHEETS 1 THRU 14 (INCLUDING) FOR F-0015 PLAN SET

OWNER/DEVELOPER

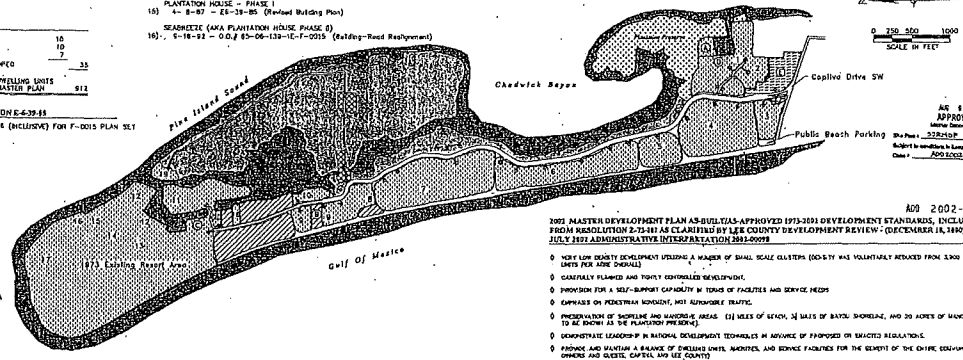
HERNSTEIN HOSPITALITY CORPORATION
 1000 PONTIAC STREET NW
 WASHINGTON, DC
 20004
 c/o MANAGER GROUP INC.
 1325 WASHINGTON BLVD. SUITE 27
 FORT MYERS, FLORIDA 33919

LEGEND

- DEVELOPMENT AREA (RESIDENTIAL UNITS AND RESORT FACILITIES) AS-BUILT/AS-APPROVED 1973-2002
- FIVE (5) ACRE COMMERCIAL PARCEL - SEE NOTE E)
- UTILITIES AND MAINTENANCE
- PLANTATION PRESERVE
- APPROVED BY 1973 FOR MANGROVE BUFFER, GOLF VILLAS, AND GOLF COURSE
- PARCELS NOT INCLUDED IN 1973 ZONING APPLICATION LEGAL DESCRIPTION

Site Plan and Site Plan Amendment Approval Post June 1983 Development Order Exemption 6-39-83

- | | |
|--|---|
| 2) TENNIS VILLAS:
5-14-86 - O.O.F. 85-04-118-01L (Site Improvements) | 2) TENNIS CENTER-CHADWICK'S
7-15-94 - O.O.F. 86-07-049-02B (Site Improvements) |
| 3) EMPLOYEE HOUSING:
6-28-87 - 68-38-83 (Site Improvements)
6-30-88 - 68-38-83 (Site Improvements-Overhouse) | RESORT SERVICE FACILITIES:
4-15-88 - 68-38-83 (Maintenance - Utility Services Improvements)
3-29-91 - 68-38-83 (Maintenance - Utility Services Improvements)
8-7-92 - 68-38-118-01E (Maintenance - Utility Site Improvements) |
| 4) BEACH VILLAS:
8-23-84 - O.O.F. 84-08-042-121 (Amendment-Site Improvement)
10-9-88 - O.O.F. 88-04-118-01L (Amendment-Storage Bay) | CHADWICK'S RESTAURANT & MEETING ROOMS:
8-30-83 - 68-38-83 (Service/Waiting Staff Addition & Electrical/Anasthetical Equipment Room)
10-27-83 - 68-38-83 (Modifications to Restaurant and Meeting Rooms)
4-16-86 - 68-38-83 (Modifications to Restaurant, Commercial Facility & Lounge addition)
8-16-88 - 68-38-83 (Site Modification)
8-15-88 - 68-38-83 (Modifications of Meeting Rooms, General Store & Gift Shop)
8-27-89 - 68-38-83 (General Store - Gift Shop Modifications and Information Booth)
7-22-89 - 89-07-093-12L (Site Improvements-Adults Area) |
| 8) SANDPIT (AKA PLANTATION BEACH VILLAS):
4-10-87 - 68-38-83 (Building Location)
6-28-88 - 68-38-83 (Site-Utility Variance) | HISTORY HOUSE:
8-10-82 - 65-04-038-00E (Relocation)
8-8-2000 - (HO) ADD/000-0000E (Relocation) |
| 10) PLANTATION BAY VILLAS:
12-1-88 - 68-38-83 (Site Plan) | MAIN POOL AREA:
8-23-84 - 64-08-042-12L (Lundry Facility)
8-13-85 - 85-08-112-00T (Swamp Removal/Pool/Palace Patis Bar)
7-18-85 - 88-07-182-00T (Swamp & Utility) |
| 12) HARBORVIEW VILLAS:
5-17-85 - 68-38-83 (Rehabilitate Resort Facilities Modification)
10-7-88 - 68-38-83 (Rehabilitate Resort Facilities Site Improvements)
7-31-88 - 68-38-83 (Edge Drain-Marker Hill Site Improvements)
12-10-87 - 68-38-83 (COPING, ADA Requirements)
4-15-88 - 68-38-83 (King's Crown Meeting Rooms & Service and Sales Office) | PLANTATION HOUSE - PHASE 1:
4-1-87 - 68-38-83 (Revised Building Plan) |
| 16) SEASIDE (AKA PLANTATION HOUSE PHASE 2):
5-18-92 - O.O.F. 85-06-133-1E-F-0015 (Rebuilding-Road Right-of-Way) | |



2002 MASTER DEVELOPMENT PLAN AS-BUILT/AS-APPROVED (07/13/04) DEVELOPMENT STANDARDS, INCLUDING THOSE FROM RESOLUTION 2-73-83 AS CLARIFIED BY LEE COUNTY DEVELOPMENT REVIEW - (DECEMBER 18, 1980) AND THE JULY 1973 ADMINISTRATIVE INTERPRETATION 2883-0099

- 0. THIS LOW DENSITY DEVELOPMENT UTILIZING A NUMBER OF SMALL SCALE CLUSTERS (605 SF) WAS VOLUNTARILY REDUCED FROM 1200 TO 612, 3 UNITS PER ACRE (20-ALL)
- 0. GENERALLY PLANNED AND THOROUGHLY CONTROLLED DEVELOPMENT.
- 0. PROVISION FOR A SELF-SUPPORT CAPABILITY IN TERMS OF FACILITIES AND SERVICE NEEDS
- 0. COMPLIANCE ON PROTECTIVE MEASURES, NOT NECESSARILY TRAFFIC.
- 0. PRESERVATION OF SCULPTURE AND MANGROVE AREAS. (SEE NOTES A, B) AS WELL AS BAYVIEW SHORESIDE, AND 30 ACRES OF MANGROVE FOREST TO BE KEPT AS THE PLANTATION PRESERVE.
- 0. COOPERATIVE LEADERSHIP IN MANGROVE DEVELOPMENT INITIATIVES IN ADVANCE OF PROPOSED OR EXISTING REGULATIONS.
- 0. FUNDING AND MAINTENANCE OF EXISTING UTILITIES, AND SERVICE FACILITIES FOR THE BENEFIT OF THE ENTIRE DEVELOPMENT (SEE OFFERS AND OFFERS, CAPITAL AND LIFE CYCLE).
- 0. THE RELOCATION OF ANY OF THE CURRENTLY EXISTING BUILDING UNITS ON THE UNALLOCATED DWELLING UNITS IS ALLOWED PROVIDED THE DEVELOPER HAS SUBMITTED A COMPLETE APPLICATION FOR ACQUISITION, ACCESS, HOLDING EVIDENCE OF RESIDENT AND OCCUPANCY OF THE PROPOSED RELOCATION OF EXISTING DWELLING UNITS AND CONSTRUCTION AGREEMENT TO LEE COUNTY. THE DEVELOPER WILL OBTAIN AN ENVIRONMENTAL IMPACT STUDY TO EVALUATE THE FEASIBILITY OF SUCH DEVELOPMENT IN THE AREA. (SEE NOTE E)
- 0. DEVELOPMENT AND REDEVELOPMENT OF RESORT SERVICE FACILITIES AND ADJACENT FACILITIES INCLUDING UTILITIES AND OTHER INFRASTRUCTURE IS ALLOWED, PROVIDED SUCH DOES NOT PRESENT THE OPPORTUNITY TO SUBSIDIZE AND MAINTAIN A COMPLETE PORTION IN THE RESORT INFRASTRUCTURE.
- 0. OTHER THAN AS INDICATED IN THE LETTER FROM THE LEE COUNTY ATTORNEY'S OFFICE DATED JUNE 11, 1981, AND RELATED OFFICIALS ARE AUTHORIZED BY THE COUNTY, PRIOR TO PROPOSING ANY DEVELOPMENT, INCLUDING PHASE 2, IN ANY PORTION OF THE MANGROVE PRESERVE, THE DEVELOPER SHALL OBTAIN AN ENVIRONMENTAL IMPACT STUDY TO EVALUATE THE FEASIBILITY OF SUCH DEVELOPMENT IN THE AREA. (SEE NOTE E)

NOTES

- A) THIS AREA IS RESERVED FOR EXPANSION OF THE EXISTING BEACH BATH, NO RESIDENTIAL UNITS WILL BE BUILT IN THIS AREA.
- B) THERE WAS A TOTAL OF 36 PLANTATION BEACH CLUB UNITS DEVELOPED, NUMBER PHASE 1, IN BEACH FRONT, WAS DEVELOPED ON A PARCEL OF LAND (FORM 84-3) THAT WAS NOT A PART OF THE 1973 ZONING APPLICATION (67-73-710)
- C) REFERENCED LEGAL DESCRIPTION THAT WAS A PART OF ZONING RESOLUTION 2-73-83, ESTABLISHING A SPECIFIC COMMERCIAL MAP (C) DATED 4/1/83.
- D) REFERENCED LEGAL DESCRIPTION THAT WAS A PART OF ZONING RESOLUTION 2-73-83, ESTABLISHING A SPECIFIC COMMERCIAL MAP (C) DATED 4/1/83.
- E) REFERENCED LEGAL DESCRIPTION PROVIDED BY JOHNSON ENGINEERING, INC. TO VERIFY BOUNDARIES OF THE 5-ACRE COMMERCIAL PARCELS.
- F) REFERENCED LEE COUNTY ATTORNEY'S OFFICE LETTER DATED JUNE 11, 1981.

2-26-01	Amendment based on master's letter of 1973 zoning application legal description.	Zoning Resolution 2-73-202 1983 Development Order Exemption - 68-38-83 1983 Lee Plan Determination of Consistency (7/23/83)
2-22-01	Additional zoning change of 1973 zoning application.	Zoning Resolution 2-73-202 2002 Master Development Plan
6-15-01	Initial zoning application, 1973 zoning application.	
7-22-01	Initial zoning application, 1973 zoning application.	

Captiva Island
 Lee County, Florida

JOHNSON ENGINEERING
 2001 1ST FLOOR BLDG
 1100 N. W. 11TH ST.
 MIAMI, FL 33136
 (305) 341-1100
 FAX (305) 341-1101
 CA 1112 & LA 1112

2002 MASTER DEVELOPMENT PLAN SOUTH SEAS RESORT				
DATE	PROJECT NO.	REV. NO.	SCALE	SHEET
FEBRUARY 2003	2001184	32-11-21	AS SHOWN	1

w/ 31

JOHNSON ENGINEERING, INC.

ENGINEERS, SURVEYORS AND ECOLOGISTS

FORT MYERS
NAPLES
PORT CHARLOTTE

July 3, 1996

2158 JOHNSON STREET
TELEPHONE (941) 334-0046
TELECOPIER (941) 334-3661
POST OFFICE BOX 1550
FORT MYERS, FLORIDA
33902-1550

CARL E. JOHNSON
1911-1968

DESCRIPTION SOUTH SEAS PLANTATION ENTRANCE SITE IMPROVEMENT AREA SECTION 26, T. 45 S., R. 21 E. CAPTIVA ISLAND, LEE COUNTY, FLORIDA

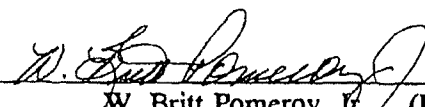
A tract or parcel of land lying in Section 26, Township 45 South, Range 21 East, Captiva Island, Lee County, Florida which tract or parcel is described as follows:

Beginning at the Southwest corner of Tennis Villas Condominium as described in Official Record Book 1237 at Page 1217, Lee County Records run S 88° 28' 34" E for 115.00 feet along the South line of said Condominium; thence run S 02° 47' 50" W for 335.00 feet; thence run S 65° 30' 48" W for 56.93 feet to an intersection with the North line of Captiva Drive S.W. (30.00 feet wide) (formerly Binder Avenue) as recorded in Deed Book 54 at Page 540, said public records; thence run N 71° 18' 20" W for 59.94 feet along said North line; thence run Northwesterly along the Northeasterly line of South Seas Plantation Road, a roadway and utility easement recorded in Official Record Book 1846 at Page 0807, said public records the following courses: N 61° 24' 14" W for 61.47 feet; along the arc of a curve to the right of radius 200.00 feet (delta 22° 11' 28") (chord 76.98 feet), (chord bearing N 50° 18' 31" W) for 77.46 feet and N 39° 12' 46" W for 65.62 feet; thence run N 71° 18' 20" W for 99.53 feet; thence Northerly along the West line of said South Seas Plantation Road N 06° 35' 12" W for 490.50 feet; thence run EAST for 105.00 feet; thence run N 23° 58' 22" E for 141.75 feet; thence run EAST for 210.00 feet; thence run S 02° 38' 04" W for 100.00 feet to an intersection with a Northwesterly line of said Tennis Villas Condominium; thence run S 37° 38' 00" W for 65.00 feet along said Northwesterly line to a corner of said Condominium; thence run S 02° 38' 04" W for 285.00 feet along the West line of said Condominium to the Point of Beginning.

Containing 5.27 acres, more or less.

Bearings hereinabove mentioned are Plane Coordinate for the Florida West Zone and the North line of Captiva Drive S.W. bears N 71° 18' 20" W.

- CHAIRMAN
ARCHIE T. GRANT, JR.
- PRESIDENT
FORREST H. BANKS
- JOSEPH W. EBNER
- STEVEN K. MORRISON
- ANDREW D. TILTON
- JEFFREY C. COONER
- CARL A. BARRACO
- KENTON R. KEILING
- W. DAVID KEY, JR.
- W. BRITT POMEROY
- DAN W. DICKEY
- KEVIN M. WINTER
- GARY R. BULL
- ASSOCIATES
- GEORGE J. KALAL
- STEPHEN W. ADAMS
- PATRICIA H. NEWTON
- MARK G. WENTZEL
- CONSULTANT
- LESTER L. BULSON



 W. Britt Pomeroy, Jr. (For The Firm)
 Professional Land Surveyor
 Florida Certificate No. 4448

WBP/kc
21057

EXISTING DWELLING UNITS

1) BAYSIDE VILLAS	102
2) TIDALS VILLAS	60
3) EMPLOYEE HOUSING	140
4) BEACH VILLAS	160
5) BEACH COTTAGES	25
6) BEACH HOMES	35
7) BEACH HOMESITES	30**
8) SANDROTT (AKA PLANTATION BEACH VILLAS)	4
9) PLANTATION BEACH CLUB	4
10) PLANTATION BAY VILLAS	4
11) HARBOR VILLAS	4
12) HARBOR VILLAS	4
13) THE SOUTH SEAS CLUB	107
14) THE SOUTH SEAS CLUB	24
15) OFFICES AT SOUTH SEAS PLANTATION	14
16) PLANTATION HOUSE - PHASE I	12
17) SEABREEKE (AKA PLANTATION HOUSE PHASE 2)	8
18) LAND'S END VILLAS (AKA GOLF VILLAS)	12
19) ESTATE LOT (LOT 21 - AMERICAN HOTEL SUBDIVISION)	68
TOTAL DEVELOPERS TO DATE	873**

** INDICATES THOSE PROJECTS THAT WERE DEVELOPED FROM TO JUNE 1985.
 *** THE DEVELOPERS OF THE SOUTH SEAS RESORT HAVE ALLOCATED 24 UNITS TO THE BEACH HOMESITES AREA. ONLY 24 UNITS HAVE BEEN CONSTRUCTED TO DATE.

UNITS TO BE DEVELOPED

19) HARBOR FRONT	18
UNALLOCATED	12
TOTAL UNITS TO BE DEVELOPED	30
TOTAL NUMBER OF DWELLING UNITS APPROVED BY THE MASTER PLAN	912

JUNE 1985 DEVELOPMENT ORDER EXEMPTION E-6-39-85

APPROVED COVER PAGE AND SHEETS 1 THRU 16 (EXCLUSIVE) FOR F-0015 PLAN SET

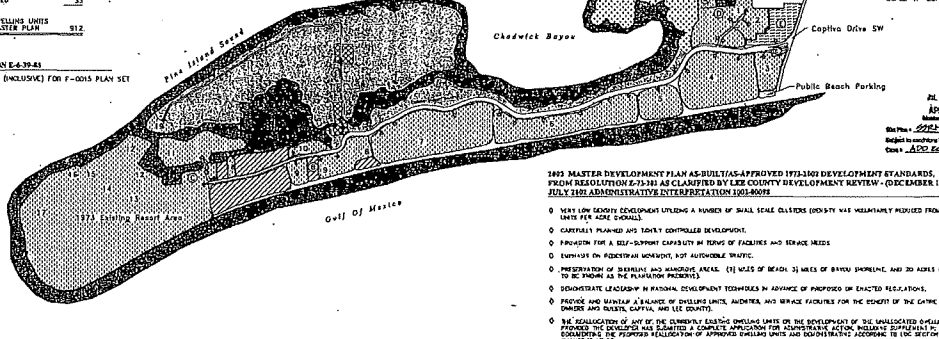
OWNER/DEVELOPER
 WINTER HOSPITALITY CORPORATION
 1000 PORTLAND STREET NW
 KANSAS CITY, MO 64107
 c/o WALTER GROUP INC.
 1501 MADISON BLVD. SUITE 27
 FORT WALTER, ALABAMA 36116

LEGEND

[Pattern]	DEVELOPMENT AREA (RESIDENTIAL UNITS AND RESORT FACILITIES) AS SHOWN/PROPOSED 1973-1985
[Pattern]	FIVE (5) ACRE COMMERCIAL PARCEL - (SEE NOTE 1)
[Pattern]	UTILITIES AND MAINTENANCE
[Pattern]	PLANTATION PRESERVE
[Pattern]	APPROVED IN 1973 FOR MANGROVE BUFFER, GOLF VILLAS, AND GOLF COURSE
[Pattern]	PARCELS NOT INCLUDED IN 1973 ZONING APPLICATION LEGAL DESCRIPTION

Site Plan and Site Plan Amendment Approvals Post June 1985 Development Order Exemption E-6-39-85

2) TIDALS VILLAS: 5-14-85 - D.O. # 86-04-116.01L (Site Improvement)	TIDALS CENTER-CHANDNOCK: 7-13-86 - D.O. # 86-07-048.02 (Site Improvement)
3) EMPLOYEE HOUSING: 8-28-87 - E-6-39-85 (Site Improvement); 8-30-88 - E-6-39-85 (Site Improvement-Creosote)	RESORT SERVICE FACILITIES: 4-19-88 - E-6-39-85 (Maintenance - Utility Services Improvements); 3-28-91 - E-6-39-85 (Maintenance - Utility Services Improvements); 8-5-92 - A-10-06-13201E (Maintenance - Utility Services Improvements)
4) BEACH VILLAS: 8-21-84 - D.O. # 81-05-042.11L (Amendment-Site Improvement); 10-9-85 - D.O. # 86-04-118-01L (Amendment-Site Improvement)	CHANDNOCK RESTAURANT & MEETING ROOMS: 8-30-85 - E-6-39-85 (Service/Meeting Room Addition & Electrical/Mechanical Equipment Room); 12-27-85 - E-6-39-85 (Modifications to Restaurant and Meeting Room); 4-16-88 - E-6-39-85 (Modifications to Restaurant, Commercial Facility & Lounge Addition); 8-14-88 - E-6-39-85 (Site Modification); 8-15-88 - E-6-39-85 (Modifications of Meeting Rooms, General Store & Gift Shop); 9-27-88 - E-6-39-85 (General Store - Gift Shop Modification and Information Booth); 7-22-89 - E-6-07-052.11L (Site Improvement-Activity Area)
6) SANDROTT (AKA PLANTATION BEACH VILLAS): 8-19-87 - E-6-39-85 (Building Location); 4-28-88 - E-6-39-85 (Site-Utility Services)	HISTORY HOUSE: 8-10-82 - E-6-08-036.00C (Residence); 9-8-2006 - (M) A027000-0006 (Recreation)
10) PLANTATION BAY VILLAS: 12-1-89 - E-6-39-85 (Site Plan)	WATER POOL AREA: 8-21-91 - 34-08-042.12 (Landscape Facility); 8-13-95 - 35-08-112.00T (Ocean Reef Storage/Pool/Patio Rm); 7-18-99 - 89-01-182.01T (Ocean & Utility)
12) HARBORFRONT VILLAS: 8-17-85 - E-6-39-85 (Marina/Beach Fronting Modification); 1-17-86 - E-6-39-85 (Marina/Beach Fronting Modification); 7-31-86 - E-6-39-85 (EPA-Crew-Monitor Well Site Improvement); 12-18-87 - E-6-39-85 (Coffin of a Boat); 4-15-88 - E-6-39-85 (EPA's Draw Meeting Rooms & Services and Sales Office)	
15) PLANTATION HOUSE - PHASE I: 4-8-89 - E-6-39-85 (Planned Building Plan)	
16) SEABREEKE (AKA PLANTATION HOUSE PHASE 2): 8-16-92 - D.O. # 85-06-128-1E-F-0015 (Building-Head Requirement)	



2002 MASTER DEVELOPMENT PLAN AS BUILT/AS-APPROVED (1713) DEVELOPMENT STANDARDS, INCLUDING THOSE FROM RESOLUTION E-73-88 AS CLARIFIED BY LEE COUNTY DEVELOPMENT REVIEW - (DECEMBER 14, 1988) AND THE JULY 1985 ADMINISTRATIVE INTERPRETATION 1985-8008

- 0 VERY LOW DENSITY DEVELOPMENT UTILIZING A NUMBER OF SMALL SCALE CLUSTERS (DENSITY WILL VARIATIONLY EXCEED FROM 3 UNITS TO 5 UNITS PER ACRE SCHEDULE)
- 0 CAREFULLY PLANNED AND TIGHTLY CONTROLLED DEVELOPMENT.
- 0 PROVISION FOR A SELF-SUPPORT CAPACITY BY MEANS OF FACILITIES AND SERVICE NEEDS.
- 0 FURNISH AN EXTENSIVE SCHEDULE FOR AUTOMOBILE TRAFFIC.
- 0 PRESERVATION OF NATURAL AND MANMADE AREAS. (1) MINIMUM 25' WIDE OF BUFFER UNIMPACTED AND 20' ADEQUATE OF MANGROVE FOREST TO BE MAINTAINED AS THE PLANTATION PRESERVE.
- 0 DISCRETIONARY DECISIONS IN PROPOSED DEVELOPMENT TECHNIQUES IN ADVANCE OF PROPOSED OR EXISTING REGULATIONS.
- 0 PROTECT AND MAINTAIN ADEQUATE OF DWELLING UNITS, AMENITIES, AND SERVICE FACILITIES FOR THE BENEFIT OF THE GOLF COURSE OWNERS (GPO) OWNERS AND RESIDENTS, CAPITAL, AND LIFE QUALITY.
- 0 THE SUBSEQUENCE OF ONE OF THE SUBMITTED LEGAL DESCRIPTIONS OF THE UNALLOCATED BEACHING AREA 3 ACRE PARCEL PROVIDED THE DEVELOPER HAS SUBMITTED A COMPLETE APPLICATION FOR PLANNING AND ACTION, INCLUDING SEPARATELY RECORDED CONVEYANCE OF THE PROPOSED ALLOCATION OF APPROVED DWELLING UNITS AND SEPARATELY, ACCORDING TO THE SECTION 1713-1111 THAT THE CHANGE IS MADE.
- 0 DEVELOPER AND PROPOSER OF RESORT SERVICE FACILITIES AND OTHER FACILITIES INCLUDING UTILITIES AND OTHER INFRASTRUCTURE IN ADJACENT PROPOSED SOUTH SEAS RESORT THE OPPORTUNITY TO MODERNIZE AND MAINTAIN A DOMESTIC POSITION IN THE RESORT MARKETPLACE.
- 0 OTHER THAN AS INDICATED IN THE LETTER FROM THE LEE COUNTY ATTORNEY'S OFFICE DATED JUNE 11, 1985, NO WETLAND AREAS ARE AUTHORIZED BY THE SPECIAL PERMIT TO BE DEVELOPED TO THE EXTENT OF DEVELOPMENT THAT MAY OCCUR ON THESE AREAS - INCLUDING BUT NOT LIMITED TO AN EXPANSION OF THE MANGROVE BUFFER DEVELOPMENT AREA. THE DEVELOPER WILL IN PLACE AN ENVIRONMENTAL STUDY ADEQUATE TO EVALUATE THE FEASIBILITY OF SUCH DEVELOPMENT IN WETLANDS (SEE NOTE 1).

- NOTES**
- 1) THIS AREA IS RESERVED FOR EXPANSION OF THE EMPLOYEE BEACH PARK. NO RESIDENTIAL UNITS WILL BE BUILT IN THIS AREA.
 - 2) THERE ARE A TOTAL OF 36 PLANTATION BEACH CLUB UNITS DEVELOPED. INDICATED PAGE 4, PARSE 1, AN 8-UNIT BUILDING WAS DEVELOPED ON A PARCEL OF LAND (E-6-39-85) THAT WAS NOT A PART OF THE 1973 ZONING APPLICATION (E-6-39-85).
 - 3) REFERENCE LEGAL DESCRIPTION THAT WAS A PART OF ZONING RESOLUTION 1-10-88, ESTABLISHING A SPECIFIC COMMERCIAL VARIANCE (CV) OVERLAY.
 - 4) REFERENCE LEGAL DESCRIPTION THAT WAS A PART OF ZONING RESOLUTION 1-10-88, ESTABLISHING A SPECIFIC COMMERCIAL VARIANCE (CV) OVERLAY.
 - 5) REFERENCE LEGAL DESCRIPTION PARAGRAPHS BY JENNIFER CHANDNOCK, P.E. TO DENSITY BOUNDARIES OF THE 3-ACRE COMMERCIAL PARCELS.
 - 6) REFERENCE LEE COUNTY ATTORNEY'S OFFICE LETTER DATED JUNE 11, 1985.

REVISIONS

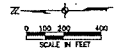
3-23-88	Administrative Based on Original & Revised of 1973 zoning application and description.	Zoning Resolution 2-73-202
2-29-87	As-Approved Status, changed all references, etc.	1985 Development Order Exemption - E-6-39-85
1-19-87	Note 1 added. The entire island - note added.	1985 Low Point Determination of Consistency (7/23/85)
7-22-85	Revised information, revised Note 1 (added).	Zoning Resolution 2-73-84
	Master Plan, etc. Note added.	2002 Master Development Plan

Captiva Island
 Lee County, Florida

JOHNSON ENGINEERING
 3501 BELFRIDGE AVE.
 GAITHERSBURG, MD 20878
 PHONE (301) 331-0015
 FAX (301) 331-0112
 E-MAIL J.E. @ J.E. INC.

2002 MASTER DEVELOPMENT PLAN SOUTH SEAS RESORT

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
February 2002	020104	10-14-02	AS SHOWN	1



JUL 11 2002
APPROVED
 [Signature]
 [Signature]
 [Signature]

13-18-02	REVISIONS

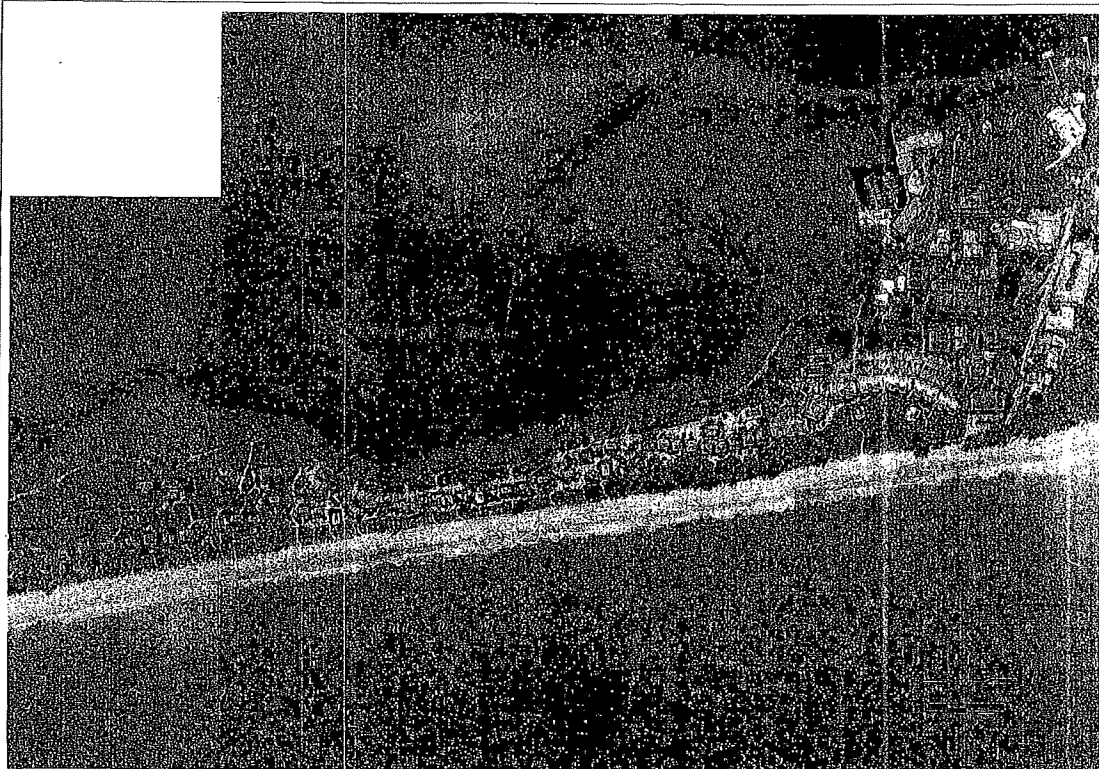
Mariner Properties Development Inc.

South Seas Plantation
 Lee County, Florida

JOHNSON
 ENGINEERING

3301 SC FLUDD RD
 GARDNER, FLORIDA 32044
 PHONE (904) 234-2044
 FAX (904) 234-2044
 CR. FAX # 1-8 2342

South Seas Plantation Planning Aerials			
DATE	PROJECT NO.	SHEET NO.	TOTAL SHEETS
APR 2001	2001344	18	2



AS 10 207
 APPROVED
 Mark Gandy P.E.
 This Plan is SUBJECT Page 3 of 3
 Subject to approval by Board of L.A. 2007
 Date of ADP 2007-05-01

REVISION	DATE	BY	DESCRIPTION

South Seas Resort
 Lee County, Florida

JOHNSON
 ENGINEERING

3101 GULF BOUND BLVD.
 SUITE 110
 CAPE CORAL, FL 33904
 PHONE (813) 247-2019
 FAX (813) 247-1111
 EA 2447 & 18 1111

South Seas Resort
 Aerials

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
April 2007	20071114	FILE 979	As Shown	3

PLAN

The following development standards are applicable to the SSRD, based on standards that have been applied since its inception in 1973.

- a. **Open Space:** Of the 304± acres that make up the SSRD, approximately one third is set aside as open space. (This 100+ acres includes now privately owned uplands, wetlands, and submerged lands). Additionally there is an allocation of open space for those lands seaward of the coastal construction control line, currently in excess of 15 acres. The South Seas Golf Course and other recreational lands supplement the beach front and preservation land categories such that a minimum of 152 acres (approximately 50%) of the overall property is allocated to Open Space. Therefore, no minimum amount of Open Space is required for individual parcels.
- b. **Landscaping:** Emphasis will be placed on the use of native species. Canopy trees for shading and trees and/or shrubs for the screening of service areas or for privacy will be used to the extent possible. The final plant selection and placement shall be at the discretion of the owner working in concert with County staff. The use of invasive exotics is prohibited.
- c. **Buffers:** There will be a natural (mostly mangrove) shoreline buffer along the bay waters of the SSRD. Specifically, that natural buffer shall be a minimum of 35' wide (except to the extent that the existing South Seas Road or Bay Drive (leading to Harbour Pointe) may currently encroach into and therefore reduce that 35' buffer). Where it is in or proximate to approved development areas, the natural buffer may be subject to a number of existing small openings as necessary for helicopter, vehicular, boat, pedestrian, and/or utility access, and trimming in accordance with State Standards for Mangrove Trimming where permitted. There is no buffer required along the bay waters extending from the southeasterly tip of the Harbour Pointe site continuing across the marine entrance channel and along the bay waters to Redfish Pass. There shall be no required minimum buffer between residential parcels internal to the development.
- d. **Setbacks:** Captiva Drive Southwest - minimum 25' to edge of right-of-way. South Seas Road - minimum 10' to edge of pavement, excluding security buildings, signs, walls and other entrance features, when consistent with LDC site visibility requirements.
 Internal driveways - no minimum setbacks required.
 Building to External Property Line:
 -minimum 10' with minimum 6' high wall and vegetation buffer.
 -minimum 15' with minimum 6' high wall or vegetation buffer.
 Building to Internal Property Line - no minimum setback required.
 Building to Bay Waters:
 -minimum 25' setback from mean high tide line.
 Building to Waters of Gulf of Mexico:
 -minimum 50' from mean high tide line.
 Building to Natural or Manmade Lake, Pond, Bayou, Canal, or Marina:
 -no minimum setback required for buildings developed within existing building footprints; 25' for any new buildings.
 Building to Building Separation:
 -minimum 10' separation unless additional separation is required by Building/Fire Code.
 Accessory Structures Including Fences and Walls:
 -for walls or structures 6' or less in height above grade; no minimum setback required.
 -for walls or structures over 6' in height from grade, the setback shall be the same as set forth above for buildings, except as to water bodies where there will be no setbacks required.
 -there shall be no minimum required separation between walls and accessory structures or one accessory structure and another.
- e. **Building Height:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code or LDC PLAN). Maximum height to the top of a parapet wall, roof, or midpoint of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building or its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for informational purposes only. Approval of TIS is not a prerequisite to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this interpretation.
- g. **Parking:** These standards recognize the developers long standing commitments to transportation alternatives to the automobile in Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of duty free from service.
 General:
 -Individual parking spaces will be no less than 9' wide by 18' deep.
 -The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.
 -Any proposed reduction or reconfiguration of the as-built/as approved parking spaces provided contemporaneous to this interpretation, is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort use as required below.
 Residential:
 -Single family/duplex will have a minimum of 2 off-street parking spaces per unit.
 -Multi-family housing (whole ownership/timeshare/etc.) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.
 -Hotel/motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.
 Commercial:
 -Activities/facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course; tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.
 -Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other "back of the house" areas and service facilities).
- h. **Construction Standards (other than for buildings):**
 -Roads, driveways, walks, bike paths, seawalls, etc. shall be built in accordance with sound engineering design standards typical of those facilities constructed within the SSRD during the past 28 years, subject to review and approval by County staff through the limited review development order process.
- i. **Stormwater Management:**
 -The standards of the existing approved SSRMOP as authorized and permitted by the South Florida Water Management District, or as they may be amended in the future, shall govern the surface water management elements of future development in the SSRD.
- j. **Other:**
 Except as noted herein, the applicable standards of the Lee County Land Development Code shall apply.

Captiva Island
Lee County, Florida



3001 EOL ROAD & W.V.
SUITE 110
CAPE CORRAL, FLORIDA 33904
PHONE (407) 541-0016
FAX (407) 541-1333
E-MAIL J.E.O@J.E.O.ENG

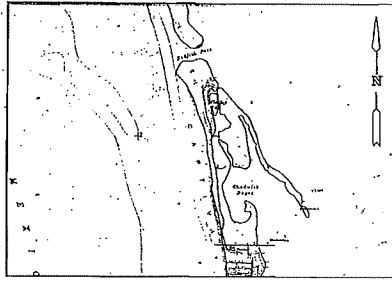
2002 MASTER DEVELOPMENT PLAN SOUTH SEAS RESORT					
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET	
March 2002	23011184	22-43-21	3/8"=1'	4	

PL 13 012
ISSUED
Master Development Plan
File No. 23011184
Subject to approval by the Board of LDC-103
Date: FEB 2002 00:00

CONSTRUCTION PLANS FOR SOUTH SEAS PLANTATION

SECTIONS 15, 22, & 26, TOWNSHIP 45 SOUTH, RANGE 21 EAST
CAPTIVA ISLAND, FLORIDA

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	MASTER PLAN
2	PLANTATION HOUSE II
3-4	HARBOURSIDE III
5	HARBOUR POINTE IV
6	HEALTH CLUB AND ESTATE RESIDENCE V
7	PLANTATION BEACH VILLAS VI
8	PLANTATION BAY VILLAS VII
9	RESORT SERVICE FACILITIES VIII
10	EMPLOYEE HOUSING / HUMAN RESOURCES IX
11	EMPLOYEE HOUSING / PHASE FOUR X
12	CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS XI
13-16	DETAILS



REQUIREMENT	STATUS	DATE	BY
PERMITS	APPROVED	12/15/85	JHW
CONTRACT	SIGNED	12/15/85	JHW
INSURANCE	PROVIDED	12/15/85	JHW
ENVIRONMENTAL	APPROVED	12/15/85	JHW
ARCHITECTURAL	APPROVED	12/15/85	JHW
ENGINEERING	APPROVED	12/15/85	JHW

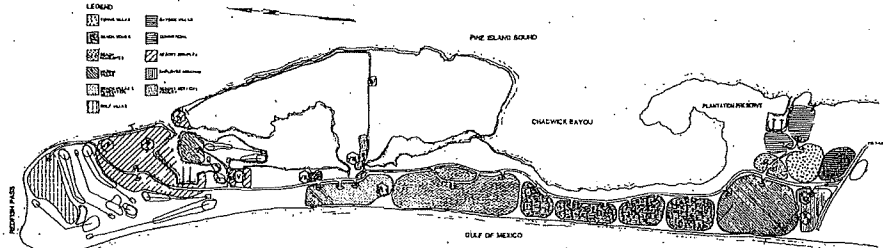


OWNER / DEVELOPER:
SOUTH SEAS PLANTATION CO.
13987 M GREGOR BLVD. S.W.
FORT MYERS, FLORIDA, 33907
PHONE (813) 481-2011

CONTACT PERSON:
RAY PAVELKA
1234567890

JOHNSON ENGINEERING, INC.
1234567890

REVISION: MAY 14, 1985
REVISED: MAY 14, 1985
REVISED: MAY 14, 1985
REVISED: MAY 14, 1985



LEGEND

[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]

SOUTH SEAS PLANTATION
 1913 APPROVED MASTER PLAN
 WITH THE LOCATED AND PLANNED IMPROVEMENTS

PL. 19 70X
 APPROVED
 Master Plan
 Date: 1913
 Scale: 1" = 200'

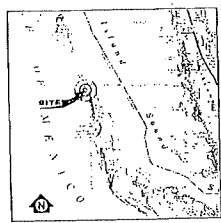
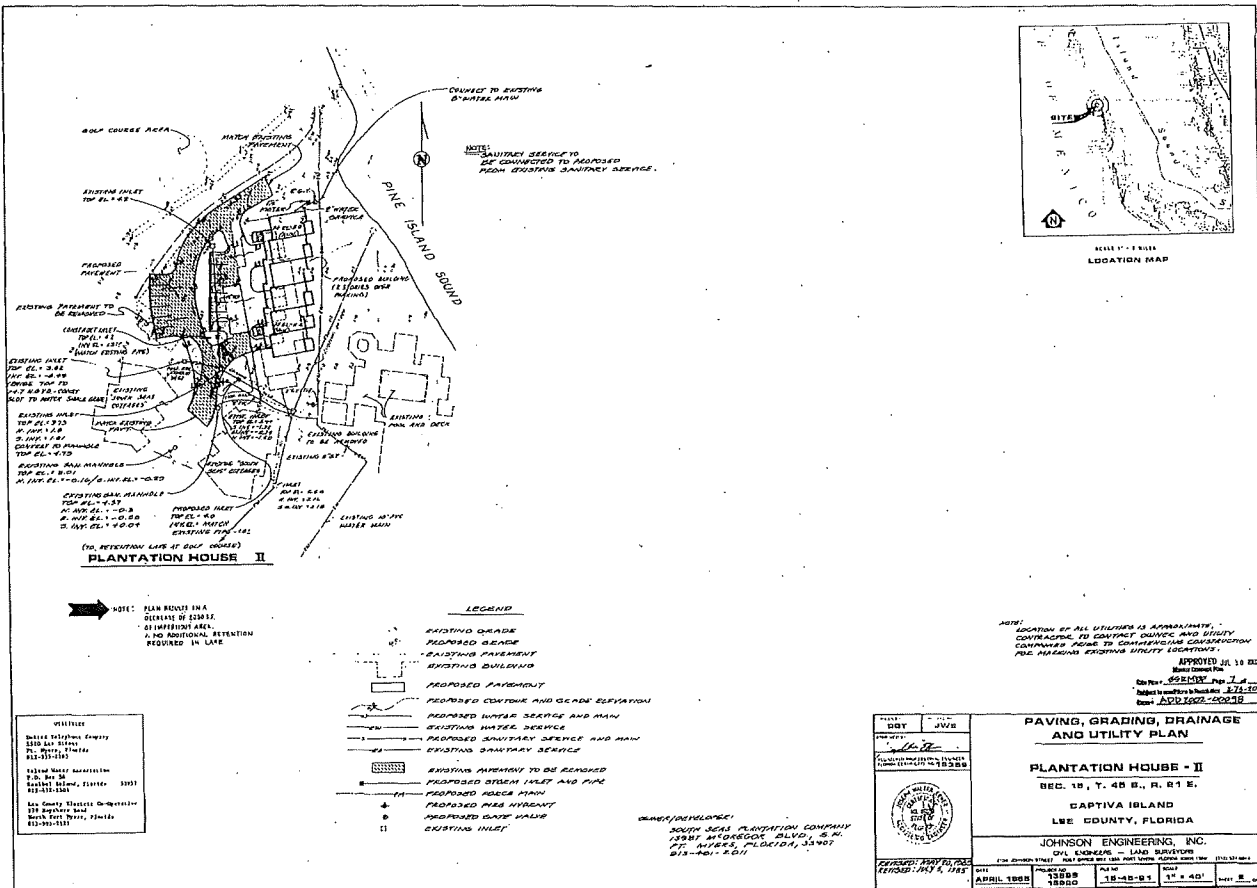
MASTER PLAN
 PREPARED BY
ARCHITECTURAL
RESOURCES CORPORATION
 FOR
 SOUTH SEAS PLANTATION CO.
 1587 W. OREGON BLVD. S.W.
 ST. MYERS, FLORIDA, 33502

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 1111 W. 11TH ST. SUITE 100, TAMPA, FLORIDA 33604

DATE: MAY 5, 1985
 REVISION: MAY 23, 1985

APRIL 1985 10858 15-25-B 84074 1 of 39

BEACH PAVILION # 13899



PLANTATION HOUSE II
(10, RETENTION LAKE AT BUMP CORNER)

NOTE: PLAN SHOWS IN A
DIRECTION OF EMBANK.
OF IMPROVED AREA
A 100 PERCENT RETENTION
REQUIRED IN LAKE

- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING PAVEMENT
 - EXISTING BUILDING
 - PROPOSED PARKING
 - PROPOSED CURB AND GARDN ELEVATION
 - PROPOSED WATER SERVICE AND MAIN
 - EXISTING WATER SERVICE
 - PROPOSED SANITARY SERVICE AND MAIN
 - EXISTING SANITARY SERVICE
 - EXISTING IMPEMENT TO BE REMOVED
 - PROPOSED STEEL INLET AND PIPE
 - PROPOSED REAR DRIVE
 - PROPOSED GAS HYDRANT
 - PROPOSED GATE VALVE
 - EXISTING INLET

NOTE: LOCATION OF ALL UTILITIES IS APPROXIMATE.
CONTRACTOR TO VERIFY EXISTING AND UTILITY
CONDUITS PRIOR TO CONSTRUCTION. CONSTRUCTION
COLUMBIAN ROAD TO CONSTRUCTION CONSTRUCTION
FOR ALL NEARBY EXISTING UTILITY LOCATIONS.

APPROVED JUL 18 1968
JOHNSON ENGINEERING, INC.
CIVIL ENGINEER - LAND SURVEYOR
No. 15007 - 500018

UTILITIES

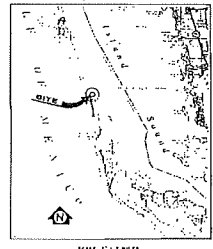
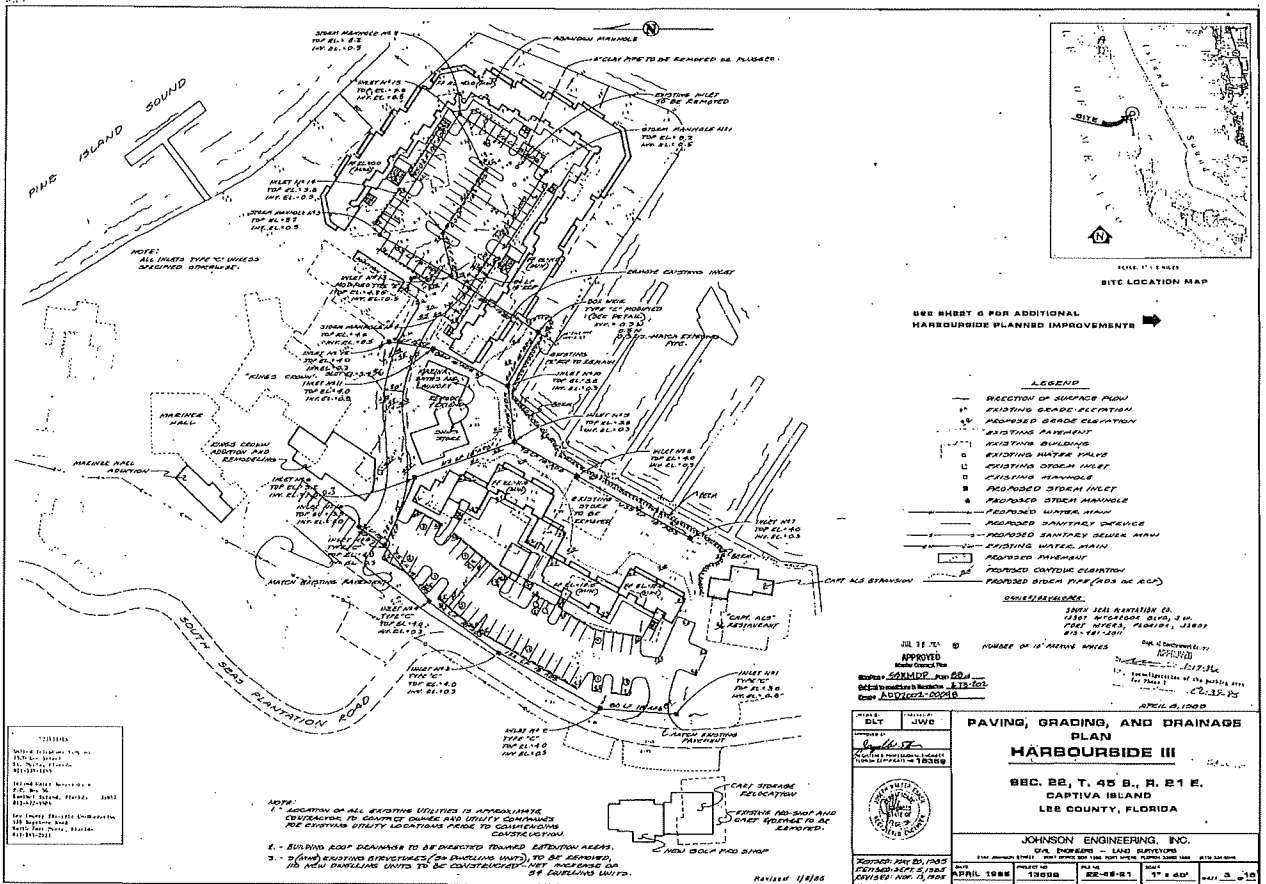
Florida Bell Telephone Company
1800 Bay Street
St. Petersburg, Florida
FL 33705

Florida Water Management
100 Bay St
Tallahassee, Florida 32301
FL 32301

Gas Company
100 Bay Street
Tallahassee, Florida
FL 32301

OWNER/DEVELOPER
SOUTH SEAS PLANTATION COMPANY
19801 MADRID BLVD., S.W.
P.O. BOX 88, FLORENCE, FLORIDA
913-961-5011

DATE APRIL 1968	BY JVS	PROJECT PLANTATION HOUSE II	NO. 15007 - 500018
PAVING, GRADING, DRAINAGE AND UTILITY PLAN PLANTATION HOUSE - II SEC. 18, T. 45 N., R. 81 E. CAPTIVA ISLAND LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC. CIVIL ENGINEERS - LAND SURVEYORS 1500 BAY STREET, TALLAHASSEE, FLORIDA 32301 TEL. 913-961-5011			
DATE APRIL 1968	BY JVS	PROJECT PLANTATION HOUSE II	NO. 15007 - 500018



SEE SHEET 4 FOR ADDITIONAL HARBOURSIDE PLANNED IMPROVEMENTS

- LEGEND**
- SECTION OF SURFACE FLOW
 - EXISTING GRADE ELEVATION
 - PROPOSED GRADE ELEVATION
 - EXISTING PAVEMENT
 - EXISTING BUILDINGS
 - EXISTING WATER MAIN
 - EXISTING STORM MAIN
 - EXISTING SANITARY MAIN
 - EXISTING WATER MAIN
 - PROPOSED PAVEMENT
 - PROPOSED GRADE ELEVATION
 - PROPOSED STORM MAIN (AS BUILT)

APPROVED
 APRIL 11, 1968
 JOHN JOHNSON, INC.
 ENGINEERS



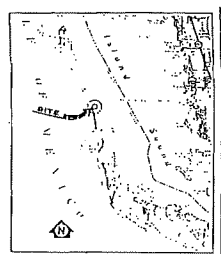
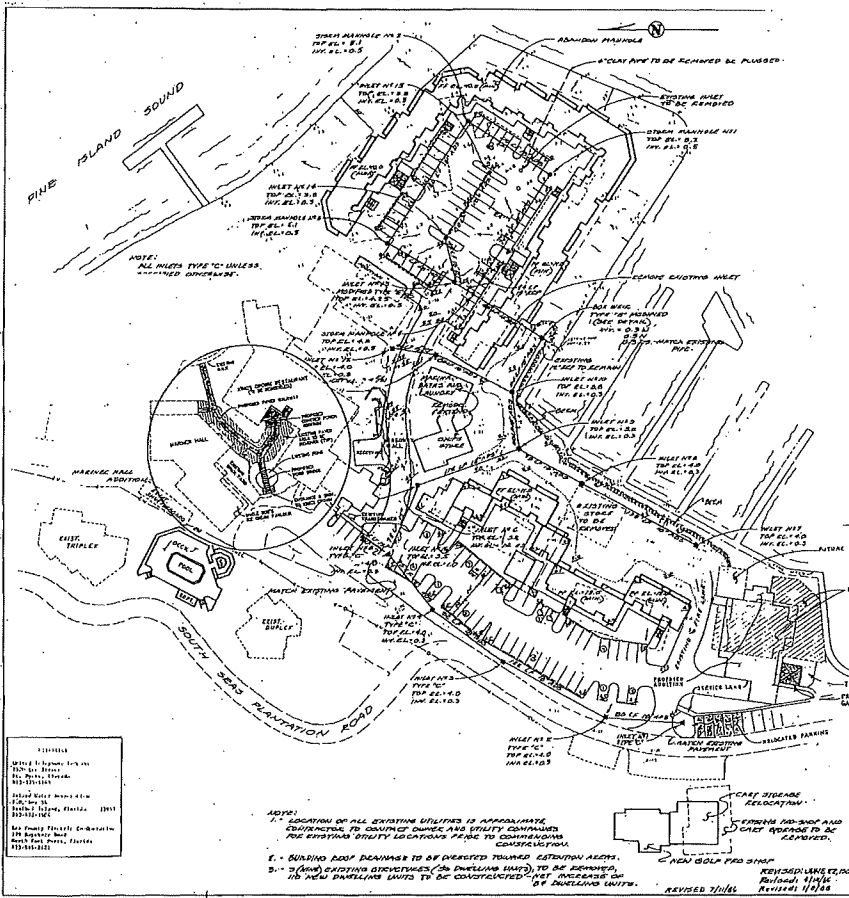
PAVING, GRADING, AND DRAINAGE PLAN
HARBOURSIDE III
 SEC. 22, T. 45 N., R. 21 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1114 W. BAYVIEW BLVD., SUITE 200, MIAMI, FLORIDA 33134
 PHONE 366-1111
 FAS NO. 13388
 APRIL 1968

2218188
 JOHN JOHNSON, INC.
 ENGINEERS
 1114 W. BAYVIEW BLVD., SUITE 200
 MIAMI, FLORIDA 33134
 PHONE 366-1111
 FAS NO. 13388

- NOTES:**
1. LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONSULT WITH CITY OF MIAMI AND UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 2. ALL EXISTING ROOF DRAINAGES TO BE DIRECTED TOWARD EXISTING ALLEYS.
 3. ALL (NEW) EXISTING STRUCTURES (FOR BUILDING UNITS), TO BE DEMOLISHED. ALL NEW BUILDING UNITS TO BE CONSTRUCTED WITH REINFORCED CONCRETE SLABS.

REVISED 11/28/68



SITE LOCATION MAP
 JUL 10 2012
 APPROVED
 M. J. JOHNSON, P.E.
 JOHN JOHNSON, P.E.
 JOHN JOHNSON, P.E.
 JOHN JOHNSON, P.E.

LEGEND

- DIRECTION OF SURFACE RUNOFF
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- EXISTING PAVEMENT
- EXISTING BUILDING
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING STORM MAIN
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER MAIN
- PROPOSED STORM MAIN
- PROPOSED PAVEMENT
- PROPOSED CONDUIT ELEVATION
- PROPOSED STREET LIGHTS (SEE SCHEDULE)
- NUMBER OF 4" PAVING SANDS

DATE: 12/15/11
 BY: M. J. JOHNSON, P.E.
 CHECKED: J. L. JOHNSON, P.E.
 SCALE: AS SHOWN
 REVISION: APRIL 8, 2012

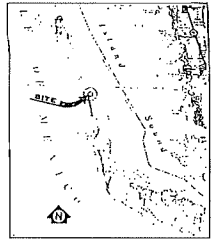
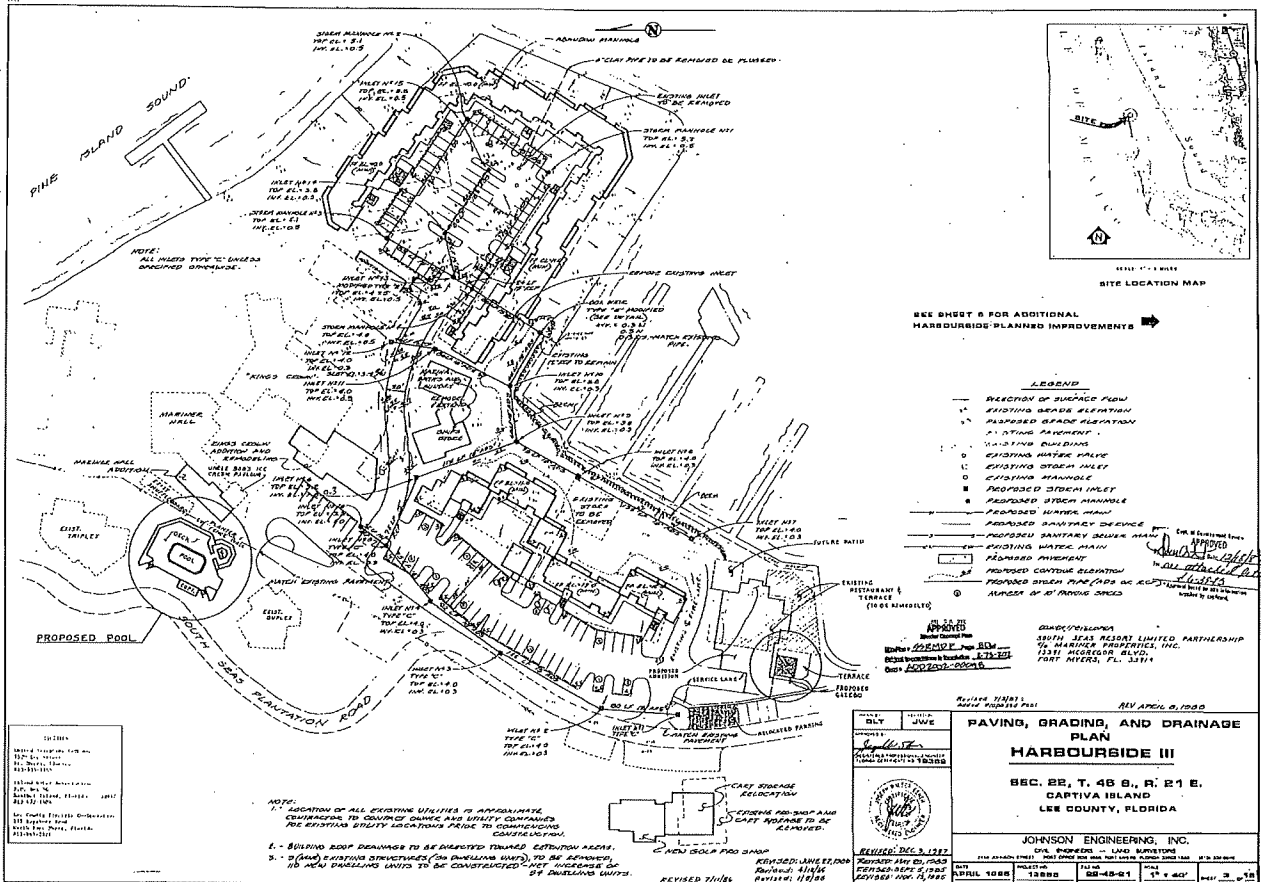
REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/11	ISSUED FOR PERMIT
2	04/08/12	REVISED PER PERMITTING AGENCY COMMENTS
3	04/08/12	REVISED PER PERMITTING AGENCY COMMENTS
4	04/08/12	REVISED PER PERMITTING AGENCY COMMENTS
5	04/08/12	REVISED PER PERMITTING AGENCY COMMENTS

APPROVED
 M. J. JOHNSON, P.E.
 JOHN JOHNSON, P.E.
 JOHN JOHNSON, P.E.
 JOHN JOHNSON, P.E.

PAVING, GRADING, AND DRAINAGE PLAN
HARBOURSIDE III
 SEC. 22, T. 46 S., R. 21 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 214 GARDNER STREET, SUITE 200, FORT MYERS, FLORIDA 33901
 TEL: 888-368-3688 FAX: 888-368-3689
 WWW: WWW.JEINC.COM



SEE SHEET 8 FOR ADDITIONAL HARBOURSIDE-PLANNED IMPROVEMENTS

LEGEND

- DIRECTION OF SURFACE FLOW
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- EXISTING WATER MAIN
- EXISTING STORM INLET
- EXISTING MANHOLE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM PIPES OR COLLECTORS
- NUMBER OF 40' PAVING SPACES

JOHNSON ENGINEERING, INC.
 1381 HOLLAND BLVD.
 FORT MYERS, FL. 33914

DATE	DESCRIPTION
DEC 3, 1982	REVISED
APRIL 1988	REVISED

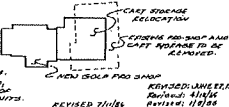
PAVING, GRADING, AND DRAINAGE PLAN
HARBOURSIDE III
 SEC. 22, T. 48 S., R. 21 E.
 CAPIVA ISLAND
 LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1381 HOLLAND BLVD., FORT MYERS, FLORIDA 33914
 PHONE 941-938-1000
 FAX 941-938-1001
 MAILING ADDRESS: 1381 HOLLAND BLVD., FORT MYERS, FLORIDA 33914
 SCALE: 1" = 40'

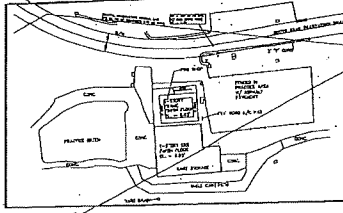
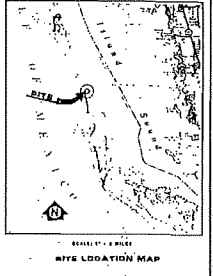
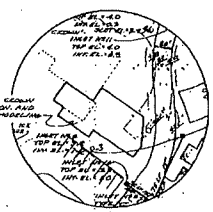
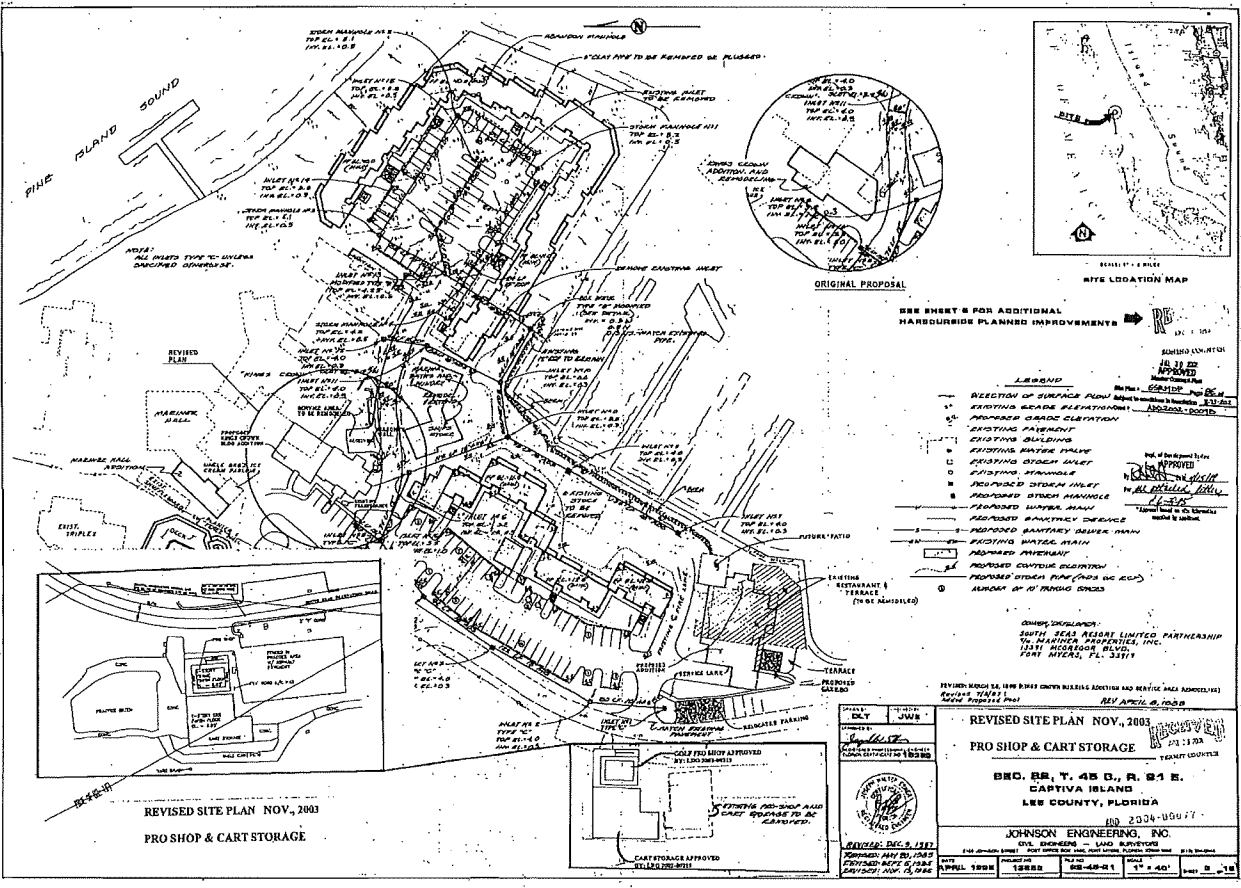
CONTRACT NO. 100-1000
 DATE: 12/3/82
 PROJECT: HARBOURSIDE III
 SHEET NO. 100-1000-001

NOTES:

- LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO VERIFY OWNERS AND UTILITY COMPANIES RECORDS. EXISTING UTILITIES ARE SHOWN FROM THE CONVEYANCE RECORDS.
- BEFORE ANY CONSTRUCTION TO BE INITIATED, CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
- ALL EXISTING UTILITIES (FOR BUILDING USES) TO BE REMOVED. NO NEW BUILDING UNITS TO BE CONSTRUCTED ON THIS SITE.



REVISIONS



REVISED SITE PLAN NOV., 2003
PRO SHOP & CART STORAGE

- SEE SHEET 6 FOR ADDITIONAL HARBOURSIDE PLANNED IMPROVEMENTS
- LEGEND**
- 1" - REVISION OF ORIGINAL PLAN
 - 2" - EXISTING GRADE ELEVATION
 - 3" - PROPOSED GRADE ELEVATION
 - 4" - EXISTING PAVEMENT
 - 5" - EXISTING BUILDING
 - 6" - EXISTING DRIVEWAY
 - 7" - EXISTING DRIVEWAY
 - 8" - EXISTING DRIVEWAY
 - 9" - EXISTING DRIVEWAY
 - 10" - EXISTING DRIVEWAY
 - 11" - EXISTING DRIVEWAY
 - 12" - EXISTING DRIVEWAY
 - 13" - EXISTING DRIVEWAY
 - 14" - EXISTING DRIVEWAY
 - 15" - EXISTING DRIVEWAY
 - 16" - EXISTING DRIVEWAY
 - 17" - EXISTING DRIVEWAY
 - 18" - EXISTING DRIVEWAY
 - 19" - EXISTING DRIVEWAY
 - 20" - EXISTING DRIVEWAY
 - 21" - EXISTING DRIVEWAY
 - 22" - EXISTING DRIVEWAY
 - 23" - EXISTING DRIVEWAY
 - 24" - EXISTING DRIVEWAY
 - 25" - EXISTING DRIVEWAY
 - 26" - EXISTING DRIVEWAY
 - 27" - EXISTING DRIVEWAY
 - 28" - EXISTING DRIVEWAY
 - 29" - EXISTING DRIVEWAY
 - 30" - EXISTING DRIVEWAY
 - 31" - EXISTING DRIVEWAY
 - 32" - EXISTING DRIVEWAY
 - 33" - EXISTING DRIVEWAY
 - 34" - EXISTING DRIVEWAY
 - 35" - EXISTING DRIVEWAY
 - 36" - EXISTING DRIVEWAY
 - 37" - EXISTING DRIVEWAY
 - 38" - EXISTING DRIVEWAY
 - 39" - EXISTING DRIVEWAY
 - 40" - EXISTING DRIVEWAY
 - 41" - EXISTING DRIVEWAY
 - 42" - EXISTING DRIVEWAY
 - 43" - EXISTING DRIVEWAY
 - 44" - EXISTING DRIVEWAY
 - 45" - EXISTING DRIVEWAY
 - 46" - EXISTING DRIVEWAY
 - 47" - EXISTING DRIVEWAY
 - 48" - EXISTING DRIVEWAY
 - 49" - EXISTING DRIVEWAY
 - 50" - EXISTING DRIVEWAY
 - 51" - EXISTING DRIVEWAY
 - 52" - EXISTING DRIVEWAY
 - 53" - EXISTING DRIVEWAY
 - 54" - EXISTING DRIVEWAY
 - 55" - EXISTING DRIVEWAY
 - 56" - EXISTING DRIVEWAY
 - 57" - EXISTING DRIVEWAY
 - 58" - EXISTING DRIVEWAY
 - 59" - EXISTING DRIVEWAY
 - 60" - EXISTING DRIVEWAY
 - 61" - EXISTING DRIVEWAY
 - 62" - EXISTING DRIVEWAY
 - 63" - EXISTING DRIVEWAY
 - 64" - EXISTING DRIVEWAY
 - 65" - EXISTING DRIVEWAY
 - 66" - EXISTING DRIVEWAY
 - 67" - EXISTING DRIVEWAY
 - 68" - EXISTING DRIVEWAY
 - 69" - EXISTING DRIVEWAY
 - 70" - EXISTING DRIVEWAY
 - 71" - EXISTING DRIVEWAY
 - 72" - EXISTING DRIVEWAY
 - 73" - EXISTING DRIVEWAY
 - 74" - EXISTING DRIVEWAY
 - 75" - EXISTING DRIVEWAY
 - 76" - EXISTING DRIVEWAY
 - 77" - EXISTING DRIVEWAY
 - 78" - EXISTING DRIVEWAY
 - 79" - EXISTING DRIVEWAY
 - 80" - EXISTING DRIVEWAY
 - 81" - EXISTING DRIVEWAY
 - 82" - EXISTING DRIVEWAY
 - 83" - EXISTING DRIVEWAY
 - 84" - EXISTING DRIVEWAY
 - 85" - EXISTING DRIVEWAY
 - 86" - EXISTING DRIVEWAY
 - 87" - EXISTING DRIVEWAY
 - 88" - EXISTING DRIVEWAY
 - 89" - EXISTING DRIVEWAY
 - 90" - EXISTING DRIVEWAY
 - 91" - EXISTING DRIVEWAY
 - 92" - EXISTING DRIVEWAY
 - 93" - EXISTING DRIVEWAY
 - 94" - EXISTING DRIVEWAY
 - 95" - EXISTING DRIVEWAY
 - 96" - EXISTING DRIVEWAY
 - 97" - EXISTING DRIVEWAY
 - 98" - EXISTING DRIVEWAY
 - 99" - EXISTING DRIVEWAY
 - 100" - EXISTING DRIVEWAY
- APPROVED: [Signature]
- DATE: [Date]
- PROJECT: [Project Name]
- SCALE: [Scale]

REVISED SITE PLAN NOV., 2003
PRO SHOP & CART STORAGE

BDC, 88, T. 46 S., R. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

2034-00077

JOHNSON ENGINEERING, P.C.

1100 UNIVERSITY BLVD., SUITE 1000
FORT MYERS, FL 33901

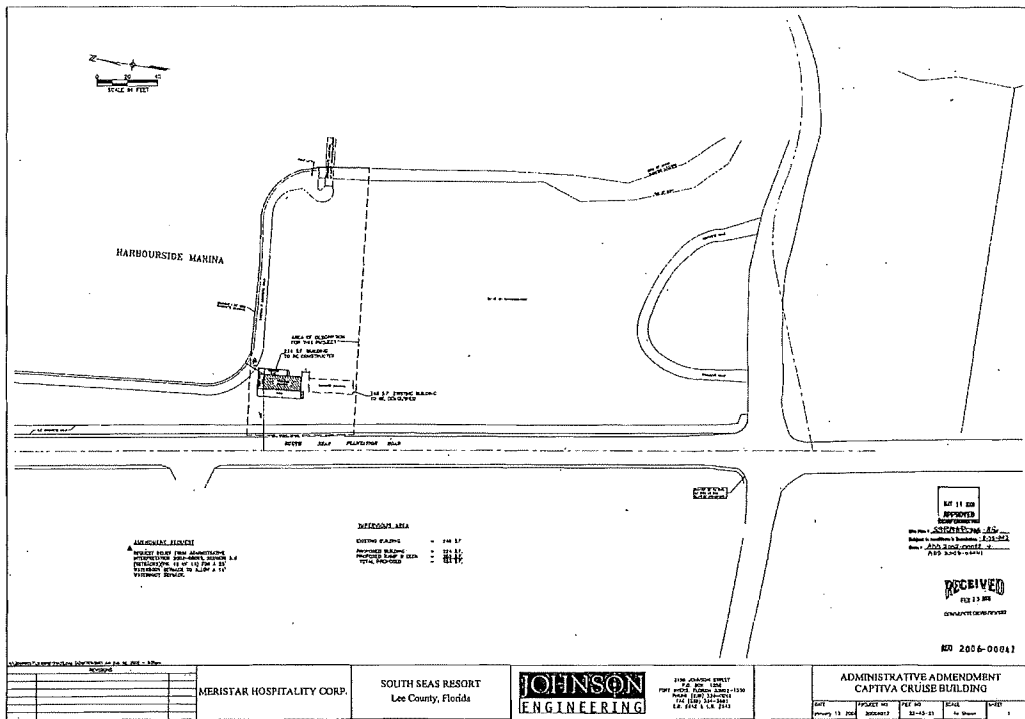
DATE: [Date]

SCALE: [Scale]

PROJECT: [Project Name]

APPROVED: [Signature]

DATE: [Date]



HARBOURSIDE MARINA

ANNUAL FINISH
 1. FINISH ALL EXPOSED SURFACES
 2. FINISH ALL EXPOSED METAL
 3. FINISH ALL EXPOSED WOOD
 4. FINISH ALL EXPOSED CONCRETE
 5. FINISH ALL EXPOSED BRICK

INTERIOR AREA
 CUSTOMER ROOMS - 140 SF
 MEETING ROOMS - 100 SF
 TOTAL FINISH - 240 SF

NO. 11 500
 RECEIVED
 FEB 13 2006
 CIVIL ENGINEERING DEPARTMENT

NO 2006-00043

DATE	PROJECT NO.	FILE NO.	SCALE	DATE
February 13, 2006	2006013	21-10-11	As Shown	2

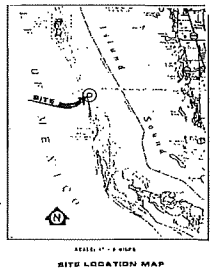
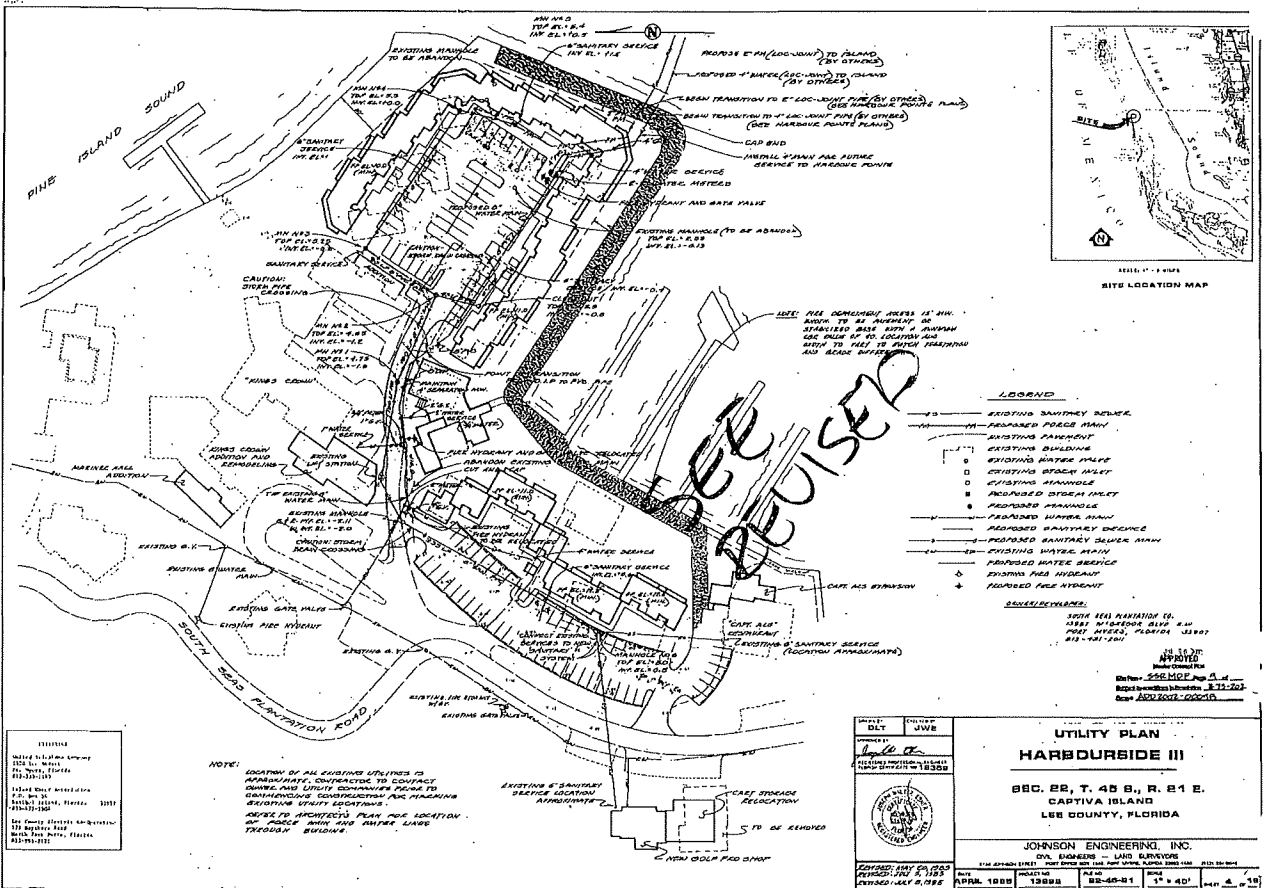
MERISTAR HOSPITALITY CORP.

SOUTH SEAS RESORT
 Lee County, Florida



1100 JOHNSON DRIVE
 FORT WORTH, TEXAS 76104-1330
 PHONE: (817) 335-1000
 FAX: (817) 335-1011
 E-MAIL: J.E. @ J.E. ENGINEERS.COM

ADMINISTRATIVE AMENDMENT
 CAPTIVA CRUISE BUILDING



- LEGEND**
- EXISTING SANITARY SEWER
 - PREPARED FORCE MAIN
 - EXISTING FLOODWALL
 - EXISTING BUILDING
 - EXISTING WATER MAIN
 - EXISTING STORM MAIN
 - EXISTING MANHOLE
 - PREPARED STORM MAIN
 - PREPARED MANHOLE
 - PREPARED WATER MAIN
 - PREPARED SANITARY SEWER MAIN
 - EXISTING WATER MAIN
 - PREPARED WATER SERVICE
 - EXISTING FIRE HYDRANT
 - PREPARED FIRE HYDRANT
- EXPLANATIONS:**
- NOTE: SEE REVISIONS TO SHEET 100-10000-0001 FOR REVISIONS TO THIS PLAN.
 - DATE: 10/1/88
 - BY: J.E. JOHNSON
 - SCALE: AS SHOWN
 - PROJECT: HARBORSIDE III
 - DATE: 10/1/88

TITLE

UTILITY PLAN
 HARBORSIDE III
 CAPTIVA ISLAND
 LEES COUNTY, FLORIDA

NOTE:

LOCATION OF ALL EXISTING UTILITIES IS SHOWN HERE. CONTRACTOR TO CONTACT OWNER AND UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION FOR HARBORSIDE III. REFER TO ARCHITECTURAL PLAN FOR LOCATION OF FORCE MAIN AND WATER LINES THROUGH BUILDING.

DATE	BY
10/1/88	J.E. JOHNSON
10/1/88	J.E. JOHNSON
10/1/88	J.E. JOHNSON

UTILITY PLAN

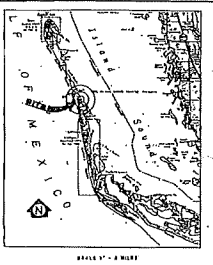
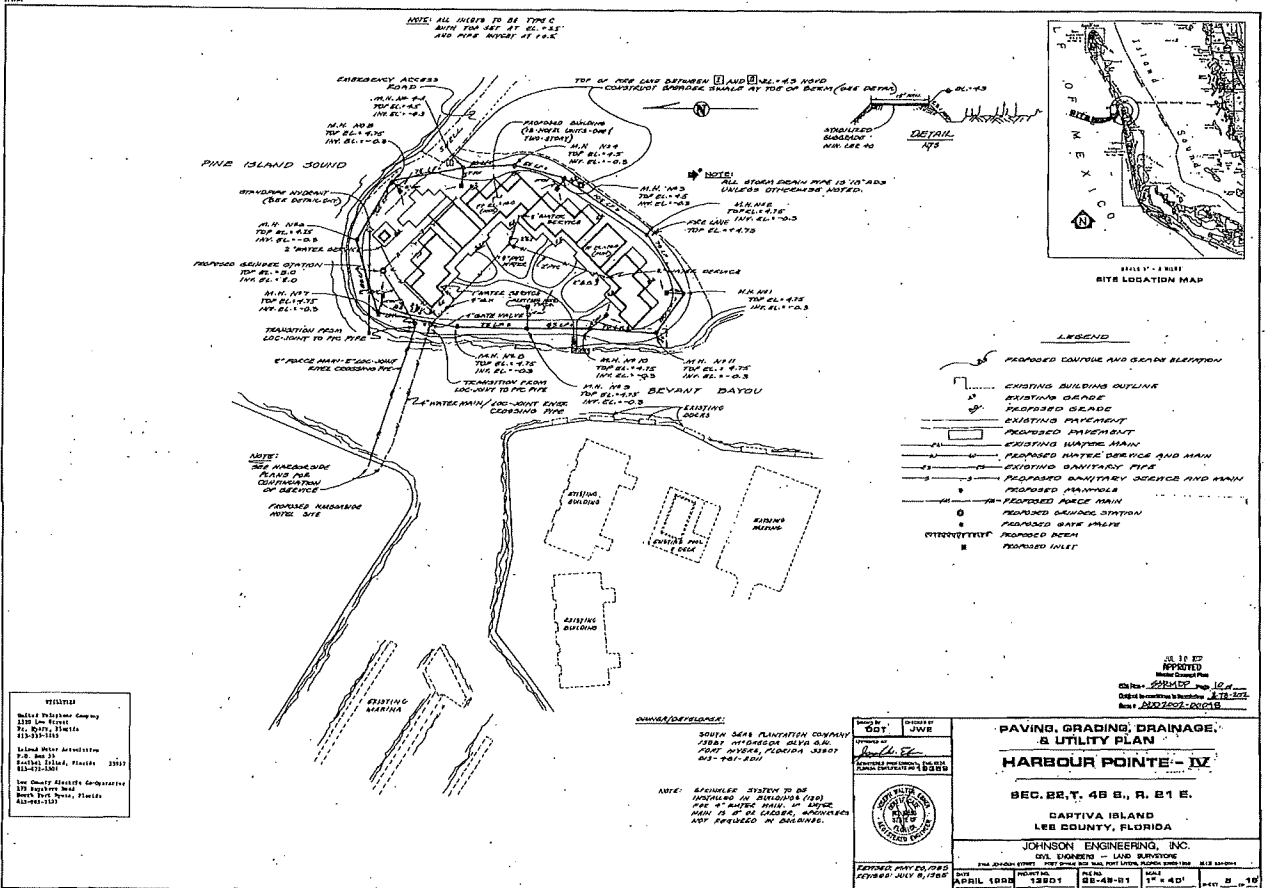
HARBORSIDE III

88C, 88, T. 48 S., R. 81 E.
 CAPTIVA ISLAND
 LEES COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 204 S. W. 10th Ave., Suite 200
 Ft. Lauderdale, Florida 33304
 Phone: 561-551-1111

DATE: 10/1/88
 PROJECT: HARBORSIDE III
 SHEET: 100-10000-0001
 SCALE: AS SHOWN

MOUNT STAHLIN #13901



- LEGEND**
- PROPOSED COURSE AND BEARING
 - EXISTING BUILDING OUTLINE
 - EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING PAVEMENT
 - PROPOSED DRIVEWAY
 - EXISTING WASTE MAIN
 - PROPOSED WATER SERVICE AND MAIN
 - EXISTING SANITARY PIPE
 - PROPOSED SANITARY SERVICE AND MAIN
 - PROPOSED MANHOLE
 - PROPOSED FORCE MAIN
 - PROPOSED DRAINAGE DITCHWAY
 - PROPOSED WATER MAIN
 - PROPOSED REEF
 - PROPOSED INLET

NOTES:
 1. ALL UTILITIES TO BE TYPIC
 2. ALL UTILITIES TO BE TYPIC
 3. ALL UTILITIES TO BE TYPIC

OWNER/DEVELOPER:
 SOUTH SEA PLANTATION COMPANY
 1387 WINDSOR PALM AVE.
 WEST PALM BEACH, FLORIDA 33411
 407-981-8200

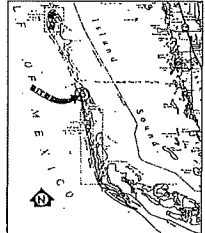
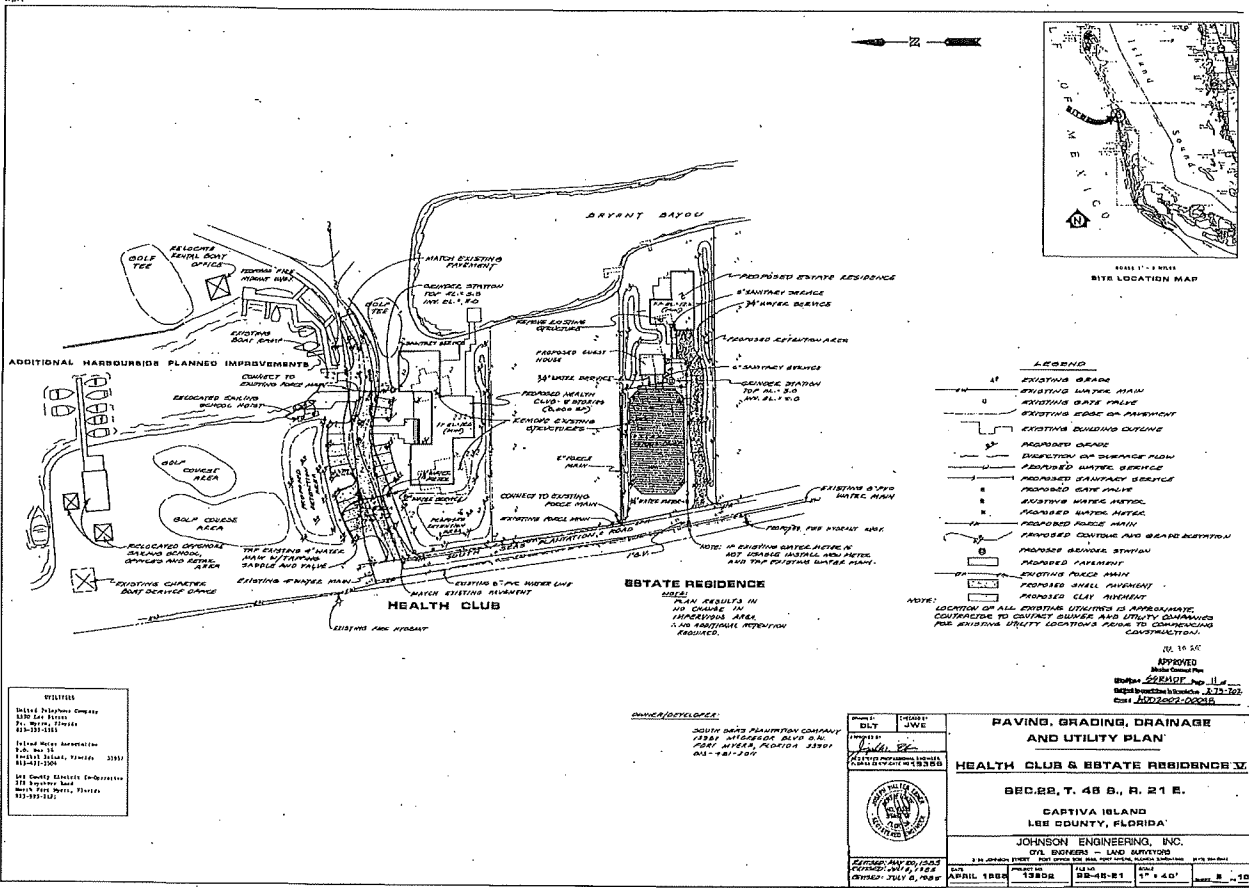
NOTE: APPROXIMATE SYSTEM TO BE
 INSTALLED IN BIDDING (199)
 PER 4" WATER MAIN IN LARGE
 MAIN IS 2" IN DIAMETER, APPROXIMATE
 NOT PREPARED IN BIDDING.

DESIGNED BY
JOY
 ENGINEER
 J.W. JOY
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12345

**PAVING, GRADING, DRAINAGE,
 & UTILITY PLAN**
HARBOR POINTE - IV
 SEC. 22, T. 48 S., R. 21 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1100 W. UNIVERSITY AVENUE, SUITE 200, TAMPA, FLORIDA 33606
 TEL: 813-288-1111 FAX: 813-288-1112

DATE: APRIL 1998
 SHEET NO.: 13901
 SCALE: 1" = 40'
 DRAWN BY: J.W. JOY



- LEGEND**
- 12" — EXISTING SEWER
 - 12" — EXISTING WATER MAIN
 - 12" — EXISTING SANITARY SEWER
 - 12" — EXISTING EDGE OF PAVEMENT
 - 12" — EXISTING BUILDING OUTLINE
 - 12" — PROPOSED DRIVE
 - 12" — DIRECTION OF SURFACE FLOW
 - 12" — PROPOSED WATER SERVICE
 - 12" — PROPOSED SANITARY SEWER
 - 12" — PROPOSED SANITARY SEWER
 - 12" — EXISTING WATER SERVICE
 - 12" — PROPOSED WATER SERVICE
 - 12" — PROPOSED WATER MAIN
 - 12" — PROPOSED CONDUIT AND SEWER JUNCTION
 - 12" — PROPOSED SEWER STATION
 - 12" — PROPOSED WATER MAIN
 - 12" — EXISTING PAVED MAIN
 - 12" — PROPOSED SMALL PAVEMENT
 - 12" — PROPOSED CLAY PIPE
- NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO VERIFY DIMENSIONS AND UTILITY DEPT. RECORDS FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

SYNOPSIS

Walter Johnson Company
 2000 Lee Street
 Ft. Myers, Florida
 409-931-1111

Lee County Health Department
 215 E. 1st St.
 Ft. Myers, Florida 33901
 409-931-1000

Lee County Electric Department
 215 E. 1st St.
 Ft. Myers, Florida
 409-931-1000

OWNER/DEVELOPER:

JOHN BARR PLANNING COMPANY
 1585 W. GOLF COURSE BLVD. S.W.
 FORT MYERS, FLORIDA 33901
 409-931-1000

DATE: APRIL 1988
 DRAWN BY: JWE
 CHECKED BY: JWE
 PROJECT: HEALTH CLUB & ESTATE RESIDENCE

PAVING, GRADING, DRAINAGE AND UTILITY PLAN

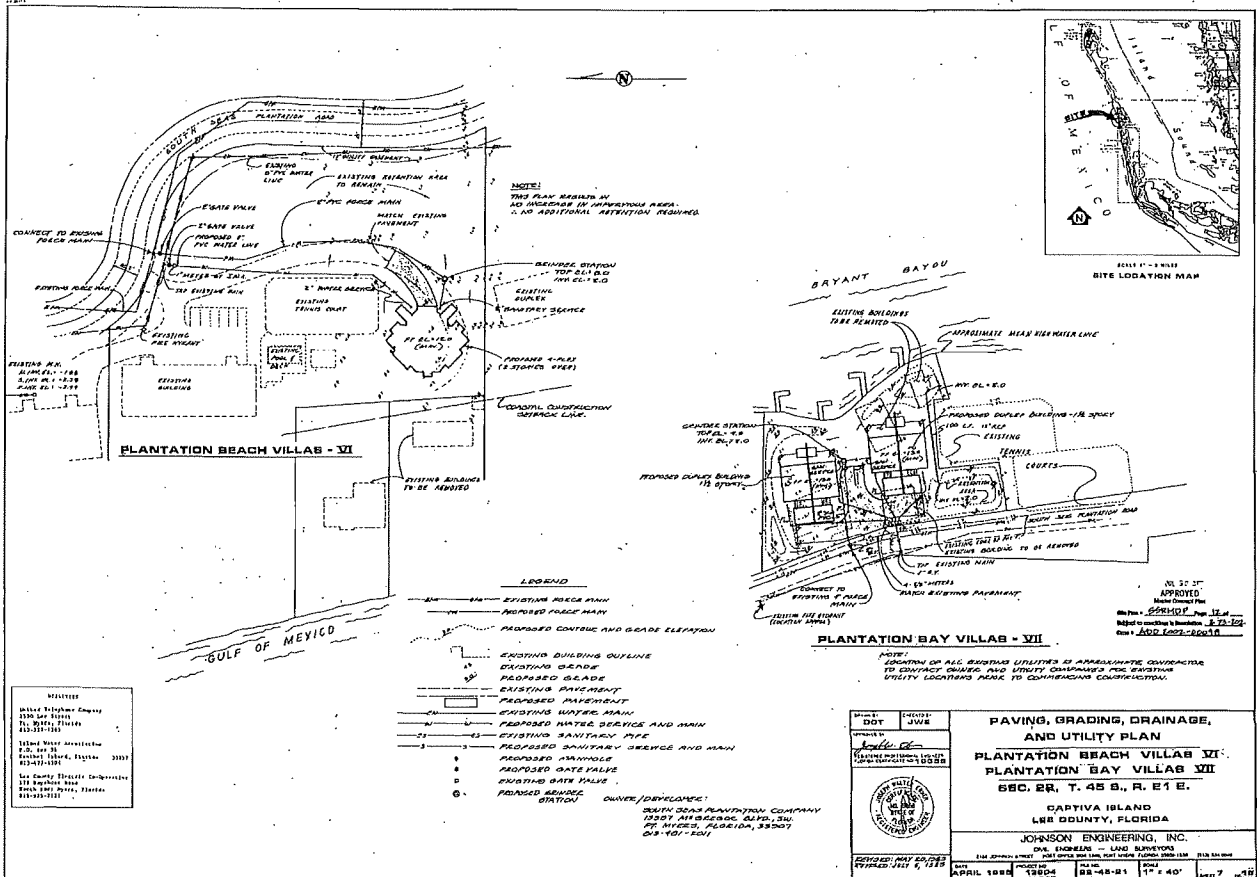
HEALTH CLUB & ESTATE RESIDENCE

SECTION, T. 48 S., R. 21 E.

CARTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 OLY BRIDGES - LAND SURVEYORS
 215 E. 1st St.
 Ft. Myers, Florida 33901
 409-931-1000

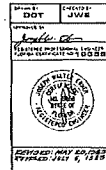
APPROVED: [Signature]
 DATE: APRIL 1988



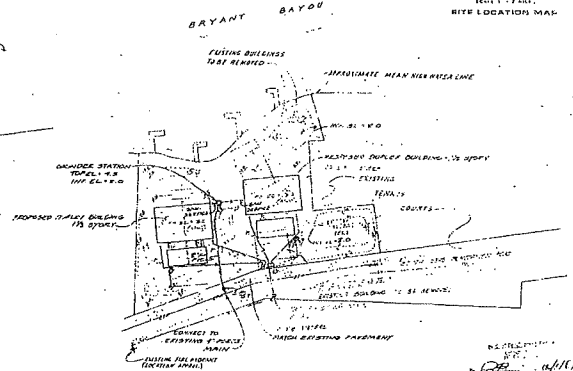
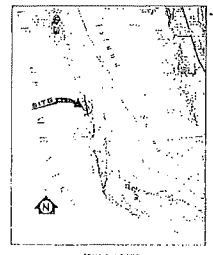
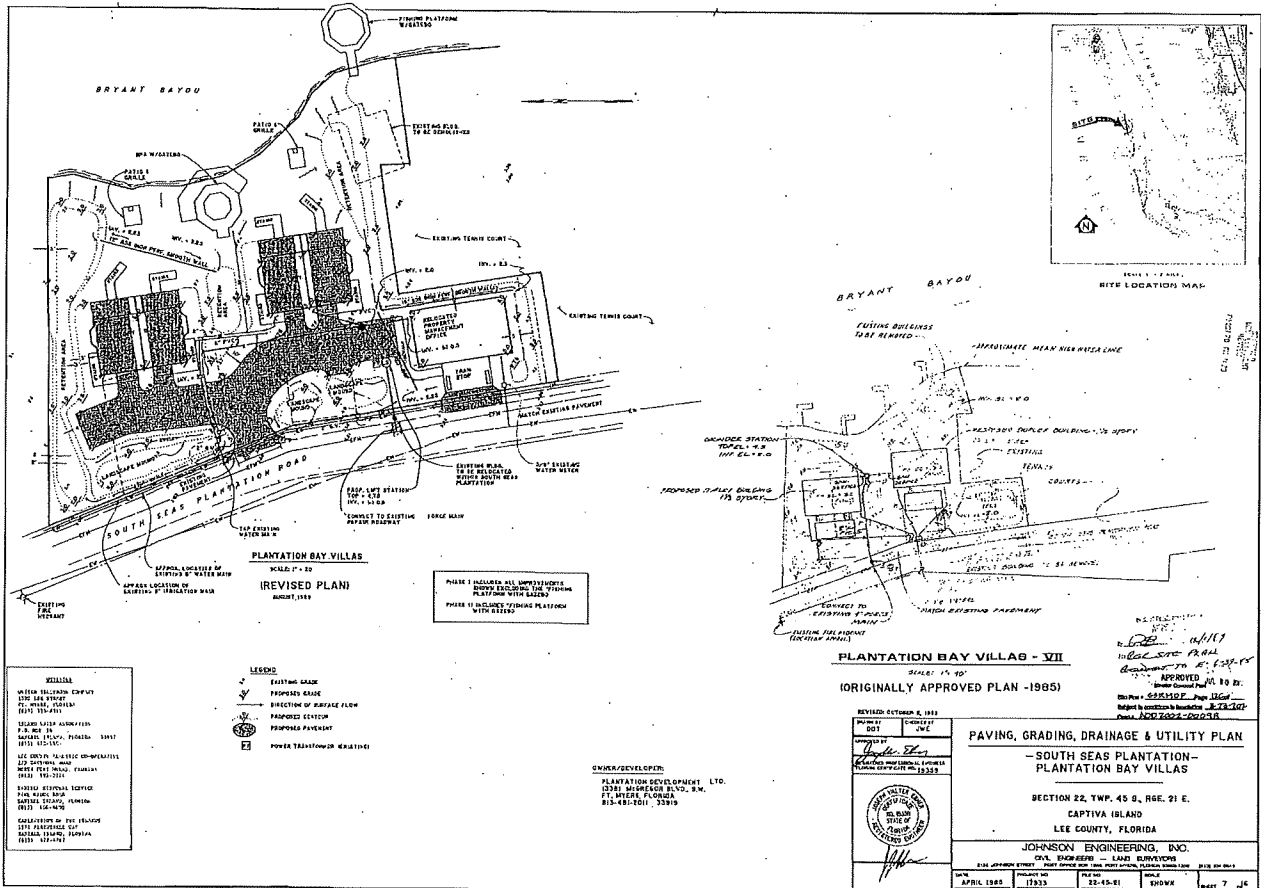
SURVEYOR
 181141 Telephone Company
 1308 G.P. Bldg.
 P.O. Box 270149
 333-217-1343
 181142 Survey Associates
 P.O. Box 31
 181143 1814th St., Ft. Lauderdale, FL 33305
 334-477-1391
 181144 Geo. S. H. H. Co. Surveyors
 111 Eastside Blvd.
 33404 Fort Lauderdale, Florida
 334-443-7111

- LEGEND**
- EXISTING ALLEY MAIN
 - PROPOSED FRONT MAIN
 - PROPOSED CURB AND GROUND ELEVATION
 - EXISTING BUILDING OUTLINE
 - EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - EXISTING WATER MAIN
 - PROPOSED WATER SERVICE AND MAIN
 - EXISTING SANITARY PIPE
 - PROPOSED SANITARY SERVICE AND MAIN
 - PROPOSED MANHOLE
 - PROPOSED GATE VALVE
 - PROPOSED GATE VALVE
 - PROPOSED SERVICE STATION

OWNER/DEVELOPER:
 SOUTH BEACH PLANTATION COMPANY
 12501 N.W. 18th Ave., Suite 200
 MIAMI, FLORIDA, 33187
 305-491-2611



PAVING, GRADING, DRAINAGE, AND UTILITY PLAN PLANTATION BEACH VILLAS VII PLANTATION BAY VILLAS VII 68C, 2R, T. 45 S., R. 1 E. CAYVIA ISLAND LEE COUNTY, FLORIDA	
JOHNSON ENGINEERING, INC. ONE DORRILL - LAND SURVEYORS 1111 S. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304	
DATE: APRIL 1988 PROJECT NO.: 181141-181143 SHEET NO.: 08-4R-01	SCALE: 1" = 40' SHEET NO.: 2 OF 10



UTILITIES

WATER TREATMENT PLANT
1200 S.W. 15th Ave.
MIAMI, FLORIDA
(305) 375-1111

SEWERAGE TREATMENT PLANT
P.O. BOX 10
MIAMI, FLORIDA 33101
(305) 375-1111

MIAMI WATER DEPARTMENT
222 CENTRAL AVENUE
MIAMI, FLORIDA 33131
(305) 375-2222

MIAMI POWER & LIGHT COMPANY
P.O. BOX 100
MIAMI, FLORIDA 33101
(305) 375-1000

MIAMI TELEPHONE COMPANY
1270 CENTRAL AVENUE
MIAMI, FLORIDA 33131
(305) 375-1270

- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - DIRECTION OF SURFACE FLOW
 - PROPOSED CEMENT
 - PROPOSED PAVEMENT
 - POWER TRANSFORMER (INDICATED)

OWNER/DEVELOPER
PLANTATION DEVELOPMENT, LTD.
3731 WINDSOR BLVD., S.W.
FT. WORTH, FLORIDA
813-481-7011, 33319

PLANTATION BAY VILLAS - VII
SCALE: 1/4" = 10'
(ORIGINALLY APPROVED PLAN - 1985)

REVISED OCTOBER 6, 1985

PROJECT NO.	DATE
17933	10/6/85

PAVING, GRADING, DRAINAGE & UTILITY PLAN
- SOUTH SEAS PLANTATION -
PLANTATION BAY VILLAS

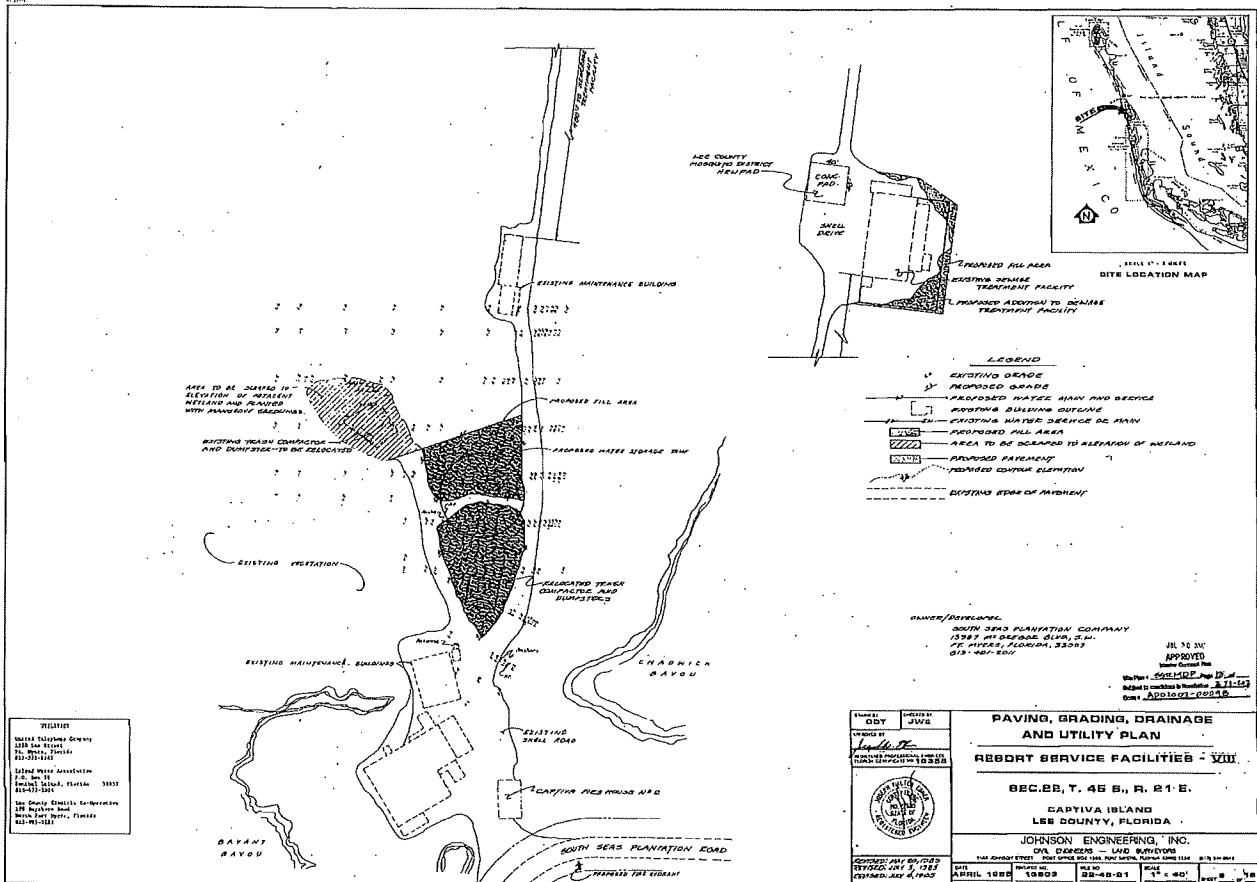
SECTION 22, TWP. 45 S., RSE. 21 E.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS

DATE APPROVED: APRIL 1985 PROJECT NO. 17933 FILE NO. 22-65-01 SHEET NO. 2 OF 2



APPROVED FOR THE PROJECT
DATE: 4/1/85
BY: [Signature]
APPROVED FOR THE CITY
DATE: 4/1/85
BY: [Signature]



AREA TO BE DRAINED IN
DIRECTION OF NEARBY
WETLAND AND RAISED
WITH PERVIOUS SUBSTRATE.

EXISTING TRASH COMPACTOR
AND DUMPSTER TO BE RELOCATED

EXISTING VEGETATION

EXISTING MAINTENANCE BUILDING

EXISTING SMALL ROAD

EXISTING PAVED DRIVE

SOUTH BEACH PLANTATION ROAD

CROSSING THE TIDALWAY

LEE COUNTY
FIRE/EMERGENCY
STATION

COMB.
GAS
TANK

SMALL
BUILDING

TREATED OIL AREA
EXISTING SERVICE
TREATMENT FACILITY
PROPOSED ADDITIONAL SERVICE
TREATMENT FACILITY

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED WATER MAIN AND SERVICE
- EXISTING DRAINAGE OUTSIDE
- EXISTING WATER SERVICE OR MAIN
- PROPOSED FILL AREA
- AREA TO BE DEGRADED TO AVERAGE OF WETLAND
- PROPOSED PAVEMENT
- PROPOSED EXISTING ELEVATION
- EXISTING EDGE OF IMPROVEMENT

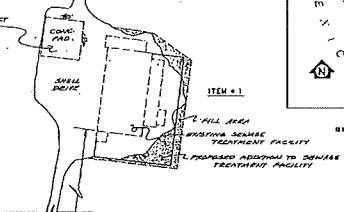
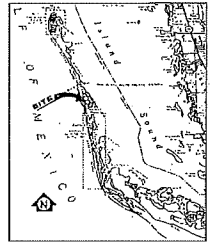
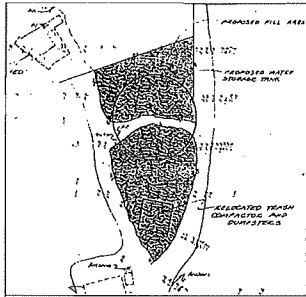
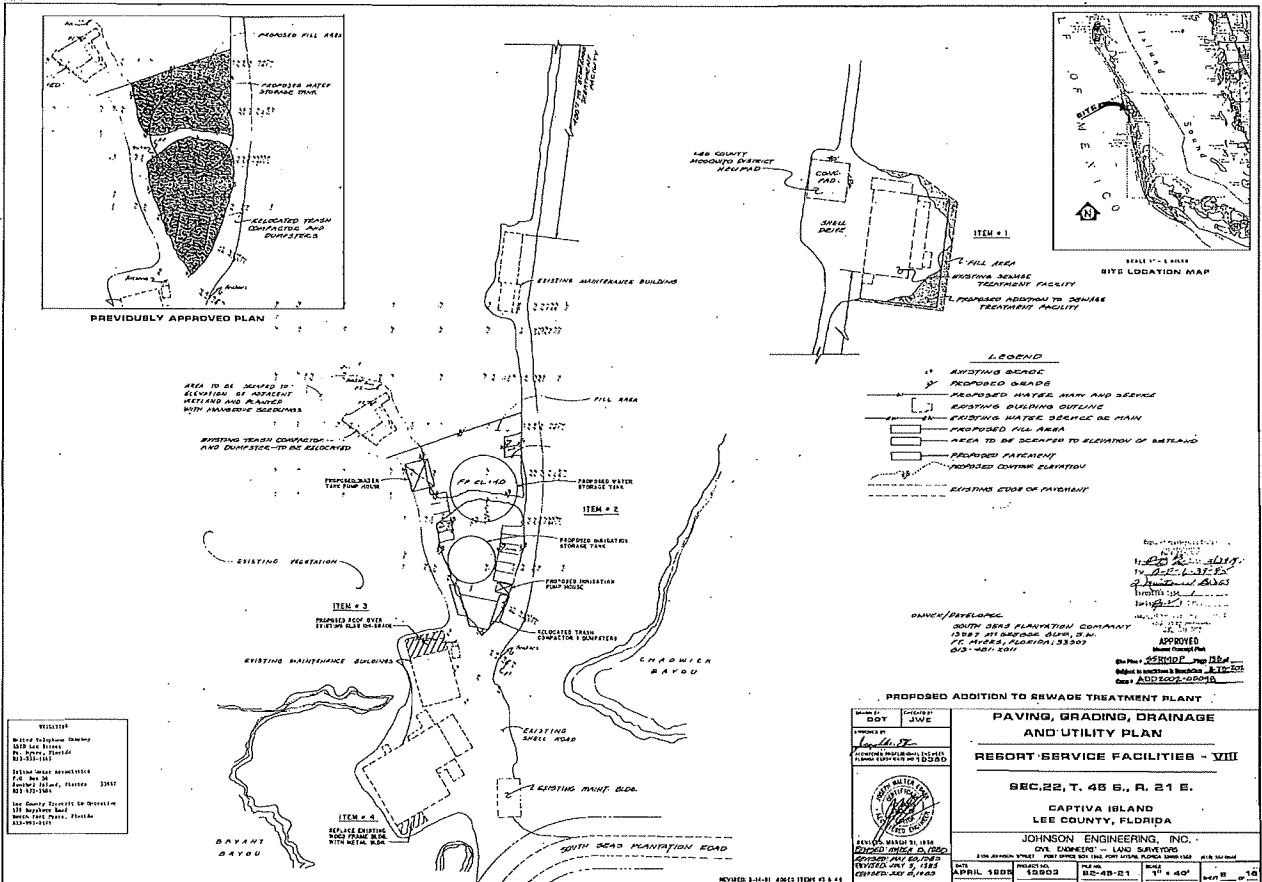
DRAWN/DESIGNED BY
SOUTH BEACH PLANTATION COMPANY
1585 W. PALM BEACH BLVD., S.W.
FT. PIERCE, FLORIDA, 33907
919-481-2007

JUL 30 2007
APPROVED
James Edward Fox
SOUTH BEACH PLANTATION COMPANY
Checked by: JAMES EDWARD FOX

NOTES:
1. All utilities to be installed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition.
2. All utilities to be installed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition.
3. All utilities to be installed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition.



PAVING, GRADING, DRAINAGE AND UTILITY PLAN	
ROBERT SERVICE FACILITIES - VIII	
SEC. 22, T. 45 S., R. 21 E.	
CAPTIVA ISLAND LEE COUNTY, FLORIDA	
JOHNSON ENGINEERING, INC.	
CIVIL ENGINEERS - LAND SURVEYORS	
DATE: APRIL 1988	SCALE: 1" = 40'



- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - PROPOSED WATER MAIN AND SEWER
 - EXISTING DRAINAGE OUTLINE
 - EXISTING WATER DEFENSE AS PLAN
 - PROPOSED FILL AREA
 - AREA TO BE GRADED TO ELEVATION OF BAYLAND
 - PROPOSED PAVEMENT
 - PROPOSED CONCRETE ELEVATION
 - EXISTING EDGE OF PAVEMENT

10/11/58
 Mr. J. W. Johnson, Director
 Lee County, Florida
 100 South Beach
 Tallahassee, Florida 32302
 100 South Beach
 Tallahassee, Florida 32302
 100 South Beach
 Tallahassee, Florida 32302

PROPOSED ADDITION TO SEWAGE TREATMENT PLANT

PAVING, GRADING, DRAINAGE AND UTILITY PLAN

REPORT SERVICE FACILITIES - VIII

SEC. 22, T. 48 S., R. 21 E.

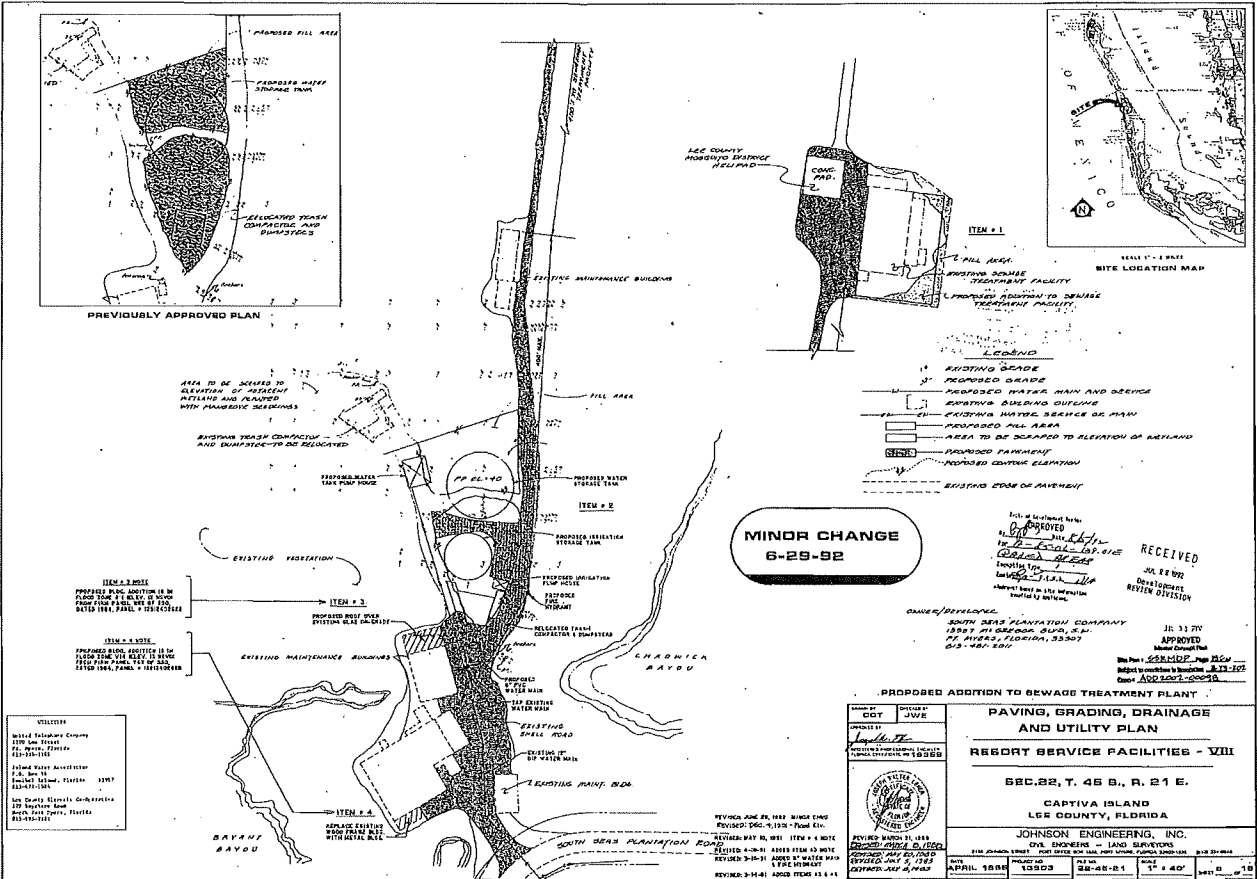
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS

100 SOUTH BEACH, TALLAHASSEE, FLORIDA 32302
 PHONE 922-1111
 REVISED MAY 2, 1953
 CONTRACT NO. 100-100

DATE: APRIL 1958	PROJECT: 100-100	SCALE: 1" = 40'	SHEET: 10
------------------	------------------	-----------------	-----------

REVISION 3-11-58 ITEM #1 & 2



VENDOR

United Engineers Company
 1200 W. 1st Street
 Ft. Myers, Florida
 33901-1000

John Deere Association
 P.O. Box 18
 Moline, Illinois 61702

Lee County Electric Co-Operative
 220 Northline Road
 South Fort Myers, Florida
 33907-0000

**MINOR CHANGE
 6-29-82**

APPROVED
 [Signature]
 JUN 21 1982
 RECEIVED
 JUN 21 1982
 REVIEW DIVISION

PROPOSED ADDITION TO SEWAGE TREATMENT PLANT

PAVING, GRADING, DRAINAGE
 AND UTILITY PLAN

REGORY SERVICE FACILITIES - VIII

680.82, T. 46 S., R. 21 E.

CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

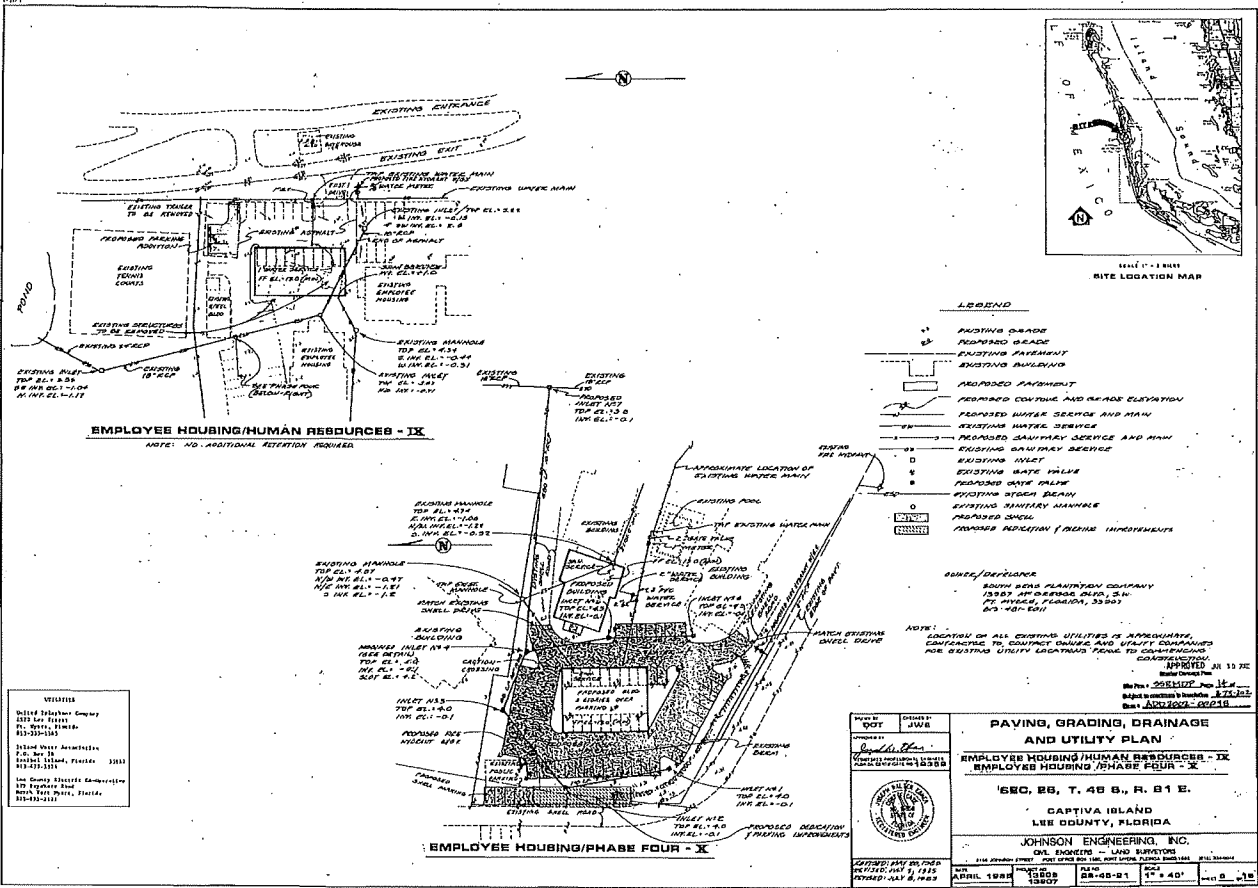
JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1800 W. 1st Street, Fort Myers, Florida 33901
 PHONE: 336-1000

APRIL 1982

REVISED JUNE 28, 1982 BY WJW
 REVISED 1982-7-1979 P-006 410

REVISED MAY 10, 1981 ITEM # 1 NOTE
 REVISED 4-28-81 ADDED ITEM 13 NOTE
 REVISED 3-18-81 ADDED WALKWAY
 & FILL AT MAINT

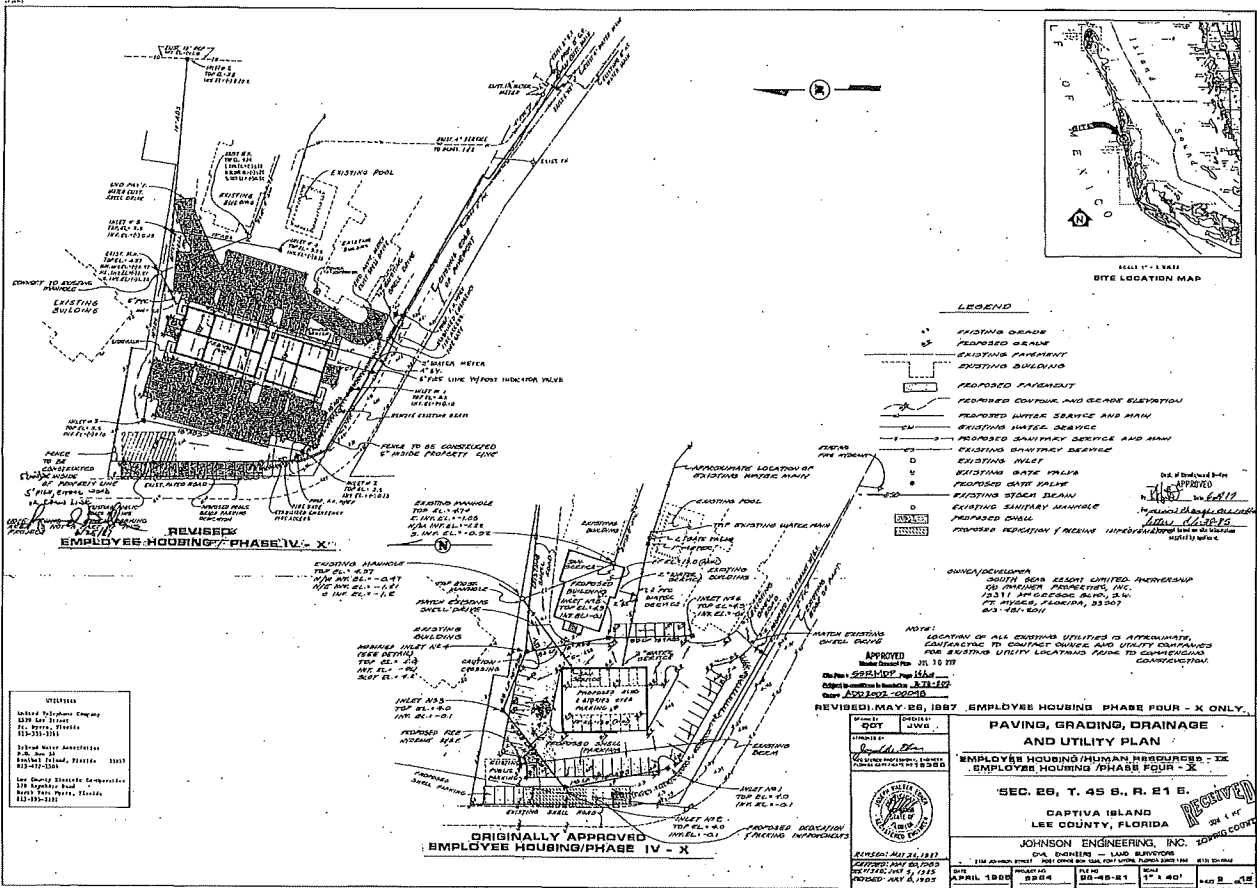
REVISED 3-14-81 ADDED ITEM 13 & 14



VIETNAM VETERANS
 United Plantation Company
 1015 Lee Street
 Ft. Myers, Florida
 33901-0001

123456789
 1011121314151617181920
 21222324252627282930
 31323334353637383940
 41424344454647484950

<p>DATE: 10/1/67 DRAWN BY: JWE CHECKED BY: JWB APPROVED BY: JWB</p>	<p>PAVING, GRADING, DRAINAGE AND UTILITY PLAN</p> <p>EMPLOYEE HOUSING/HUMAN RESOURCES - IX</p> <p>EMPLOYEE HOUSING/PHASE FOUR - IX</p> <p>'SEC. 26, T. 46 S., R. 21 E.</p> <p>CAPTIVA ISLAND</p> <p>LEE COUNTY, FLORIDA</p> <p>JOHNSON ENGINEERING, INC.</p> <p>ONE ENGINEERS - LAND SURVEYORS 1114 GARDNER STREET, SUITE 100, TAMPA, FLORIDA 33604 TEL. 833-3331</p> <p>DATE: APRIL 1968 SCALE: 1" = 40' SHEET NO. 18</p>
--	---



UNITED STATES OF AMERICA
 Licensed Professional Engineer
 JOHN R. JOHNSON
 111 SOUTH W. 11TH ST.
 TAMPA, FLORIDA 33601
 813-255-1311

15000 NORTH AVENUE
 SUITE 200
 TAMPA, FLORIDA 33613
 813-255-1311

Lee County Engineer's Office
 115 Highway Road
 North Fort Myers, Florida
 813-293-2100

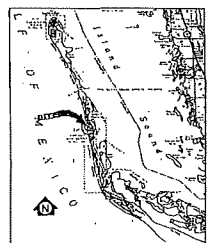
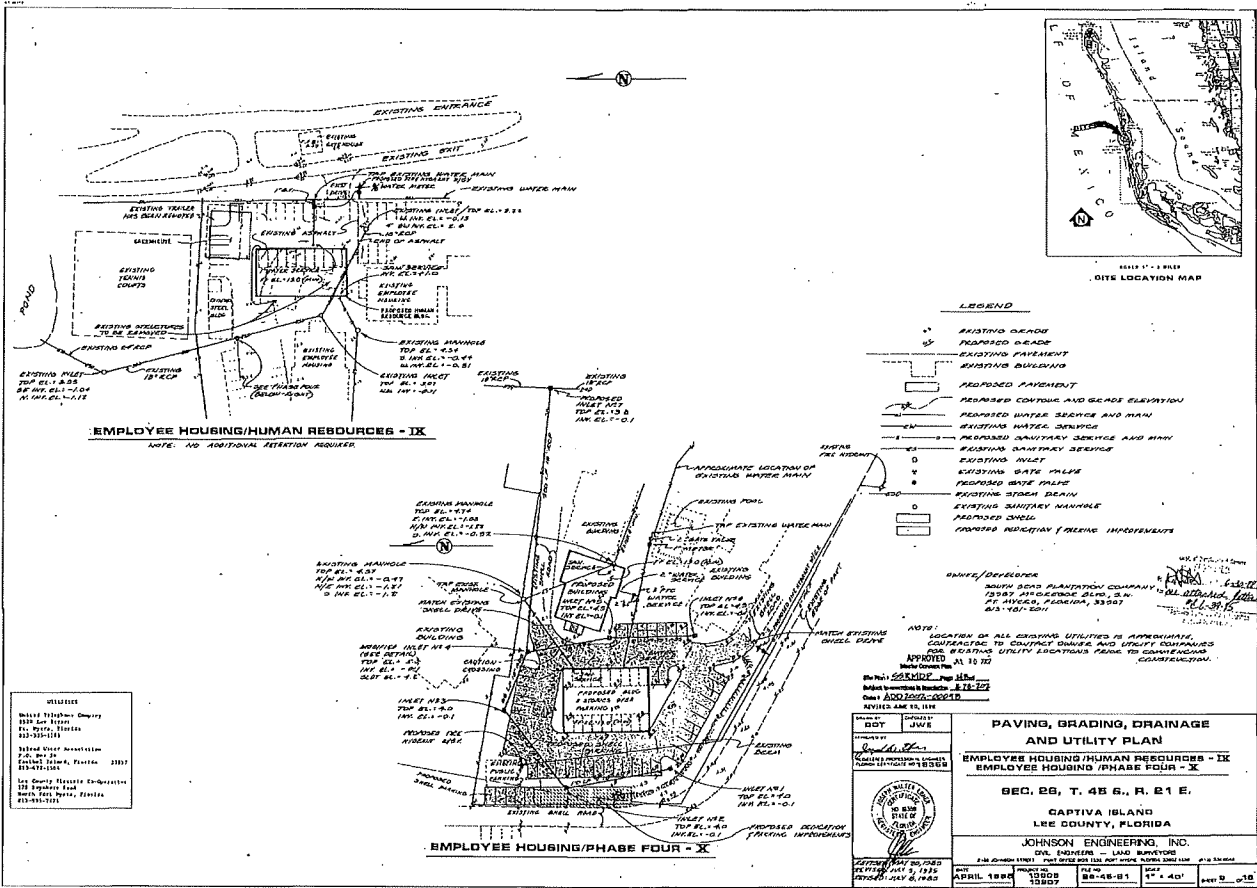
APPROVED
 Date: 5/26/87
 Signature: [Signature]
 Title: [Title]

REVISION: MAY 26, 1987
 QOT
 [Signature]
 [Title]

RECEIVED
 MAY 26 1987
 MAY 26 1987
 MAY 26 1987

PAVING, GRADING, DRAINAGE AND UTILITY PLAN EMPLOYEE HOUSING/HUMAN HOUSING/PHASE IV - X EMPLOYEE HOUSING / PHASE FOUR - X			
SEC. 26, T. 45 S., R. 21 E. CAPTIVA ISLAND LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC. [Seal] CIVIL ENGINEERS - LAND SURVEYORS 15000 NORTH AVENUE, SUITE 200, TAMPA, FLORIDA 33613 TEL: 813-255-1311			
SHEET NO. 111 OF 111	DATE: APRIL 1986	PROJECT: BR 24	SHEET NO. 111 OF 111

ORIGINALLY APPROVED
 EMPLOYEE HOUSING/PHASE IV - X



SITE LOCATION MAP

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EXISTING PAVEMENT
- EXISTING DRIVEWAYS
- PROPOSED PAVEMENT
- PROPOSED CURBS AND SEAS ELEVATION
- PROPOSED WATER SERVICE AND MAIN
- EXISTING WATER SERVICE
- PROPOSED SANITARY SERVICE AND MAIN
- EXISTING SANITARY SERVICE
- EXISTING INLET
- EXISTING STAKE PILE
- PROPOSED STAKE PILE
- EXISTING STORM DRAIN
- EXISTING SANITARY MANHOLE
- PROPOSED SHIELD
- PROPOSED INSULATION / BERM IMPROVEMENTS

EMPLOYEE HOUSING/HUMAN RESOURCES - IX

NOTE: NO ADDITIONAL RETENTION REQUIRED.

EMPLOYEE HOUSING/PHASE FOUR - X

UTILITIES
 United Telephone Company
 1520 Lee Street
 Ft. Myers, Florida 33901-0101
 Island Clear Installation
 P.O. Box 24
 Captiva Island, Florida 33917
 813-737-1344
 Lee County Electrical Co-Operative
 219 Poplar Road
 North Fort Myers, Florida
 813-737-1312

DATE/DEVELOPER
 SOUTH BAY PLANTATION COMPANY
 15347 OFFSHORE BLVD., S.W.
 FT. MYERS, FLORIDA, 33907
 813-737-1312

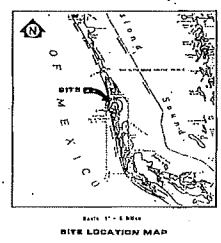
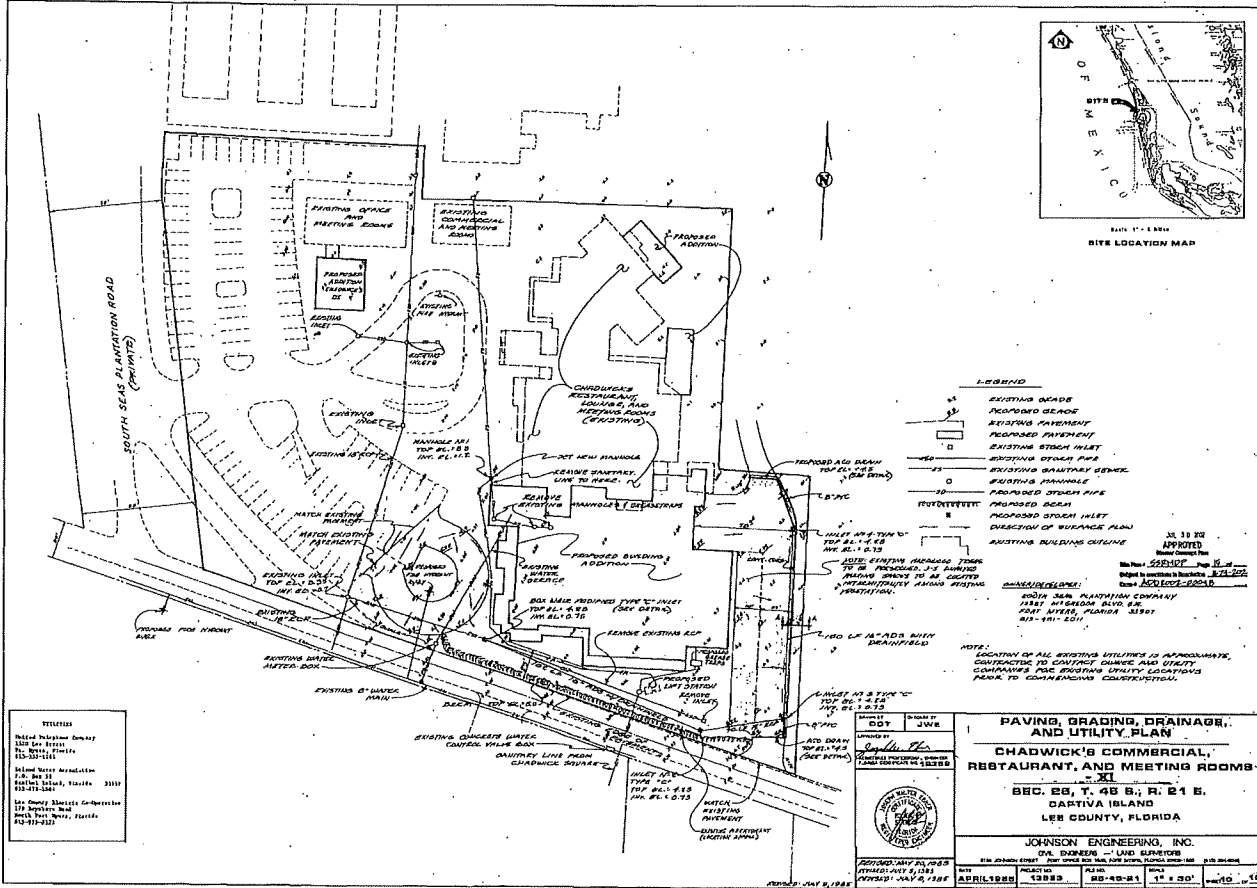
NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE, CONSIDERED TO CORRECT DIMENSIONS AND VERIFY REQUIREMENTS FOR EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

APPROVED
 [Signature]
 Date: 02/20/88
 Title: PROJECT ENGINEER

DESIGNED BY
 J.W.E.
 CHECKED BY
 [Signature]
 DATE
 02/20/88

PAVING, GRADING, DRAINAGE AND UTILITY PLAN			
EMPLOYEE HOUSING/HUMAN RESOURCES - IX			
EMPLOYEE HOUSING/PHASE FOUR - X			
BEC, 26, T. 45 S., R. 21 E.			
CAPTIVA ISLAND			
LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC.			
CIVIL ENGINEER - LAND SURVEYOR LICENSE NO. 1100 EXPIRES 12/31/88		LAND SURVEYOR LICENSE NO. 1100 EXPIRES 12/31/88	
DATE APRIL 1988	SCALE AS SHOWN	PROJECT NO. 88-45-B-1	SHEET NO. 10 OF 10

LAWYER KASSIAKANI CONF. CENTER 15033



LEGEND

—	EXISTING GRADE
- - -	PROPOSED GRADE
▭	EXISTING PAVEMENT
▭	PROPOSED PAVEMENT
▭	EXISTING STORM PIPE
▭	PROPOSED STORM PIPE
▭	EXISTING SANITARY SEWER
▭	PROPOSED SANITARY SEWER
▭	EXISTING FIRELINE
▭	PROPOSED FIRELINE
▭	PROPOSED STORM INLET
▭	PROPOSED STORM INLET
▭	DIRECTION OF SURFAGE FLOW
▭	EXISTING BUILDING OUTLINE

NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR TO VERIFY QUANTITY AND QUALITY. CONTRACTOR TO VERIFY EXISTING UTILITIES LOCATIONS PRIOR TO COMMENCING CONSTRUCTION.

DATE: 04/18/88
 DRAWN BY: JWE
 CHECKED BY: DDT
 PROJECT: CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS
 ADDRESS: BDC, 26, T. 48 S.; R. 21 E. CORTINA ISLAND, LEE COUNTY, FLORIDA
 ENGINEER: JOHNSON ENGINEERING, INC.
 DATE: APRIL 1988

CLIENT
 Hotel National Center
 100 Du Pont
 Ft. Myers, Florida
 813-337-1111

FIELD REPRESENTATIVE
 J.E. McNeil
 11111 Highway 19, Suite 200
 Ft. Myers, Florida 33907
 813-413-3344

Lee County Electrical Department
 111 DuPont Blvd., Suite 200
 Ft. Myers, Florida
 813-933-3121

PAVING, GRADING, DRAINAGE, AND UTILITY PLAN

CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS

BDC, 26, T. 48 S.; R. 21 E. CORTINA ISLAND, LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.

CIVIL ENGINEER - LAND SURVEYOR

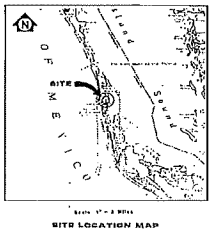
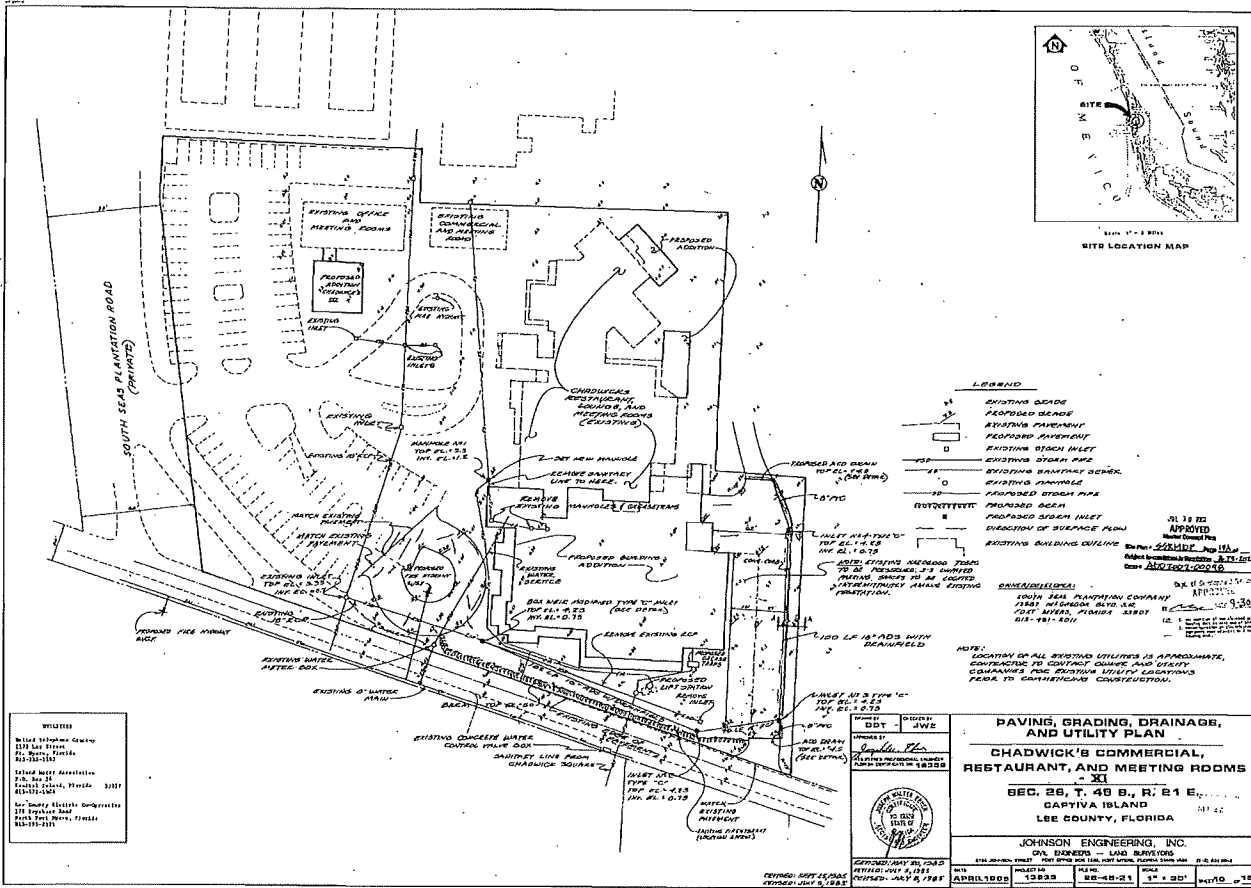
DATE: APRIL 1988

PROJECT NO: 12829

SCALE: AS SHOWN

DATE: APRIL 1988

COM. RESTAURANT CONF. CENTER
15833



LEGEND

- EXISTING ROAD
- PROPOSED ROAD
- EXISTING PARKING
- PROPOSED PARKING
- EXISTING STORM PIPE
- EXISTING SANITARY SEWER
- EXISTING SANITARY
- PROPOSED STORM PIPE
- PROPOSED SEWER
- PROPOSED SEWER INLET
- DIRECTION OF SURFACE FLOW
- EXISTING BUILDING OUTLINE

DATE: 01-18-82
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 02-02-82

ENGINEER: JOHNSON ENGINEERING, INC.
 SOUTH SEAS PLANNATION COMPANY
 12401 MIDLAND BLVD. S.E.
 WEST PALM BEACH, FLORIDA 33410
 TEL: 561-831-8001

NOTE: LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE, CONFIRMED TO CONTRACTOR'S AND UTILITY COMPANIES FOR EXISTING UTILITIES LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

UTILITIES

Water: Water Company
 1111 1/2th Street
 Ft. Myers, Florida
 813-331-1100

Sanitary Sewer: City of Ft. Myers
 1700 E. 1st St.
 Ft. Myers, Florida 33901
 813-331-1262

Storm Sewer: City of Ft. Myers
 111 1/2th Street
 Ft. Myers, Florida 33901
 813-331-1100

PAVING, GRADING, DRAINAGE, AND UTILITY PLAN

CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS - XI

SEC. 26, T. 48 S., R. E 1 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

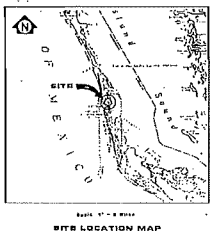
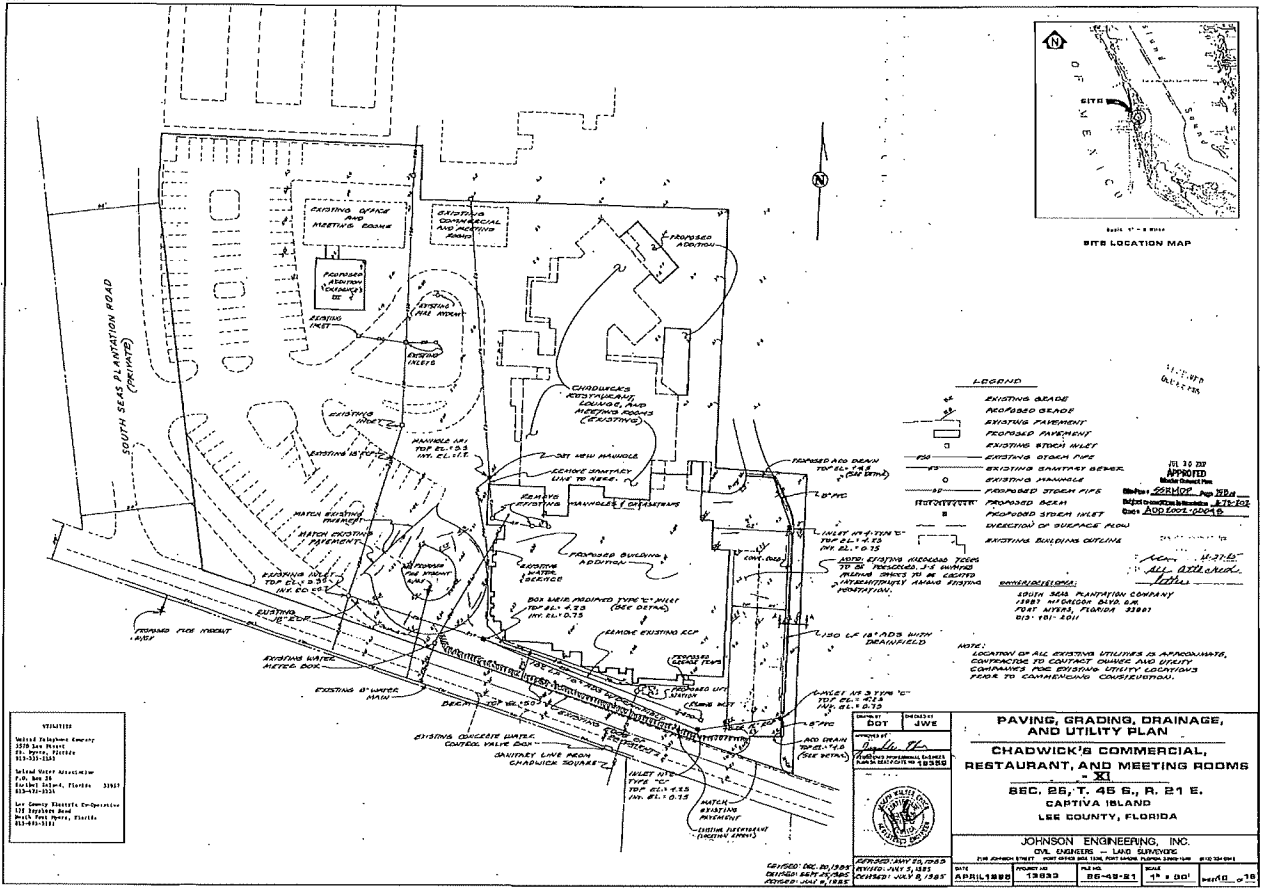
JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS

DATE: 01-18-82
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 02-02-82

SCALE: AS SHOWN	DATE: 01-18-82	PROJECT: CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS - XI
DATE: 01-18-82	DATE: 01-18-82	DATE: 01-18-82



REVISED: 01/18/82
 REVISED: 01/18/82



- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - EXISTING WHICH INLET
 - EXISTING WHICH PAVE
 - EXISTING SANITARY SEWER
 - EXISTING MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED ASH
 - PROPOSED SIDEWALK
 - DIRECTION OF SURFACE FLOW
 - EXISTING BUILDING OUTLINE
- NOTES:**
- 1. ALL UTILITIES TO BE LOCATED BY FIELD SURVEY.
 - 2. ALL UTILITIES TO BE DEEPENED TO 48" MINIMUM.
 - 3. ALL UTILITIES TO BE COVERED WITH 18" MINIMUM CONCRETE.
 - 4. ALL UTILITIES TO BE COVERED WITH 18" MINIMUM CONCRETE.
- PROVISIONS:**
- 1. SPAIN 364 PLANTATION COMPANY
 - 2. 1815 WASHINGTON ROAD, S.W.
 - 3. FORT MYERS, FLORIDA 33801
 - 4. TEL: 331-1011

UTILITIES

Florida Telephone Company
2250 2nd Street
St. Petersburg, Florida
33705-1301

Island Water Association
P.O. Box 21
4001 1st St., Fort Myers, Florida 33901
335-1000

Lee County Electrical Co-Operative
121 Tropical Blvd.
P.O. Box 1001, Ft. Myers, Florida
33901-0101

DATE: APRIL 1988

DESIGNER: J. W. JONES

REVISION: JULY 2, 1985

REVISION: JULY 2, 1985

REVISION: JULY 2, 1985

PAVING, GRADING, DRAINAGE, AND UTILITY PLAN

CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS

SEC. 25, T. 45 S., R. 21 E. CAPTIVA ISLAND LEE COUNTY, FLORIDA

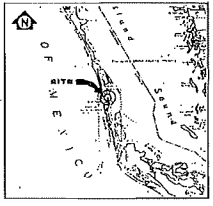
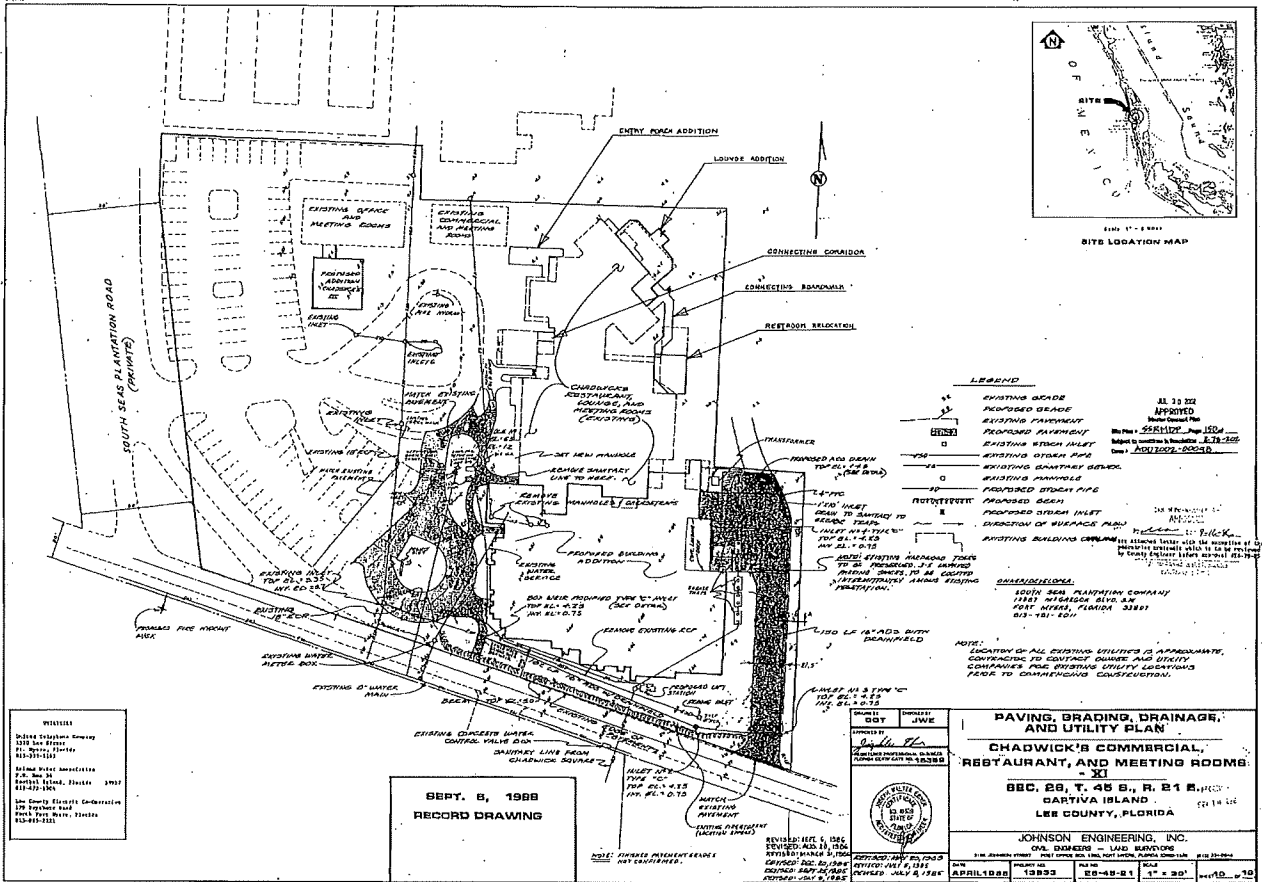
JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS - LAND SURVEYORS

FOR FURTHER INFORMATION CONTACT: JOHNSON ENGINEERING, INC. 1010 1st St., Ft. Myers, Florida 33901



COM. RESTAURANT CONF. CENTER 13833



LEGEND

---	EXISTING GRADE	AL 33.82
---	PROPOSED GRADE	APPROVED
---	EXISTING PAVEMENT	NOTED
---	PROPOSED PAVEMENT	NOTED
---	EXISTING STORM INLET	NOTED
---	EXISTING STORM PIPE	NOTED
---	EXISTING SANITARY MANHOLE	NOTED
---	PROPOSED STORM PIPE	NOTED
---	PROPOSED STORM INLET	NOTED
---	PROPOSED SANITARY MANHOLE	NOTED
---	PROPOSED STORM INLET	NOTED
---	PROPOSED SANITARY MANHOLE	NOTED

NOTES

1. All existing utilities to be maintained and shown on this drawing.

2. All proposed utilities to be shown on this drawing.

3. All proposed utilities to be installed in accordance with the Florida Building Code.

4. All proposed utilities to be installed in accordance with the Florida Electrical Code.

5. All proposed utilities to be installed in accordance with the Florida Gas Code.

6. All proposed utilities to be installed in accordance with the Florida Stormwater Management Code.

7. All proposed utilities to be installed in accordance with the Florida Sanitary Code.

8. All proposed utilities to be installed in accordance with the Florida Fire Code.

9. All proposed utilities to be installed in accordance with the Florida Health Code.

10. All proposed utilities to be installed in accordance with the Florida Safety Code.

SEPT. 8, 1988
RECORD DRAWING

DESIGNED BY: JWE
CHECKED BY: JWE
DATE: 9/8/88

PROJECT NO. 13833

DATE: 9/8/88

SCALE: AS SHOWN

PROJECT: COM. RESTAURANT CONF. CENTER

LOCATION: DARTVA ISLAND, LEE COUNTY, FLORIDA

PAVING, BRADING, DRAINAGE, AND UTILITY PLAN

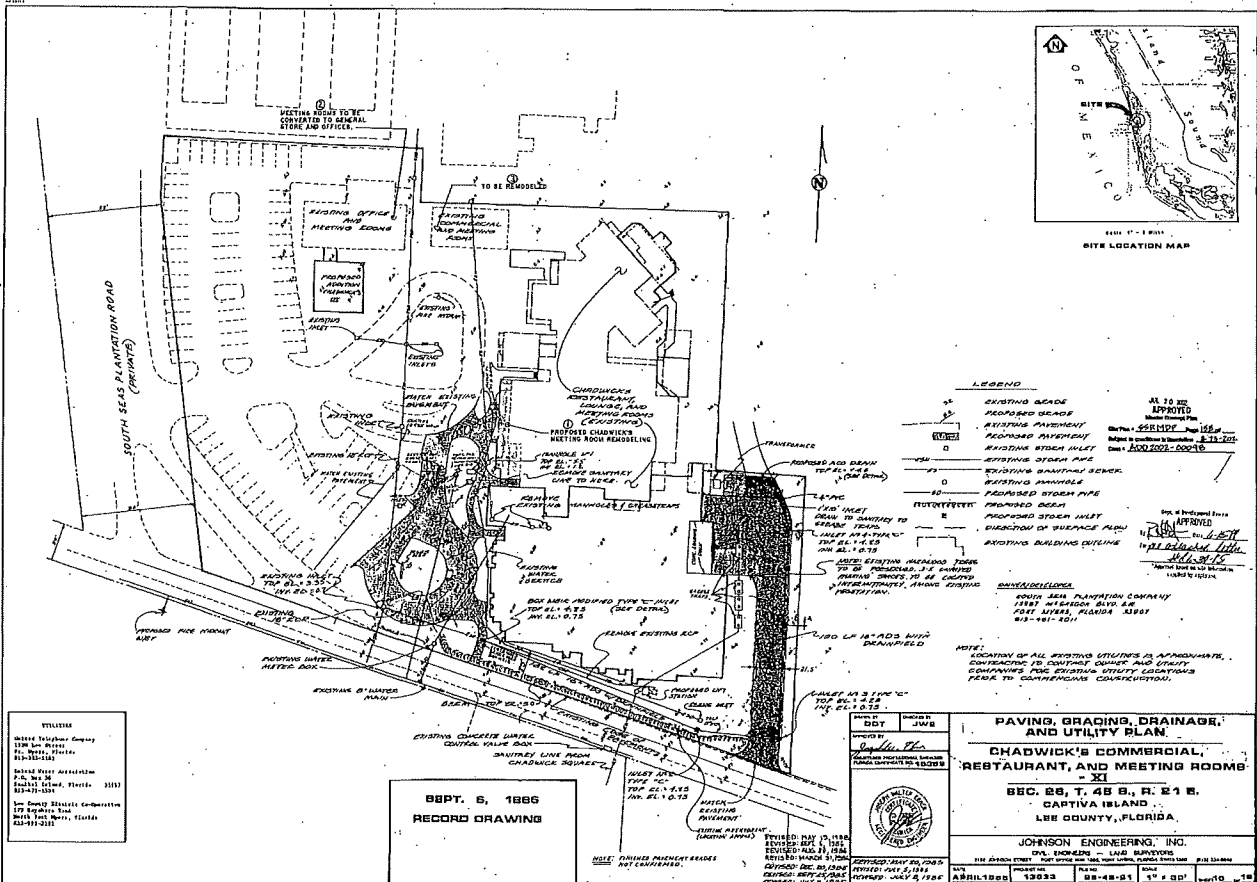
CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS

88C, 28, T. 45 S., R. 21 E., DARTVA ISLAND, LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
1101 W. WASHINGTON STREET, SUITE 100, TAMPA, FLORIDA 33606
TEL: 813-288-1111

PROJECT NO. 13833
DATE: 9/8/88
SCALE: AS SHOWN
PROJECT: COM. RESTAURANT CONF. CENTER
LOCATION: DARTVA ISLAND, LEE COUNTY, FLORIDA

LOWE RESTAURANT
CONF. CENTER



LEGEND

[Symbol]	EXISTING GRADE
[Symbol]	PROPOSED GRADE
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED PAVEMENT
[Symbol]	EXISTING RETAIN WALL
[Symbol]	PROPOSED STORM PIPE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	EXISTING STORM PIPE
[Symbol]	PROPOSED STORM PIPE
[Symbol]	EXISTING STORM INLET
[Symbol]	PROPOSED STORM INLET
[Symbol]	DIRECTION OF SURFACE FLOW
[Symbol]	EXISTING BUILDING OUTLINE

REVISIONS

NO.	DATE	DESCRIPTION
1	11/18/88	ISSUED FOR PERMITS
2	12/13/88	REVISED TO SHOW PERMITS
3	1/13/89	REVISED TO SHOW PERMITS
4	1/13/89	REVISED TO SHOW PERMITS
5	1/13/89	REVISED TO SHOW PERMITS

DATE: 8/13/88
SCALE: AS SHOWN
BY: J.E.S.
CHECKED: J.E.S.
APPROVED: J.E.S.

UTILITIES
 United Telephone Company
 1100 Lee Street
 Ft. Myers, Florida 33901-1001
 813-936-1111
 South West Association
 P.O. Box 58
 Lehigh, Florida 33103
 813-936-1111
 Lee County Electrical Commission
 117 Republic Road
 South Fort Myers, Florida 33901-2011

88PT. 6, 1886
RECORD DRAWING

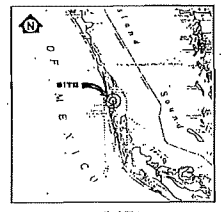
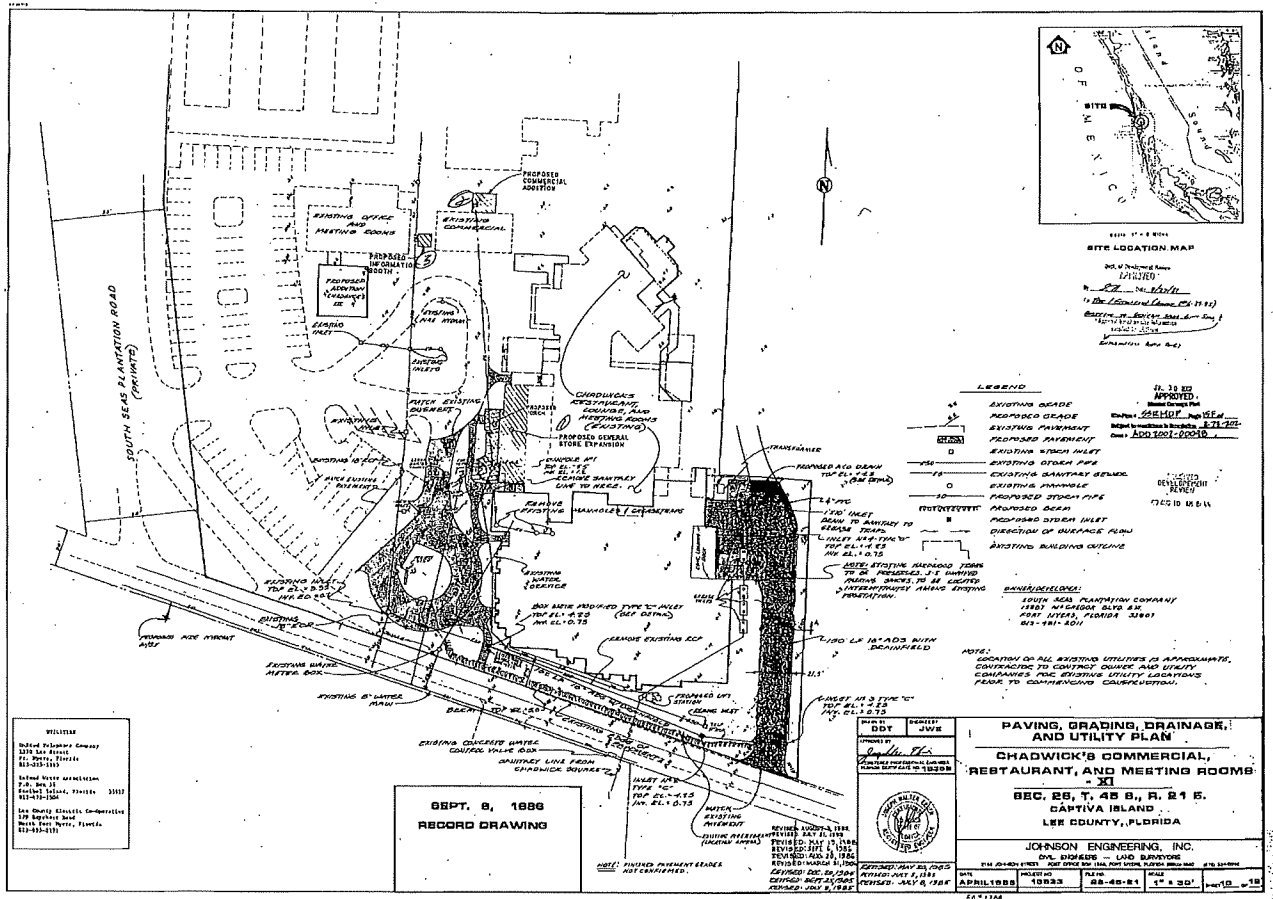
DATE: 8/13/88
BY: J.E.S.
CHECKED: J.E.S.
APPROVED: J.E.S.

PAVING, GRADING, DRAINAGE, AND UTILITY PLAN
CHADWICK'S COMMERCIAL RESTAURANT AND MEETING ROOMS
 88C, 88, T. 48 S., R. 21 E.
 CAPTIVA ISLAND
 LEE COUNTY, FLORIDA

JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 1181 HIDEAWAY BLVD. SW
 FORT MYERS, FLORIDA 33901
 813-936-1111

DATE: 8/13/88
BY: J.E.S.
CHECKED: J.E.S.
APPROVED: J.E.S.

15833
COM. RESTAURANT
CONF. CENTER



SITE LOCATION MAP
 100' SCALE
 PREPARED BY: [Signature]
 DATE: [Date]

LEGEND

—	EXISTING GRADE	—	PROPOSED GRADE
—	EXISTING PAVEMENT	—	PROPOSED PAVEMENT
—	EXISTING WATER INLET	—	PROPOSED WATER INLET
—	EXISTING STORM PIPE	—	PROPOSED STORM PIPE
—	EXISTING SANITARY SEWER	—	PROPOSED SANITARY SEWER
—	EXISTING MANHOLE	—	PROPOSED MANHOLE
—	PROPOSED STORM PIPE	—	PROPOSED WATER INLET
—	PROPOSED SEWER	—	DIRECTION OF FLOW
—	PROPOSED WATER INLET	—	PROPOSED DRAINAGE
—	PROPOSED DRAINAGE	—	EXISTING BUILDING OUTLINE

NOTES:
 1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES IN APPROXIMATE LOCATION TO CONTRACTOR'S OWNERS AND UTILITY COMPANIES AND BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
 2. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES IN APPROXIMATE LOCATION TO CONTRACTOR'S OWNERS AND UTILITY COMPANIES AND BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

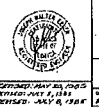
WELLSITE
 [Project Name]
 [Address]
 [City, State, Zip]
 [Phone Number]

SEPT. 8, 1986
RECORD DRAWING

DDT
 [Signature]
 [Title]

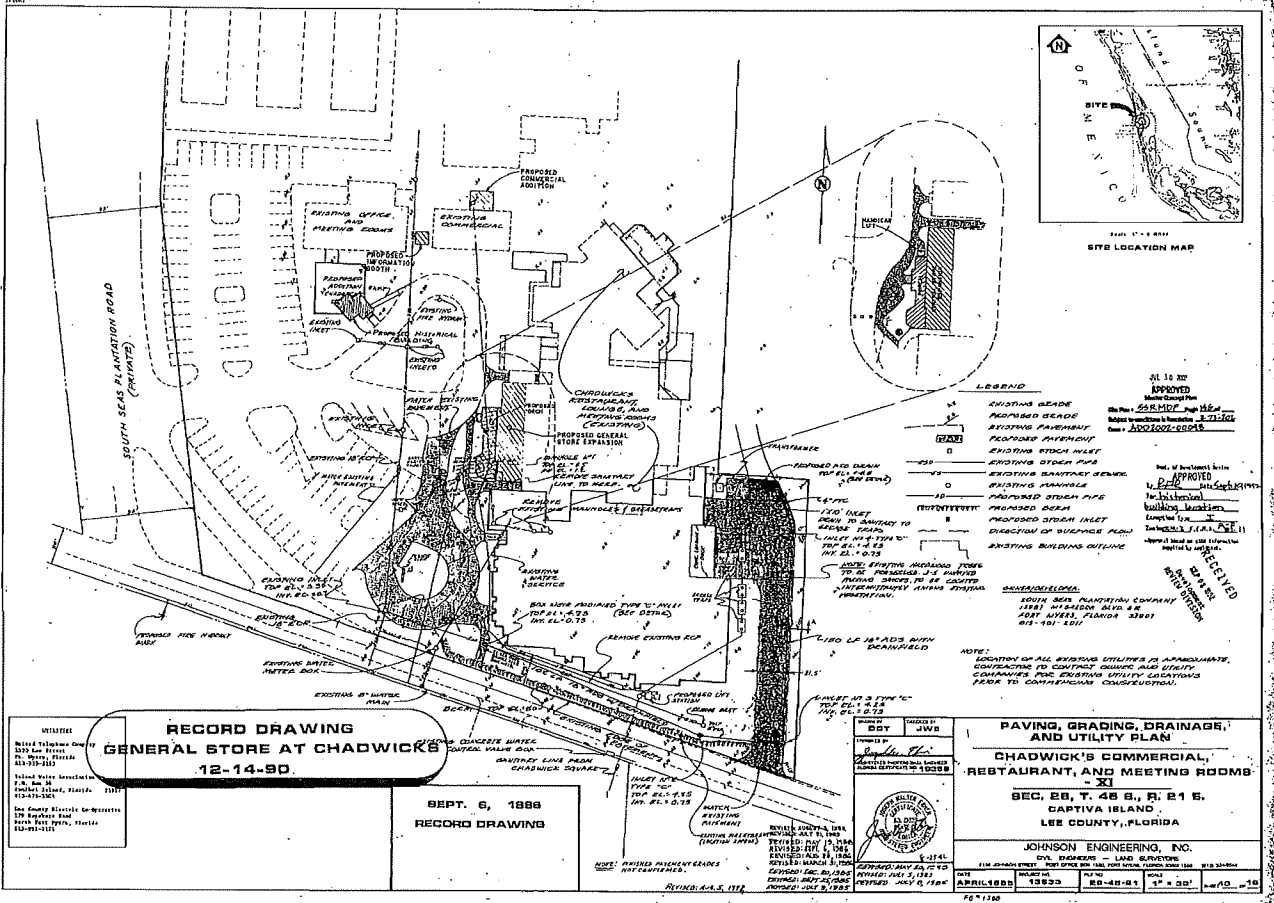
PAVING, GRADING, DRAINAGE, AND UTILITY PLAN
CHADWICK'S COMMERCIAL, RESTAURANT, AND MEETING ROOMS - XI
BEC. 25, T. 45 B, R. 21 S.
CAPTIVA ISLAND
LEE COUNTY, FLORIDA

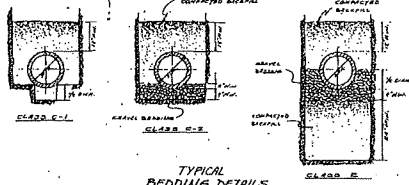
JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 1000 W. UNIVERSITY BLVD., SUITE 100
 TAMPA, FLORIDA 33606
 TEL: 813-288-1100
 FAX: 813-288-1101



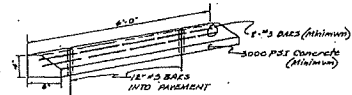
REVISIONS:
 NO. 1: [Description]
 NO. 2: [Description]
 NO. 3: [Description]
 NO. 4: [Description]
 NO. 5: [Description]

LAWYER RESTAURANT CONF. CENTER 1983



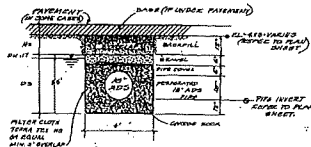


TYPICAL BEDDING DETAILS
NTS.

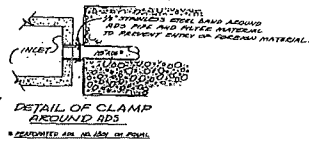


CONCRETE WHEEL STOP DETAIL
NTS.

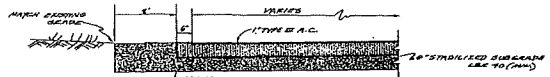
CONCRETE STOP:
WHERE PLAN INDICATES ADD PIPE IT INCLUDES TYPICAL EXFILTRATION TRENCH AS DETAILED BELOW.



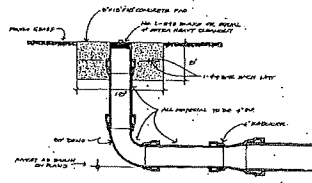
TYPICAL EXFILTRATION TRENCH
NTS.



DETAIL OF CLAMP AROUND ADS



TYPICAL PAVEMENT DETAIL
NTS.



TYPICAL SANITARY CLEANOUT
NTS.

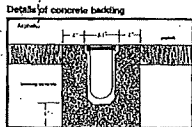
NW100 Series Channel Slope Gratings



Gratings are designed to be heavy and unbreakable. They are made of heavy duty aluminum alloy and are finished with a special anodized coating. They are available in a variety of sizes and are designed to fit standard pipe sizes. They are available in a variety of sizes and are designed to fit standard pipe sizes.



Locking Device for Gratings: This device is used to lock the grating in place. It consists of a metal plate with a hole that fits over the grating. The plate is secured with a bolt and nut. This device is used to lock the grating in place.

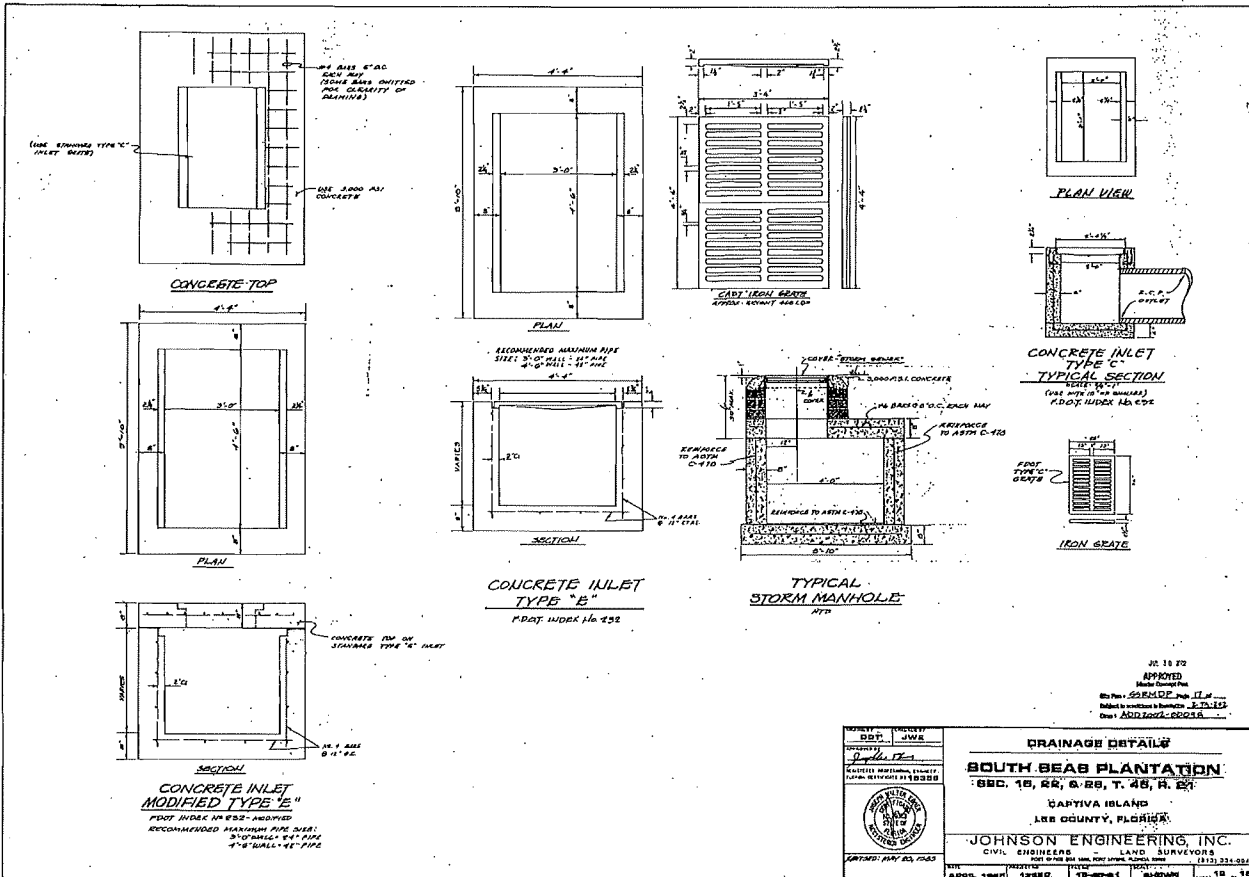


ACO DRAIN DETAILS

APPROVED
BY: [Signature]
DATE: 11/15/88
DESIGNED BY: [Signature]
DATE: 11/15/88
CHECKED BY: [Signature]
DATE: 11/15/88

OWNER/DEVELOPER:
SOUTH BEAS PLANTATION COMPANY
18851 HWY 90, S.W.
MIRAGE, FLORIDA 33457
813-487-5411

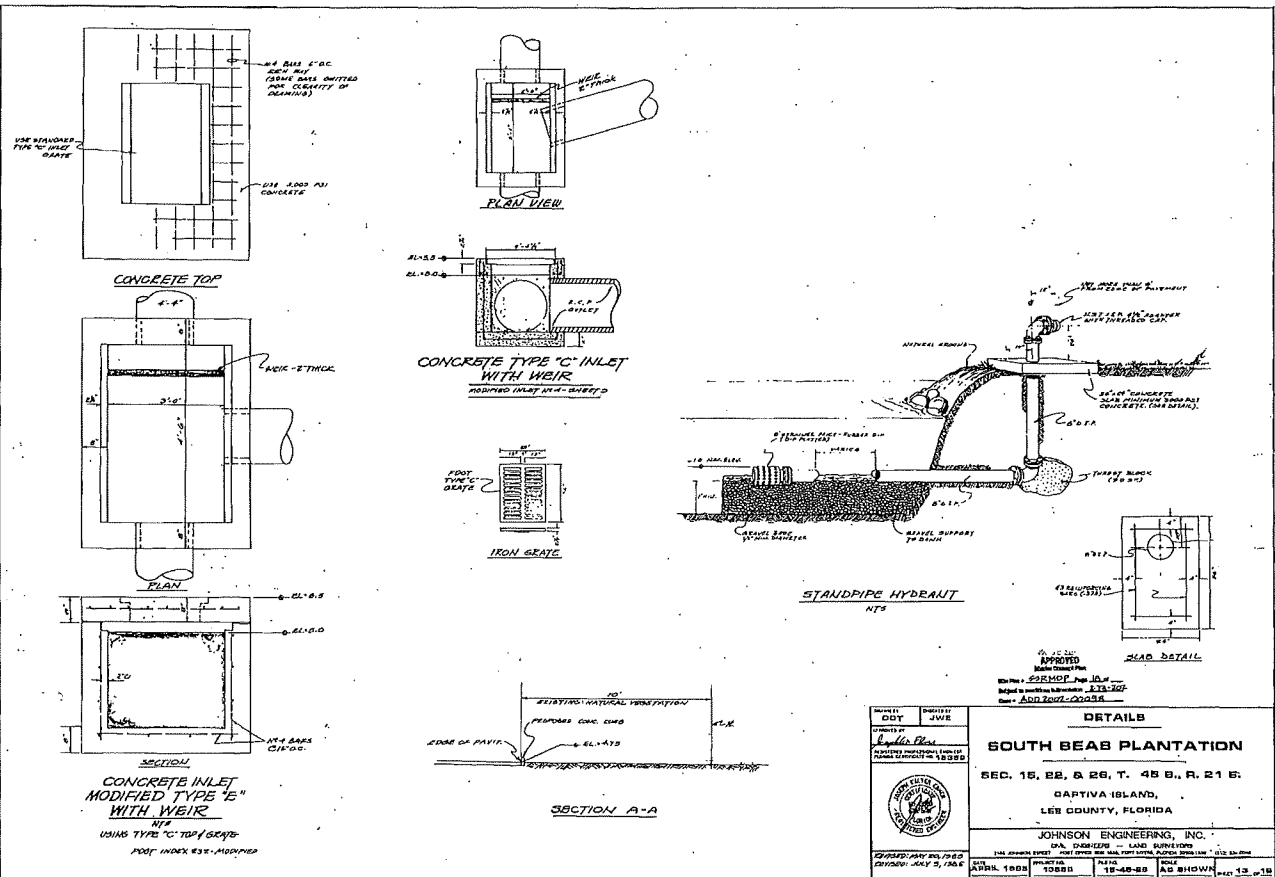
DETAILS	
SOUTH BEAS PLANTATION	
SEC. 18, 28, & 29, T. 28 S., R. 21 E.	
CAPTIVA ISLAND LEE COUNTY, FLORIDA	
JOHNSON ENGINEERING, INC.	
CIVIL ENGINEERS - LAND SURVEYORS	
118 JOHNSON DRIVE APT. 100 MIRAGE, FLORIDA 33457 PHONE: 813-487-5411	118 JOHNSON DRIVE APT. 100 MIRAGE, FLORIDA 33457 PHONE: 813-487-5411
DESIGNED BY: [Signature] DATE: 11/15/88	CHECKED BY: [Signature] DATE: 11/15/88
APPROVED BY: [Signature] DATE: 11/15/88	DATE: 11/15/88
PROJECT NO.: 18851	SHEET NO.: 18-00-01
DATE: APRIL 1988	BY: [Signature]

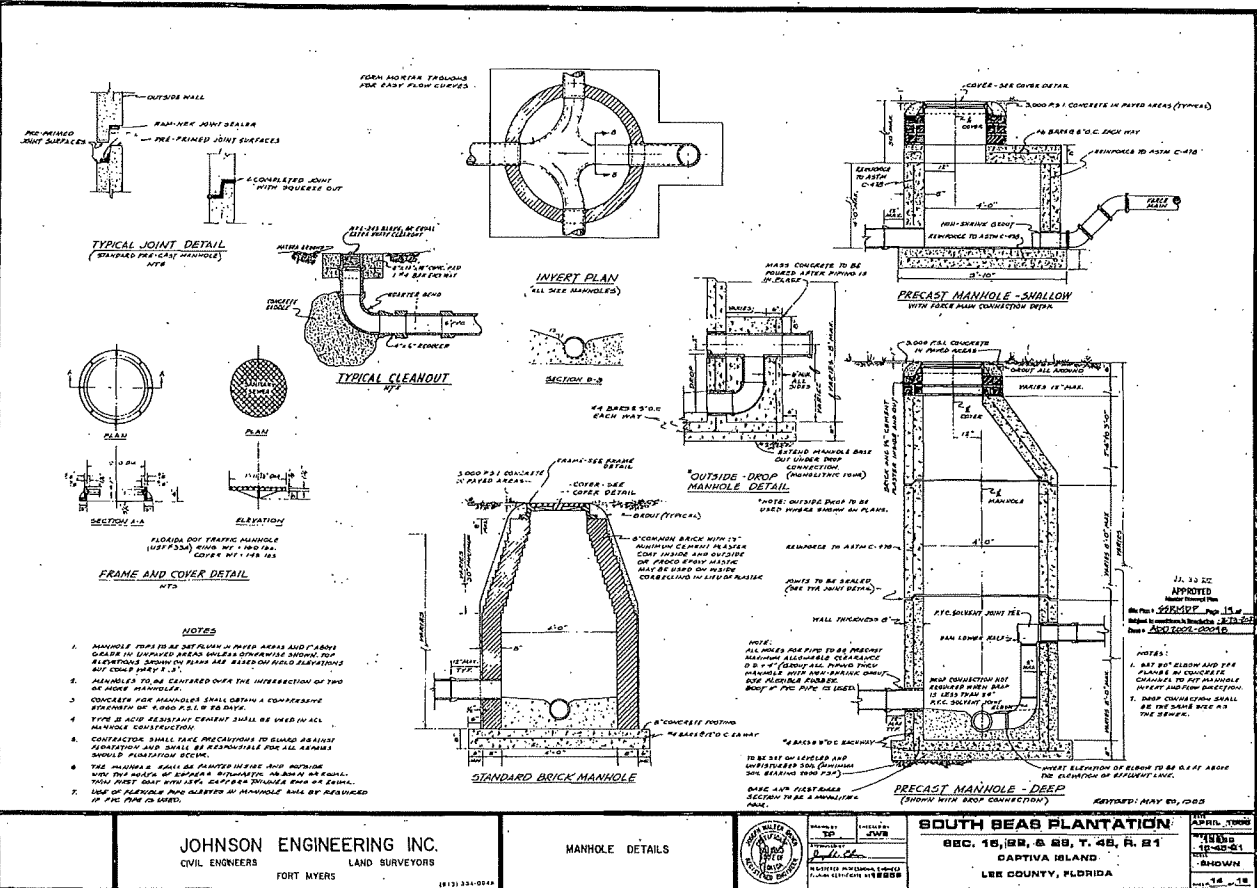


JUL 18 1970
 APPROVED
 [Signature]
 [Title]
 [Address]
 [City]



PROJECT NO. 10000000		DATE: 1968	
DRAWN BY: JWE		CHECKED BY: JWE	
DRAINAGE DETAILS			
SOUTH BEAS PLANTATION			
SEC. 15, 22, & 23, T. 48, R. 22			
SAFETY ISLAND			
LEE COUNTY, FLORIDA			
JOHNSON ENGINEERING, INC.		LAND SURVEYORS	
CIVIL ENGINEERS		(813) 321-0822	
APPROVED	DATE	PROJECT NO.	SCALE
APR 18 1968	1968	10-000000	AS SHOWN





BOUTH BEAS PLANTATION WATER DETAILS

- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.
- All water lines must be installed in accordance with the specifications of a bacteriological analysis. Each must be approved by the representative and the engineer of Health.
- All water lines must be installed in accordance with State Board of Health requirements. The installation is responsible for bacteriological testing and clearance from the Board of Health.

- The following parts shall be used for water measurement:
 - 1. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 2. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 3. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 4. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 5. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 6. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 7. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 8. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 9. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 10. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 11. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 12. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 13. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 14. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 15. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 16. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 17. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 18. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 19. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
 - 20. Flowing Meter**
 1" Class
 1" Class
 1" Class
 1" Class
- Concrete to furnish water has with cover (see note on standard).
- Concrete to furnish water has with cover (see note on standard).

The test shall be made within 48 hours after the last concrete placement at which block has been cast with high early strength cement, or at least 48 hours after the last concrete placement at which block has been cast with standard cement. The duration of each leakage test shall be one hour.

Each member of pipe shall be tested after the concrete has been placed in a manner satisfactory to the Engineer. The pipe, pipe connections, and all necessary appurtenances shall be furnished by the Contractor.

Before starting the leakage tests, all pipe shall be inspected from the exterior. All exposed pipes, fittings, valves, hydrants and joints shall be covered for leakage during the tests. Any joint found after the assumed leakage of any pipe, member or fitting at leakage location as shown shall be repaired as follows:

1. If the pipe connection shall be repaired by cutting out the defective portion of the pipe and the connection, and the defective portion shall be replaced with a new pipe and connection. Should any test in the location of a pipe connection joint leakage occur after the procedure, the Contractor shall, at his own expense, locate and repair the defective joint until the leakage is within permitted allowance.

TABLE I
Standard Allowance
Test Pressure 100 psi

Pipe Size	Standard Allowance per 100 feet in length per inch diameter per hour
1/2"	0.25
3/4"	0.40
1"	0.60
1 1/4"	0.80
1 1/2"	1.00
2"	1.50
2 1/2"	2.00
3"	2.50

Installation of Meter

Upon completion of the work, any leaks must be repaired, and water to flowing system in full amount in operation. All water, valves, etc., shall be thoroughly flushed and conditioned, when satisfactory to the Engineer. The water shall be tested after the installation of the meter.

Installation of Meter

Water from the existing system shall be controlled so that only the water from the new installation during the installation of the meter. Flashed water shall remain in the location for not less than 10 hours. After the meter has been installed on the existing pipe, the meter shall be tested on the pipe connection shown in Figure 1.

Following installation, the meter shall be checked from the floor to the instrument.

If necessary, repair installation until the quality of water is as detailed through tests in accordance with the test record of Health. The 100 test pressure shall be in operation for the entire of the test record. The meter shall be tested.

TABLE I
Minimum Allowance Block sizes for concrete contact with underground water.

Pipe Size	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"
1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
3/4"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
1"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
1 1/4"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
1 1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
2 1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
3"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
3 1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
4"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
4 1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
5"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
5 1/2"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
6"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

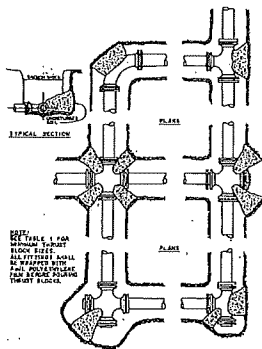
NOTES ABOVE ARE ASSURED BY ISLAND WATER ASSOCIATION.

**BOUTH BEAS PLANTATION
MASTER PLAN**

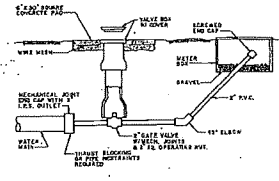
SEC. 18, BB, & RB, T. 45 B., R. 21 B.
CAPTIVA ISLAND, FLORIDA

JOHNSON ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
1500 W. BAY STREET, SUITE 100, WEST PALM BEACH, FLORIDA 33411

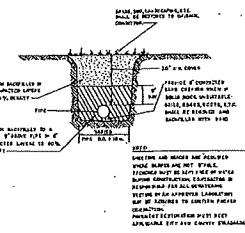
DATE: APRIL 1988 PROJECT: BB&RB
DRAWN BY: [Signature] CHECKED BY: [Signature]
SCALE: AS SHOWN SHEET NO. 18 OF 18



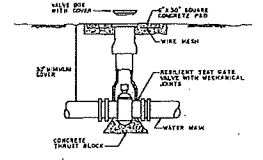
DETAIL 1
TYPICAL THRUST BLOCKS



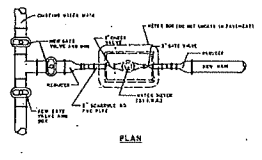
DETAIL 2
TYPICAL BLOW-OFF
FOR 6" AND 8" MAINS



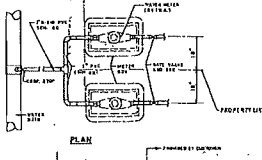
DETAIL 3
TYPICAL TRENCH DETAIL



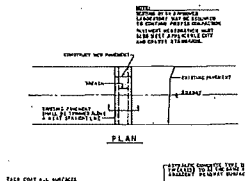
DETAIL 4
TYPICAL VALVE INSTALLATION



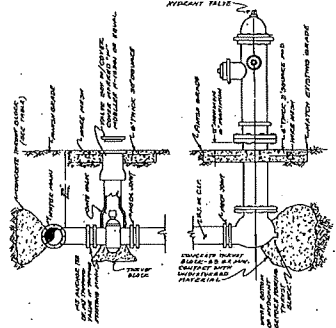
DETAIL 5
TEMPORARY CORRECTION
OF 6" AND 8" MAINS



DETAIL 6
WATER SERVICE
CONNECTION



DETAIL 7
TYPICAL PAVEMENT RESTORATION



FIRE HYDRANT WITH GATE VALVE

PROJECT: 100000-00010 SHEET: 100000-00010-01 DATE: 10/10/00		SOUTH 8848 PLANTATION MASTER PLAN 880, 18, 82, 88, T, 48 1/2, R. 11 E. CAPTIVA ISLAND, FLORIDA
JOHNSON ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS <small>100000-00010-01</small>		
APRIL 1988 PROJECT: 100000-00010	SHEET: 100000-00010-01 DRAWN: [Signature]	SHEET: 100000-00010-01 CHECKED: [Signature]

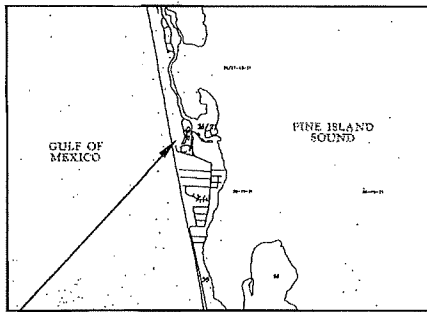
CONSTRUCTION PLANS
FOR

BEACH VILLAS I, II, & III

SECTION 26 & 27, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
	COVER SHEET
1	SITE PLAN BEACH VILAS I
2	SITE PLAN BEACH VILAS II
3	SITE PLAN BEACH VILAS III
4	AERIAL



PROJECT LOCATION

LOCATION MAP

SCALE IN FEET

PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2150 JOHNSON STREET
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0048
FAX (813) 334-3561

PROJECT NO. 19993

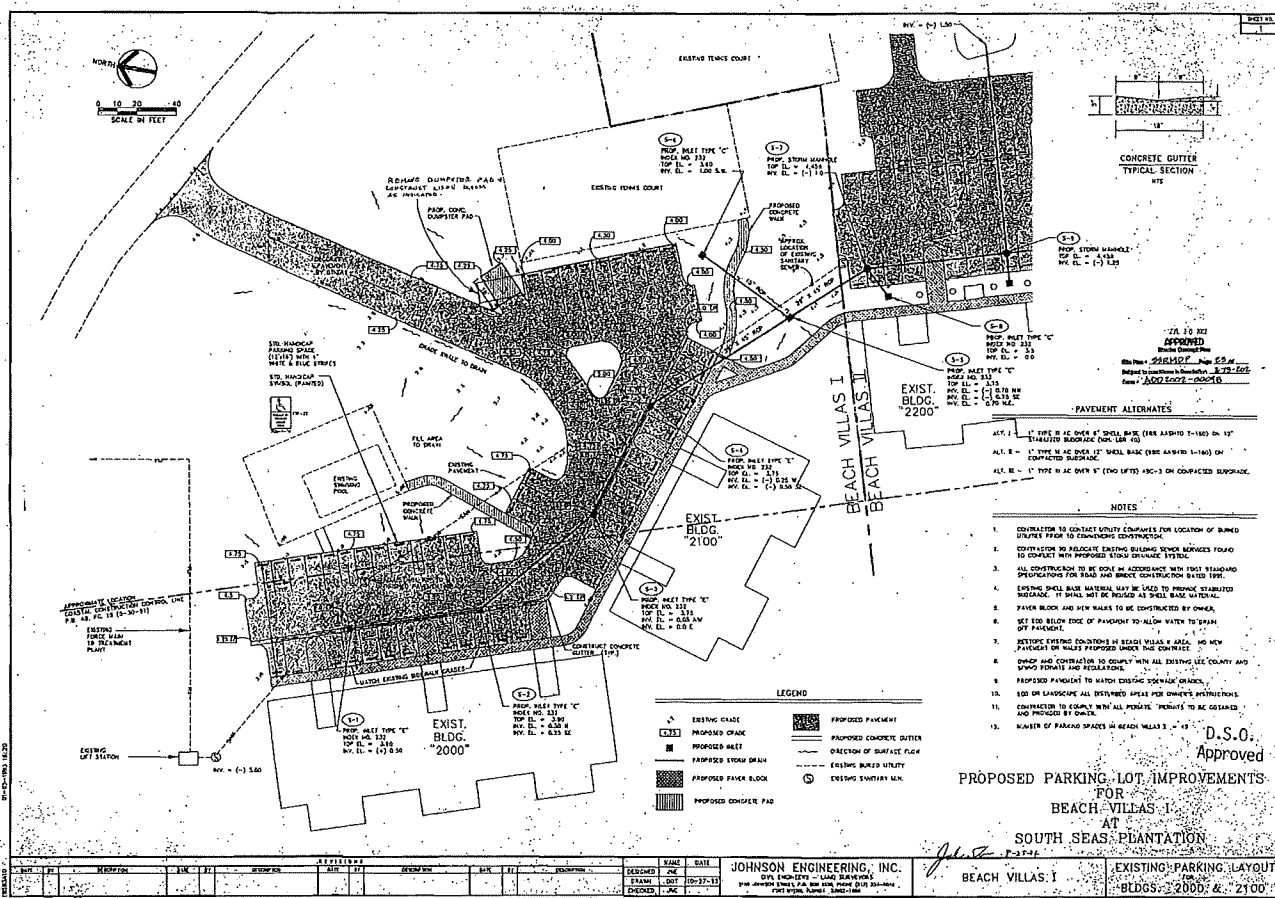
APRIL 1994

JUL 18 1994
APPROVED
M. W. EIDER
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18331
DATE

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18331

M. W. EIDER
DATE





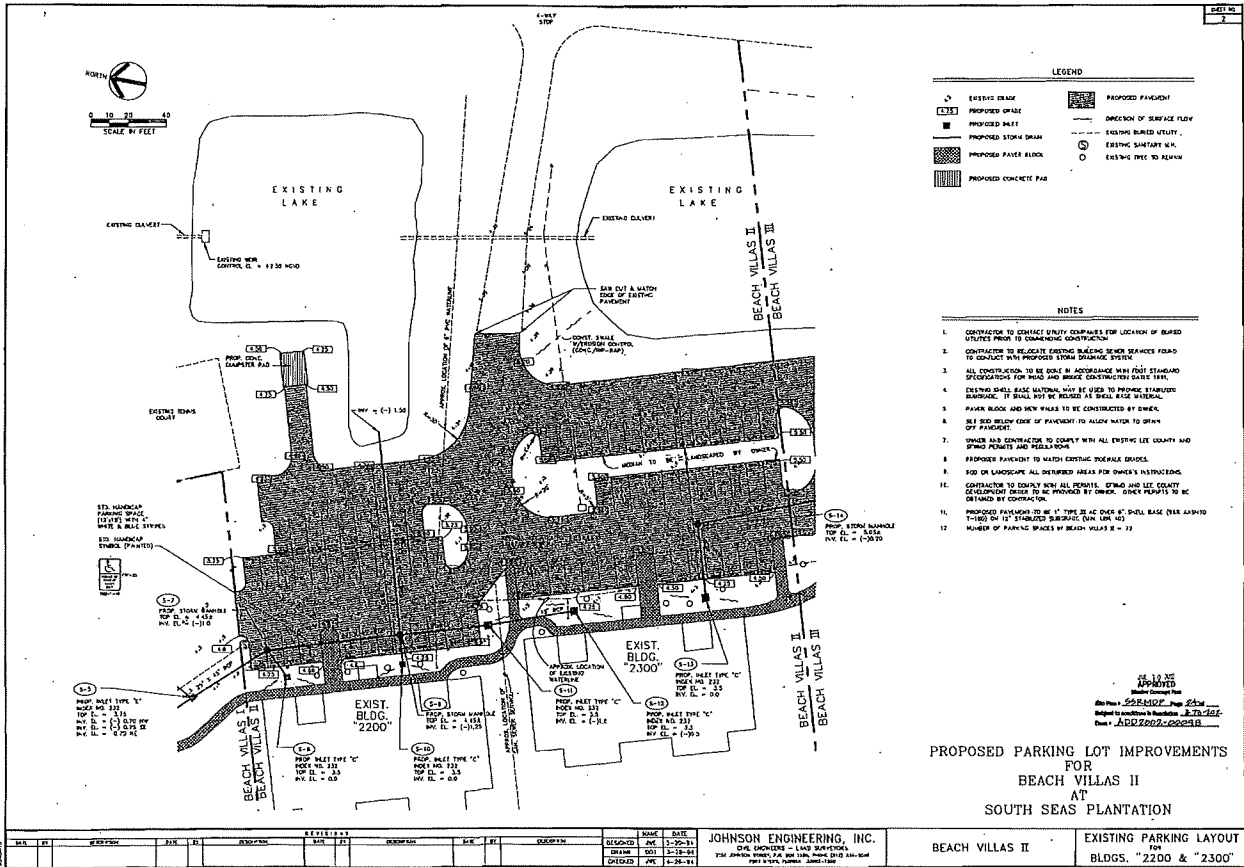
NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10-27-13	JM	JM
2	REVISED	10-27-13	JM	JM
3	REVISED	10-27-13	JM	JM
4	REVISED	10-27-13	JM	JM
5	REVISED	10-27-13	JM	JM
6	REVISED	10-27-13	JM	JM
7	REVISED	10-27-13	JM	JM
8	REVISED	10-27-13	JM	JM
9	REVISED	10-27-13	JM	JM
10	REVISED	10-27-13	JM	JM
11	REVISED	10-27-13	JM	JM
12	REVISED	10-27-13	JM	JM
13	REVISED	10-27-13	JM	JM
14	REVISED	10-27-13	JM	JM
15	REVISED	10-27-13	JM	JM
16	REVISED	10-27-13	JM	JM
17	REVISED	10-27-13	JM	JM
18	REVISED	10-27-13	JM	JM
19	REVISED	10-27-13	JM	JM
20	REVISED	10-27-13	JM	JM

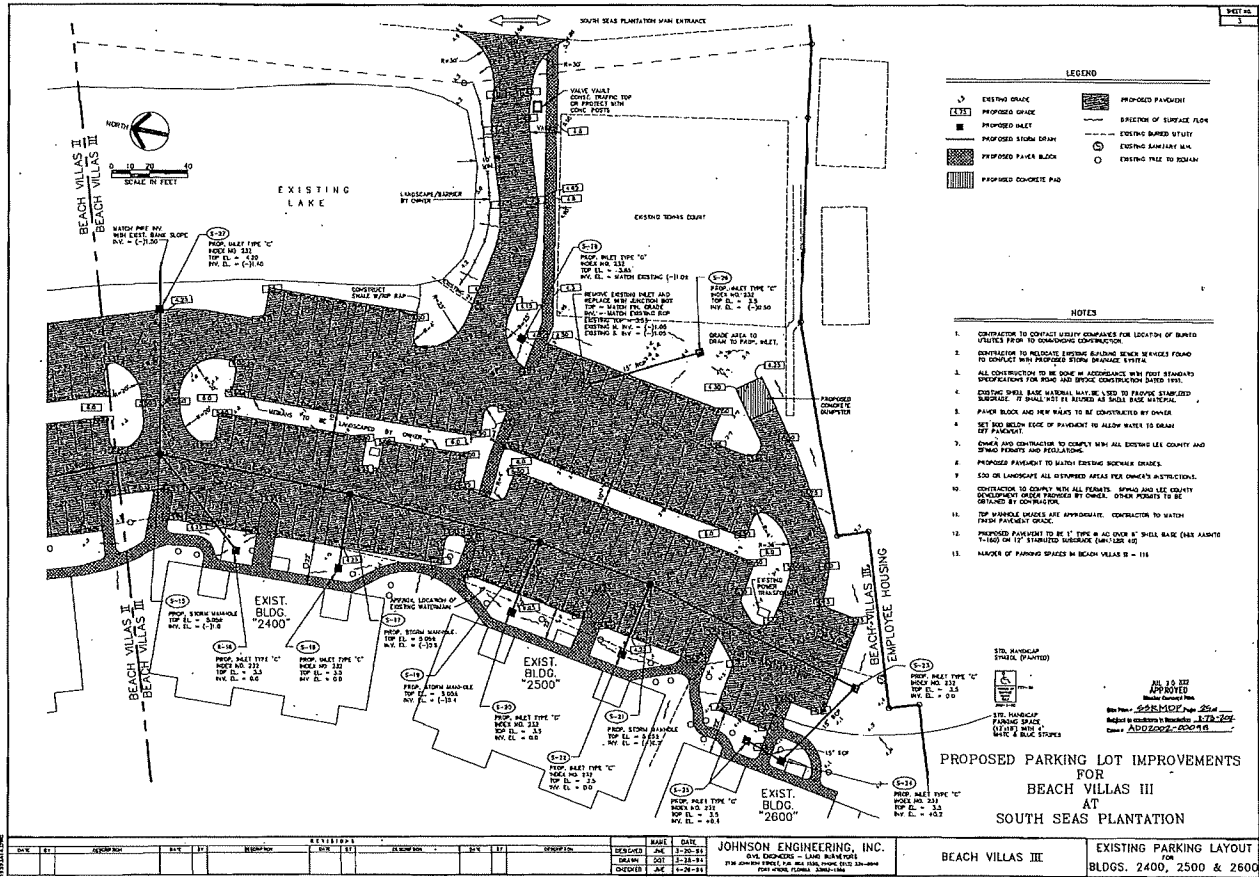
JOHNSON ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 200 AVENUE 200, SUITE 200, SOUTH SEAS, FLORIDA 33429
 PHONE: (407) 241-1111 FAX: (407) 241-1112
 WWW: WWW.JEINC.COM

PROPOSED PARKING LOT IMPROVEMENTS FOR BEACH VILLAS I AT SOUTH SEAS PLANTATION

BEACH VILLAS I EXISTING PARKING LAYOUT FOR BLDGS. 2000 & 2100

D.S.O. Approved





- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - PROPOSED INLET
 - PROPOSED STORM DRAIN
 - PROPOSED PAVEMENT
 - PROPOSED CONCRETE PAD
 - EXISTING SURFACE FLOW
 - EXISTING SANITARY MAIN
 - EXISTING TREE TO REMAIN

- NOTES**
1. CONTRACTOR TO CONTACT UTILITY COMPANIES FOR LOCATION OF BURIED UTILITIES PRIOR TO OBVIOUS CONSTRUCTION.
 2. CONTRACTOR TO RELOCATE EXISTING SANITARY SEWER SERVICES FOUND TO CONFLICT WITH PROPOSED STORM DRAINAGE SYSTEM.
 3. ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 1993.
 4. EXISTING DRIVE BASE MATERIAL MAY BE USED TO FORM CURBED SURFACE. IT SHALL NOT BE USED AS DRAINAGE PAVEMENT.
 5. PAVEMENT BLOCKS AND NEW MARKS TO BE CONSTRUCTED BY OWNER.
 6. SET THE BOTTOM EDGE OF PAVEMENT TO ALLOW WATER TO DRAIN OFF PAVEMENT.
 7. OWNER AND CONTRACTOR TO COMPLY WITH ALL EXISTING LEE COUNTY AND STATE PERMITS AND REGULATIONS.
 8. PROPOSED PAVEMENT TO MATCH EXISTING SURROUNDING GRADES.
 9. 500 OR LANDSCAPE ALL DISTURBED AREAS PER OWNER'S INSTRUCTIONS.
 10. CONTRACTOR TO VERIFY WITH ALL APPLICABLE AGENCIES AND LEE COUNTY DEVELOPMENT ORDER PROVIDED BY OWNER. OTHER PERMITS TO BE OBTAINED BY CONTRACTOR.
 11. TOP FINISH GRADES ARE APPROXIMATE. CONTRACTOR TO MATCH FROM PAVEMENT GRADE.
 12. PROPOSED PAVEMENT TO BE 1" TYPE A AC OVER 4" SHLL BASE (SEE PARTS 1-160) ON 12" STABILIZED SUBGRADE (UNP) LBS 412.
 13. NUMBER OF PARKING SPACES IN BEACH VILLAS II - 115.

PROPOSED PARKING LOT IMPROVEMENTS FOR BEACH VILLAS III AT SOUTH SEAS PLANTATION

NO.	REV.	DATE	BY	CHKD.	DESCRIPTION

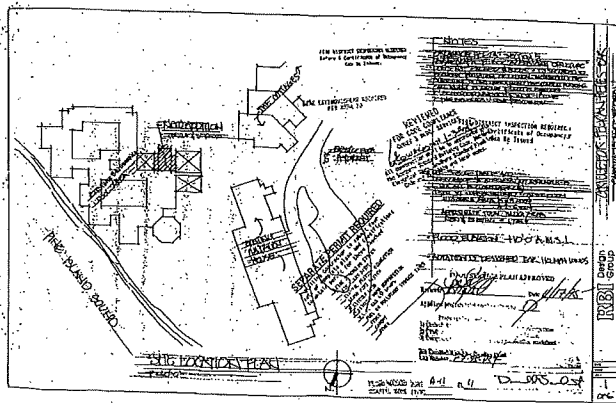
JOHNSON ENGINEERING, INC.
 6700 W. UNIVERSITY BLVD., SUITE 100, TAMPA, FL 33606
 TEL: 813-973-1111 FAX: 813-973-1112
 WWW.JEINC.COM

BEACH VILLAS III
 EXISTING PARKING LAYOUT
 BLDGS. 2400, 2500 & 2600

SCREEN ROOM / STORAGE CLOSET - PELICAN PETE'S BAR

9-13-95 - 95-09-112.00T

MEMORANDUM
 FOR THE DEPARTMENT OF COUNTY DEVELOPMENT DIVISION OF DEVELOPMENT REVIEW
 DATE: 09-13-95
 TO: City Dept. FROM: John M. Haggan
 RE: Transmittal No. 95-09-112.00T
 STOP NUMBER: 95-05-2100-00005.0028
 SUBJECT: Screen Room & storage closet
 Location: Pelican Pete's Bar & Main restaurant
South Seas Plantation - Captiva
 Description/Comments: Development Services appraiser has screen room and storage area as highlighted on the plan stamped and dated 8/13/95 by this office. Both additions are to be over existing impervious area. Please note that these additions have not been reviewed for fire or flood issues. If you have any questions, please do not hesitate to contact me.



211 112 211
 APPROVED
 South Seas Plantation
 File No. 95-05-2100-00005.0028
 Subject: Pelican Pete's Bar & Main restaurant
 Date: 09-13-95

NO.	DATE	DESCRIPTION

Captiva Island
 Lee County, Florida



3301 US 90/900 BLVD.
 SUITE 110
 CAPE CORAL, FLORIDA 33904
 PHONE: (813) 334-0044
 FAX: (813) 334-1100
 E-MAIL: JLE@JLE.COM

2001 Master Concept Plan
 South Seas Resort

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
June 2001	2001001	20-03-01	As Shown	11

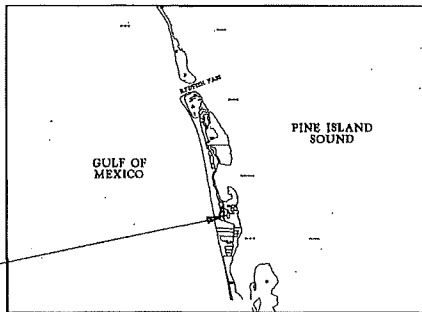
CONSTRUCTION PLANS FOR

TENNIS VILLAS AT SOUTH SEAS PLANTATION PROPOSED PARKING LOT RECONSTRUCTION

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	DETAILS



PROJECT LOCATION

LOCATION MAP



SCALE IN FEET

PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2158 JOHNSON STREET
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0048
FAX (813) 334-3861



J.E.I. PROJECT NO. 21057

MARCH 1996



I hereby certify that I am a duly
 licensed Professional Engineer
 in the State of Florida.
 My License No. is 10000
 My Expiration Date is 12/31/96
 My Commission Expires on 12/31/96
 My Signature is as shown above
 My Seal is as shown above
 My Title is as shown above

REGISTERED PROFESSIONAL ENGINEER
FLORIDA, CERTIFICATE NO. 10000



 JOHN W. EWER DATE



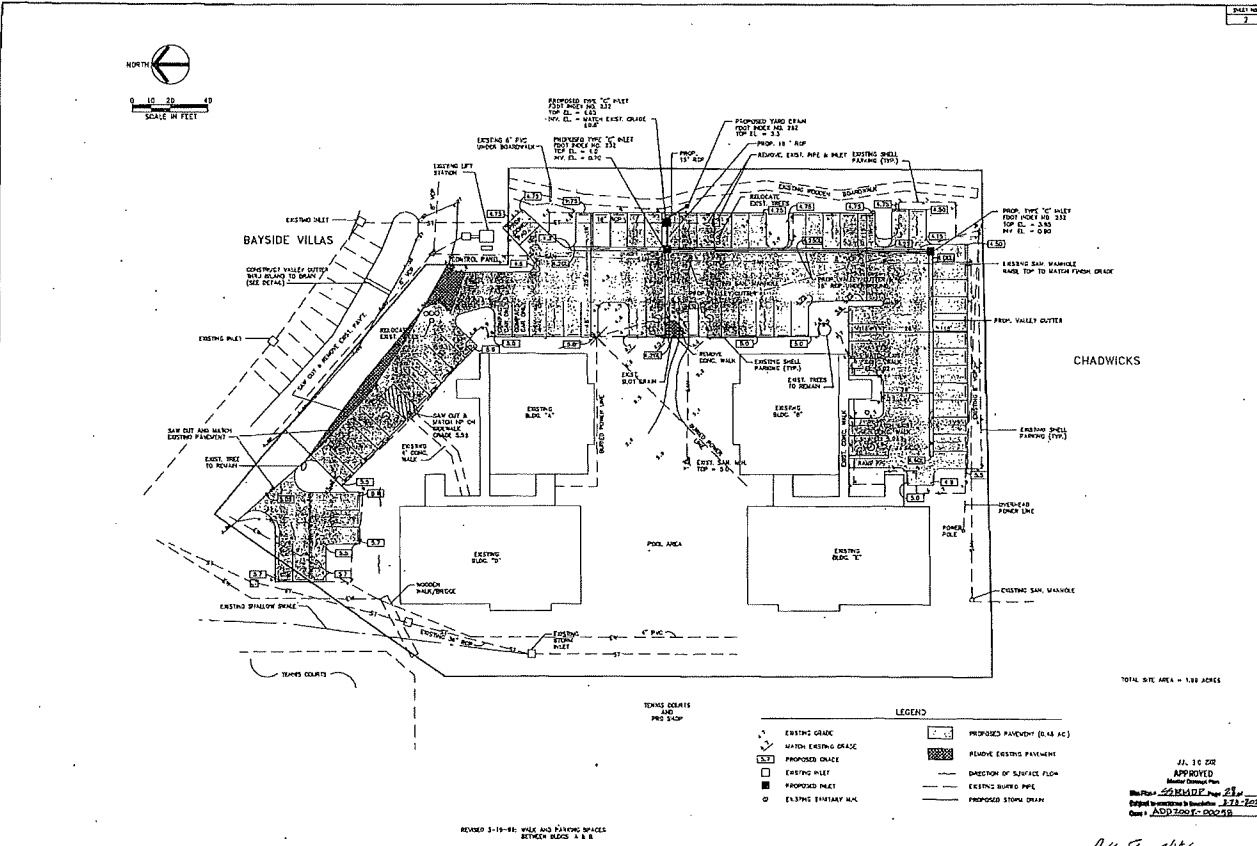
JR. J.S. INC.

APPROVED

Professional Seal

The Plan is **SEEMED** True
 Subject to approval by the State
 Date: **ADD 1002-00010**

DATE PLOTTED: 03/28/96 10:00 AM



TOTAL SITE AREA = 1.08 ACRES

TENNIS COURTS AND PAD STOPS

- LEGEND**
- EXISTING GRADE
 - MATCH EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING WALK
 - PROPOSED WALK
 - EXISTING DRIVEWAY WALK
 - PROPOSED PAVEMENT (0.48 AC)
 - REMOVE EXISTING PAVEMENT
 - DIRECTION OF SERVICE FLOW
 - EXISTING BURIED POLE
 - PROPOSED STUMP GRUB

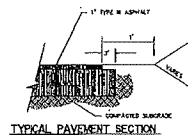
J.J. ZORR
 APPROVED
 JAMES CHADWICK, INC.
 2211 72nd
 GAITHERSBURG, MD 20878
 TEL: 301-281-1100
 FAX: 301-281-1101

REVISED 3-19-88 WALK AND PARKING SPACES BETWEEN BLDGS. A & B

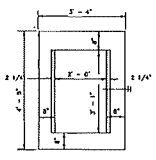
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
DESIGNED	08/11/87	JM		CHECKED	08/11/87	JM		NAME	DATE	JOHNSON ENGINEERING, INC.	
DRAWN	08/11/87	JM						ENGINEERS, ARCHITECTS AND LANDSCAPE ARCHITECTS			
CHECKED	08/11/87	JM						P.O. BOX 10000, WASHINGTON, D.C. 20007-1000			
								PHONE (301) 281-1100 FAX (301) 281-1101			

TENNIS VILLAS AT SOUTH SEAS PLANTATION
 SITE PLAN

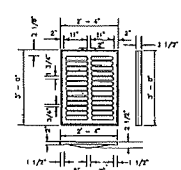
J.J. Zorr



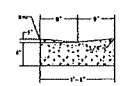
TYPICAL PAVEMENT SECTION
418



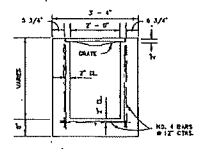
PLAN



IRON GRID
APPROX. WEIGHT 355 LBS.



VALLEY CUTTER
CONFORM TO FOOT TRUCK NO. 300

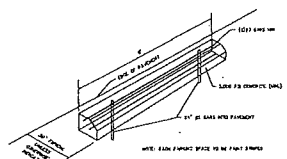


SECTION

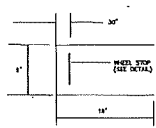
INLET TYPE "C"
RECOMMENDED MANHOLE PIPE SIZE:
3' - 0" WALL - 18" PIPE
3' - 6" WALL - 24" PIPE

NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 1931.
2. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR LOCATION OF BURIED UTILITIES PRIOR TO CONSTRUCTION.



WHEEL STOP



TYPICAL PARKING SPACE

ALL 118 RCI
REPEATED
Revised Contract Plan
This Plan - 5/28/50 - 100
Revised to conform to Standard - 478-102
Date - 10/20/50 - 20048

John P. Hill

REV.	BY	DESCRIPTION	DATE	APPROVED	DATE	REVISION	BY	DATE	DESCRIPTION	DATE	APPROVED	DATE	DESCRIPTION
1													

JOHNSON ENGINEERING, INC.
ENGINEERS, ARCHITECTS AND ROADS
2124 JOHNSON SQUARE, P.O. BOX 1284, FORT WORTH, TEXAS 76101-1284
PHONE (817) 342-1111 FAX (817) 342-1111

TENNIS VILLAS AT
SOUTH SEAS PLANTATION

DETAILS

CONSTRUCTION PLANS
FOR

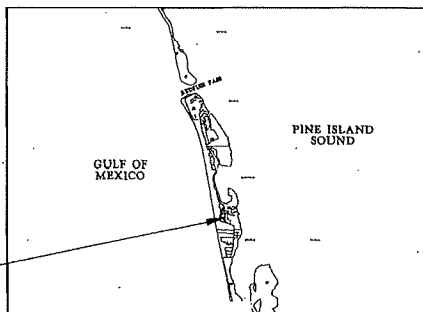
**SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING LOT IMPROVEMENTS**

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3 - 4	GRADING AND DRAINAGE PLAN
5 - 6	PAVEMENT REMOVAL AND OVERLAY PLAN
7	DETAILS
8	EXISTING TOPOGRAPHY

PROJECT LOCATION



LOCATION MAP

0 1500 3000 4500
SCALE IN FEET



PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS
2155 JOHNSON STREET
POST OFFICE BOX 1550
FORT MYERS, FLORIDA 33902
PHONE (813) 334-0046
FAX (813) 334-3651

J.E.I. PROJECT NO. 21057

JUNE 1996

REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 18359

Joseph M. Edner
JOSEPH M. EDNER

DATE



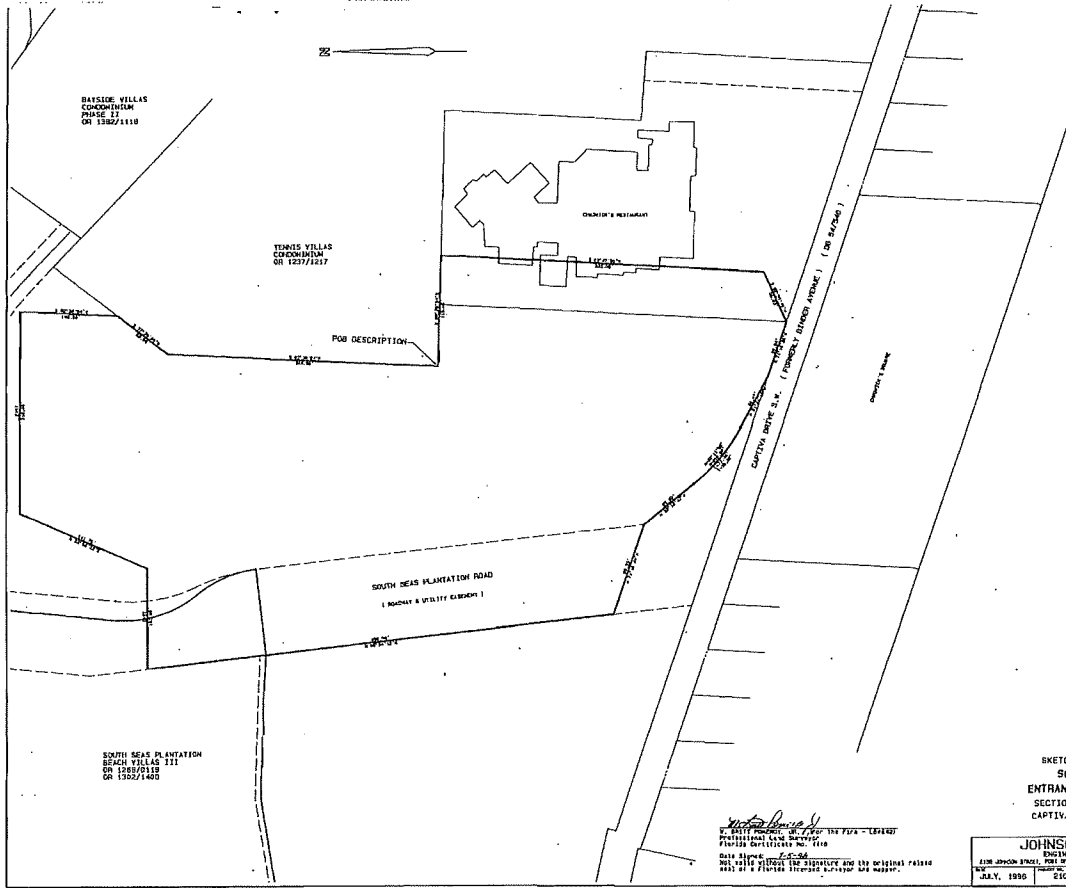
JUN 20 1996

APPROVED

Joseph M. Edner

Scale: 1" = 300'

Sheet: 1 of 8



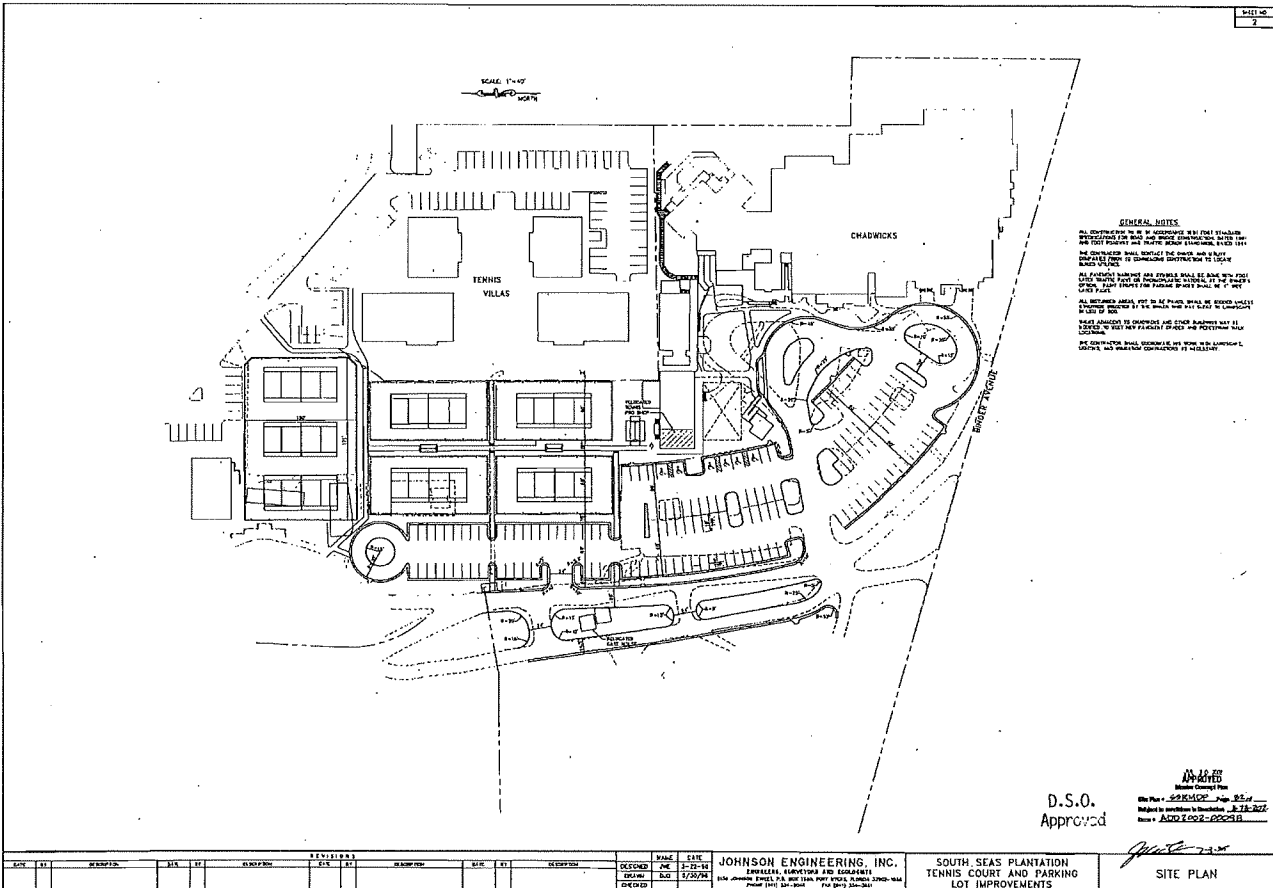
AS SHOWN
 APPROVED
 Date: 5/21/07
 Subject to conditions in Resolution 171-06
 Case # AND 7002-00018

D.S.O.
 Approved

SKETCH TO ACCOMPANY DESCRIPTION
 SOUTH SEAS PLANTATION
 ENTRANCE SITE IMPROVEMENT AREA
 SECTION 26, TWP. 45 S., RGE. 21 E.
 CAPTIVA ISLAND, LEE COUNTY, FLORIDA

JOHN JOHNSON
 PROFESSIONAL ENGINEER AND SURVEYOR
 LICENSE NO. 12107
 DATE SIGNED: 5-21-07
 THIS SKETCH IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF JOHNSON ENGINEERING, INC.

JOHNSON ENGINEERING, INC.			
ENGINEERS, SURVEYORS AND CONSULTANTS			
ONE JOHNSON STREET, SUITE 200, FORT MYERS, FLORIDA 33901-3000			
DATE: 5/21/07	SCALE: AS SHOWN	PROJECT: SOUTH SEAS PLANTATION ENTRANCE SITE IMPROVEMENT AREA	DATE: 5/21/07
BY: JOHN JOHNSON	PROJECT: SOUTH SEAS PLANTATION ENTRANCE SITE IMPROVEMENT AREA	DATE: 5/21/07	SCALE: AS SHOWN



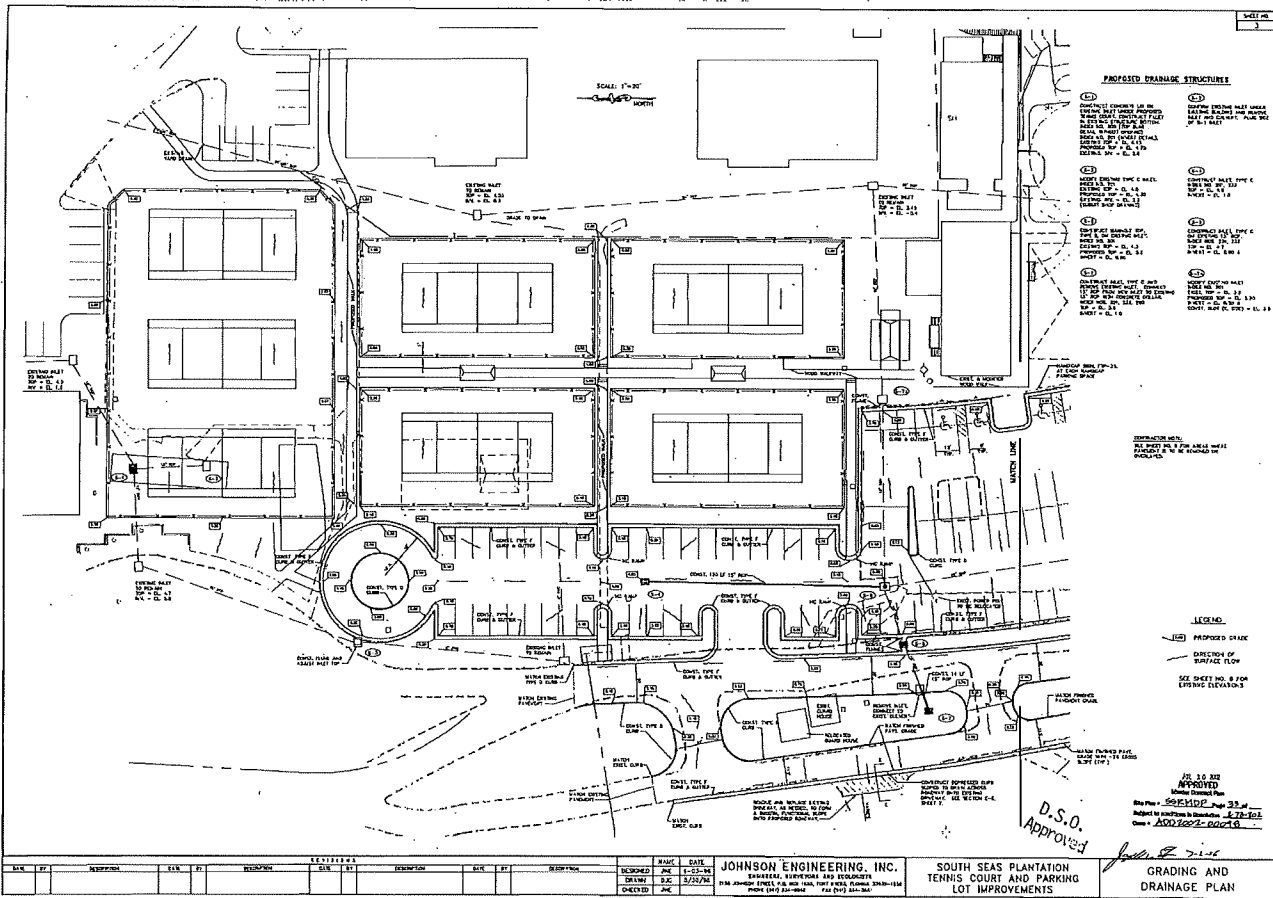
GENERAL NOTES
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL ORDINANCES AND REGULATIONS OF THE COUNTY OF COCOA BEACH, FLORIDA. THE SITE PLAN SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE AND SEAL OF THE REGISTERED PROFESSIONAL ENGINEER.
 ALL UTILITIES SHOWN ARE BASED ON RECORD PLANS AND FIELD SURVEY. THE LOCATION OF UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 ALL SETBACKS SHALL BE IN FULL COMPLIANCE WITH THE LOCAL ORDINANCES AND REGULATIONS OF THE COUNTY OF COCOA BEACH, FLORIDA.
 THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.

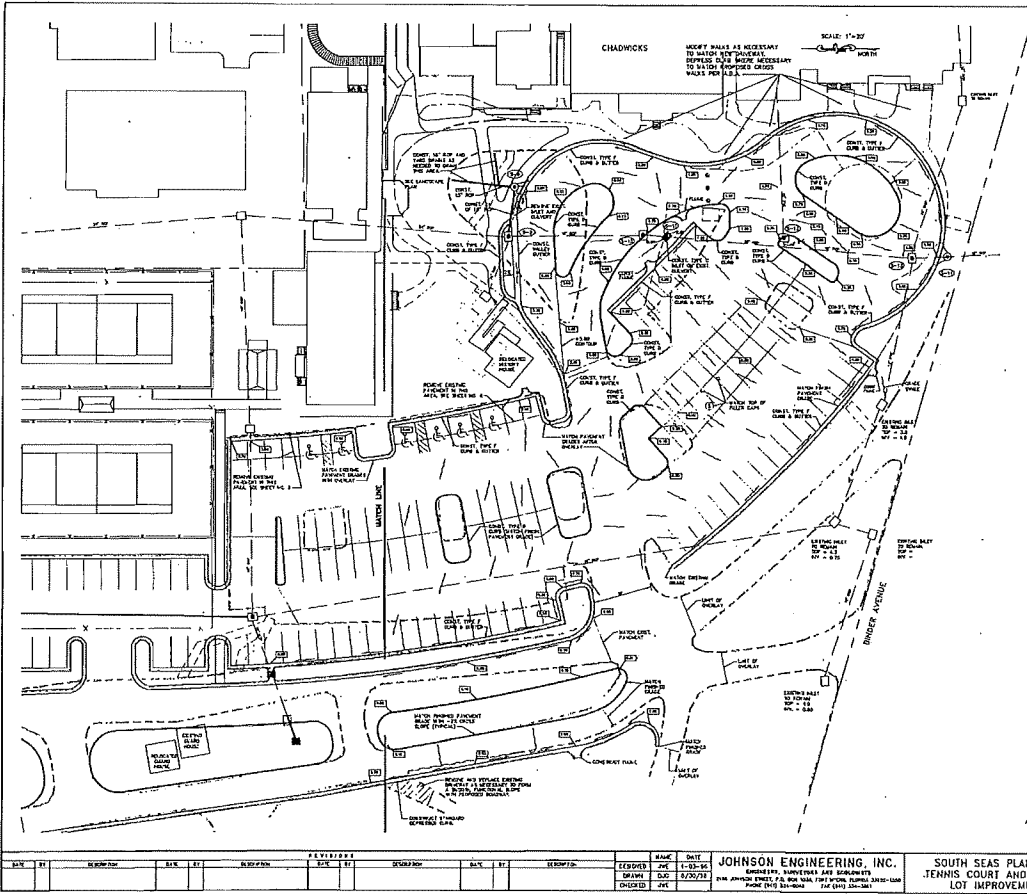
D.S.O.
Approved

APPROVED
 State of Florida
 Site Plan - SOUTH SEAS PLANTATION
 Subject to conditions to this plan - 02-18-2021
 Date - 02-18-2021

NO.	REV.	DESCRIPTION	DATE	BY	CHKD.	APP.

JOHNSON ENGINEERING, INC. ENGINEERS, ARCHITECTS AND LANDSCAPE ARCHITECTS 2014 Johnson Street, P.O. Box 1000, Palm Bay, Florida 32909-1000 Phone: (321) 321-1000 Fax: (321) 321-1001	SOUTH SEAS PLANTATION TENNIS COURT AND PARKING LOT IMPROVEMENTS	SITE PLAN 02-18-2021
---	--	--------------------------------





- PROPOSED DRAINAGE STRUCTURES**
- (S1) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S2) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S3) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S4) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S5) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S6) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S7) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S8) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S9) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S10) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S11) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S12) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S13) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S14) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S15) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S16) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S17) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S18) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S19) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S20) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S21) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S22) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S23) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S24) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S25) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S26) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S27) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S28) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S29) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S30) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S31) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S32) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S33) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S34) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S35) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S36) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S37) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S38) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S39) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S40) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S41) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S42) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S43) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S44) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S45) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S46) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S47) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S48) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S49) CONCRETE MANHOLE, TYPE 1, 48\"/>
 - (S50) CONCRETE MANHOLE, TYPE 1, 48\"/>

CONTRACTOR'S NOTE:

1. CONDUITS WITH GRATE TO COUPLER AREAS SHALL BE INSTALLED TO BE INSTALLED FOR SIDEWALKS AND PARADISE (AS) REQUIREMENTS.
2. SEE SHEET NO. 2 FOR PAVEMENT AREAS TO BE COMPLETED BY CONTRACTOR.

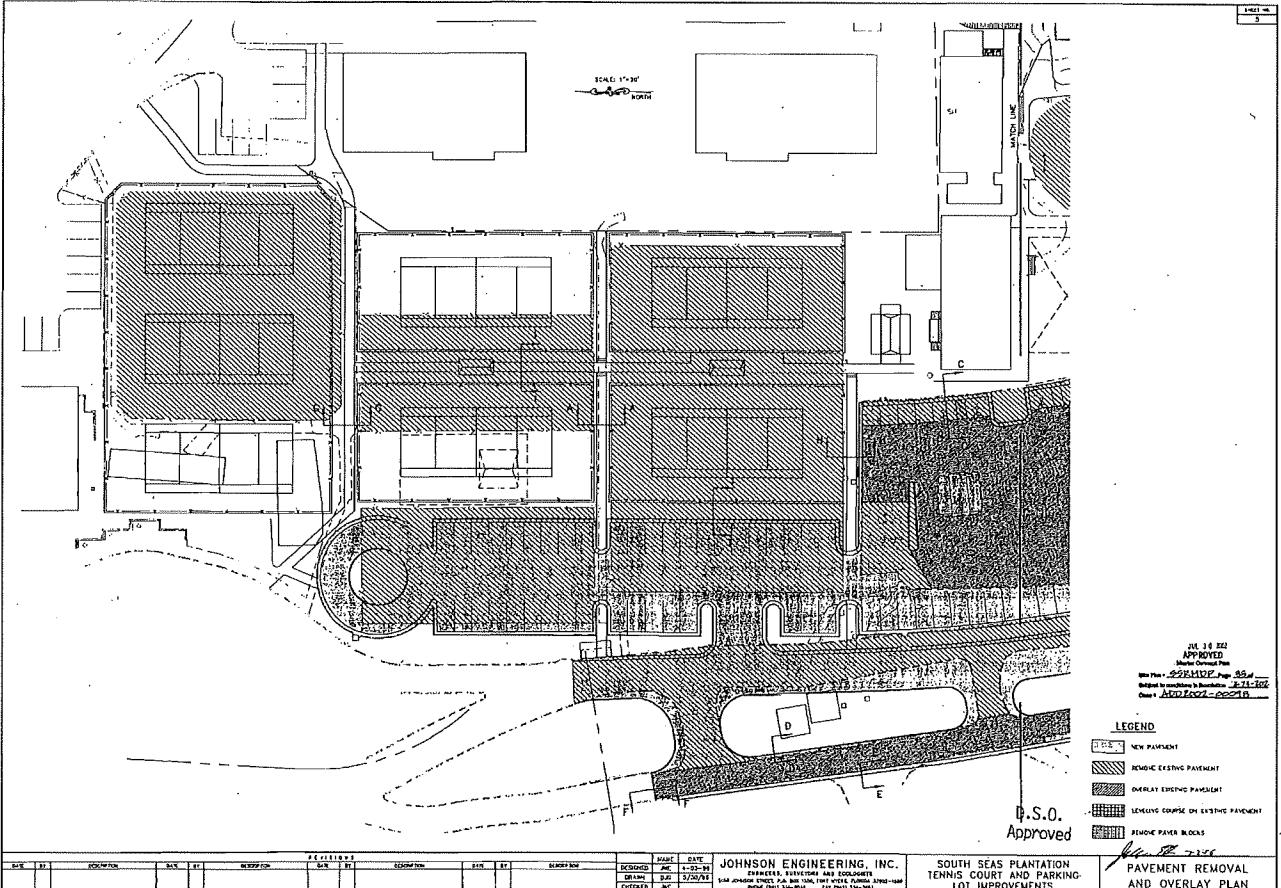
AS LG 882
APPROVED
 D.S.O.
 Approved
 Date: 5/25/78
 Scale: 1/4\"/>

NO.	BY	DATE	DESCRIPTION
1	J.E.	1-25-78	ISSUED FOR PERMITS
2	J.E.	5/25/78	ISSUED FOR CONSTRUCTION
3	J.E.		

JOHNSON ENGINEERING, INC.
 ENGINEERS, ARCHITECTS AND SURVEYORS
 2000 AVENUE 10, SUITE 100, FORT WORTH, TEXAS 76102
 PHONE: (817) 338-1000 FAX: (817) 338-1001

**SOUTH SEAS PLANTATION
 JENNIS COURT AND PARKING
 LOT IMPROVEMENTS**

**GRADING AND
 DRAINAGE PLAN**



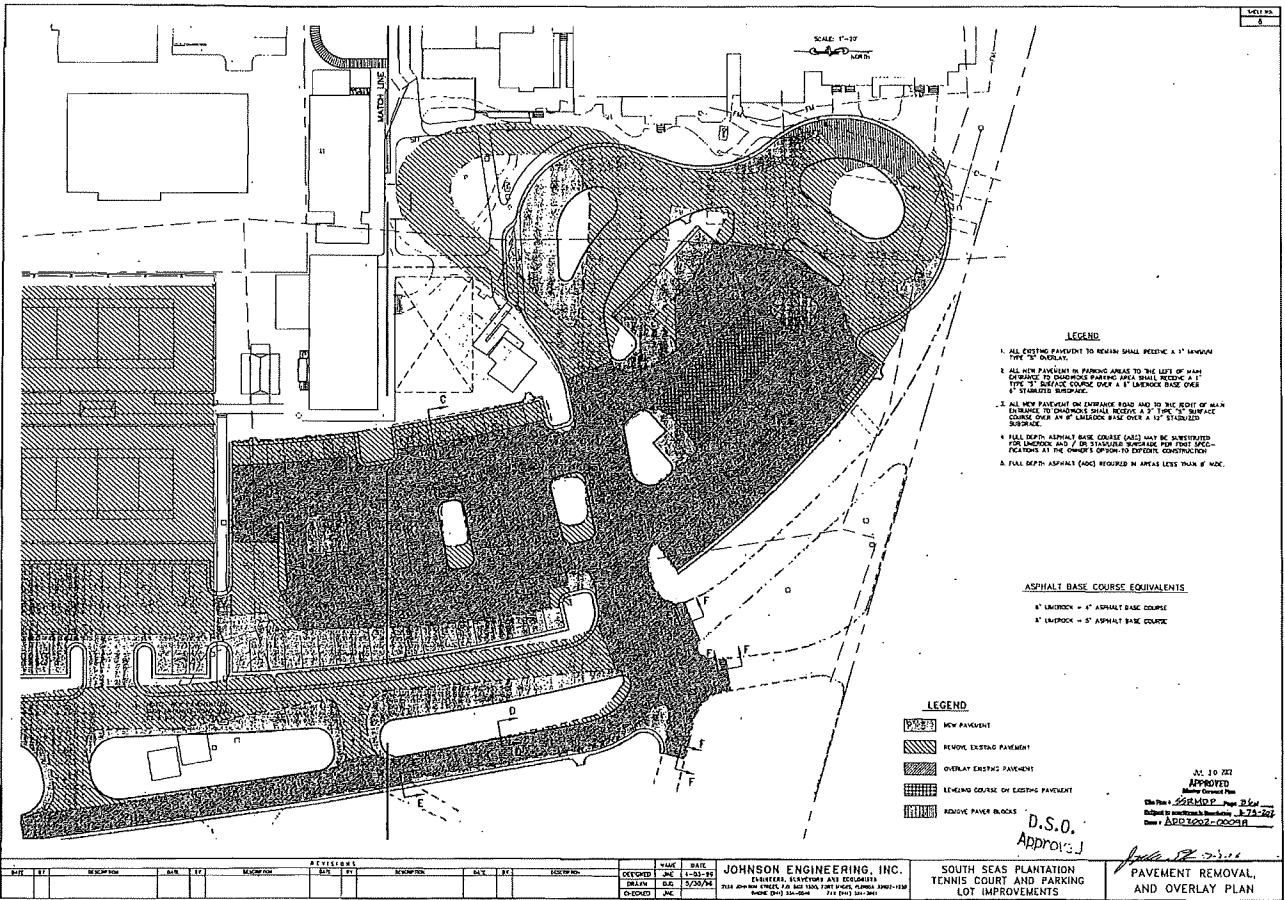
JUL 14 2012
 APPROVED
 Master Contract Plan
 Site Plan - 20120117P - 100 - 854
 Modified to conform to Schedule - 10-14-2012
 Draw # 10010022 - 00010

P.S.O.
 Approved

NO.	REV.	DESCRIPTION	DATE	BY	CHKD.

PREPARED BY DATE CHECKED BY	MADE DATE CHECKED BY	JOHNSON ENGINEERING, INC. ENGINEERS, PLANNERS AND ARCHITECTS 540 JENNIFER STREET, P.O. BOX 1040, FORT WORTH, TEXAS 76101-1040 PHONE (817) 344-8814 FAX (817) 344-3861	SOUTH SEAS PLANTATION TENNIS COURT AND PARKING LOT IMPROVEMENTS	PAVEMENT REMOVAL AND OVERLAY PLAN
-----------------------------------	----------------------------	---	--	--

APPROVAL: PAVING: 100 - 1011 (P) IMPROVEMENTS



- LEGEND**
1. ALL EXISTING PAVEMENT TO REMAIN SHALL RECEIVE A 1" MINIMUM TYPE 'B' SURFACE.
 2. ALL NEW PAVEMENT IN PARKING AREAS TO THE LEFT OF MAIN DRIVEWAY TO EXISTING PARKING AREA SHALL RECEIVE A 1" TYPE 'B' SURFACE COURSE OVER A 1" ASPHALT BASE COURSE OVER A 1" STABILIZED SUBGRADE.
 3. ALL NEW PAVEMENT ON ENTRANCE ROAD AND TO THE RIGHT OF MAIN DRIVEWAY TO EXISTING SHALL RECEIVE A 1" TYPE 'B' SURFACE COURSE OVER AN 8" LAYER OF 1 1/2" 21.5% STABILIZED SUBGRADE.
 4. FULL DEPTH ASPHALT BASE COURSE (ABC) SHALL BE SUBSTITUTED FOR LIMECKEN AND / OR STABILIZED SUBGRADE PER THE SPECIFICATIONS AT THE OWNER'S OPTION TO EXPEDITE CONSTRUCTION.
 5. FULL DEPTH ASPHALT (ABC) REQUIRED IN AREAS LESS THAN 8' WIDE.

ASPHALT BASE COURSE EQUIVALENTS

- 1" LIMCKEN = 1" ASPHALT BASE COURSE
- 1" LIMCKEN = 1" ASPHALT BASE COURSE

- LEGEND**
- [Hatched Box] NEW PAVEMENT
 - [Cross-hatched Box] REMOVE EXISTING PAVEMENT
 - [Diagonal Hatched Box] OVERLAY EXISTING PAVEMENT
 - [Dotted Box] LIMECKEN COURSE ON EXISTING PAVEMENT
 - [Horizontal Hatched Box] REMOVE PAVEMENT BLOCKS

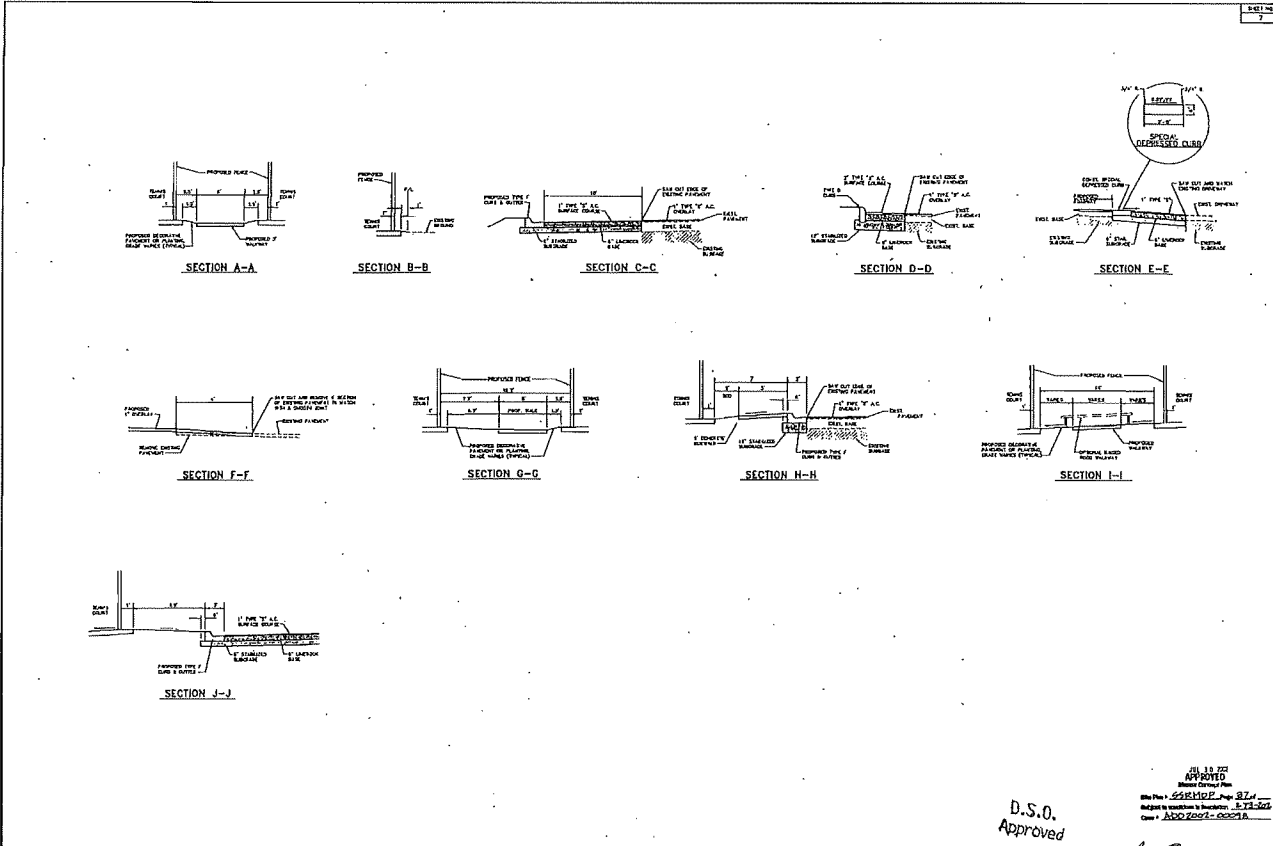
M. 10 2021
APPROVED
 (Signature)
 D.S.O.
 APPROVED

NO.	REV.	DESCRIPTION	DATE	BY	CHKD.	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

JOHNSON ENGINEERING, INC.
 ENGINEERS, SURVEYORS AND DESIGNERS
 2008 JOHN W. WHEELER BLVD. SUITE 1000, FORT WORTH, TEXAS 76104-1108
 PHONE (817) 334-0500 FAX (817) 334-3861

**SOUTH SEAS PLANTATION
 TENNIS COURT AND PARKING
 LOT IMPROVEMENTS**

**PAVEMENT REMOVAL,
 AND OVERLAY PLAN**



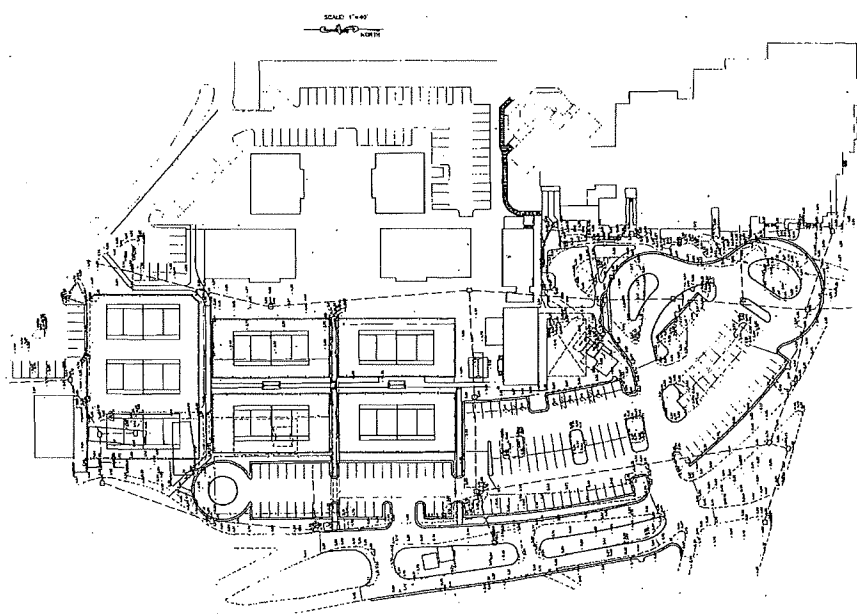
JUL 10 1971
APPROVED
D.S.O.
Approved

REVISIONS										DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	

JOHNSON ENGINEERING, INC.
ENGINEERS, ARCHITECTS AND PLANNERS
208 ANDREWS AVENUE, P.O. BOX 1000, FORT WORTH, TEXAS 76101-1000
PHONE (817) 342-2200 FAX (817) 342-2200

SOUTH SEAS PLANTATION
TENNIS COURT AND PARKING
LOT IMPROVEMENTS

DETAILS



D.S.O.
Approved

ALL SHEETS
APPROVED
DATE: 1/20/21
BY: [Signature]
PROJECT: [Project Name]

DATE PLOTTED: 1/20/21 10:00 AM

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

JOHNSON ENGINEERING, INC.
ENGINEERS, ARCHITECTS AND SURVEYORS
1000 JEFFERSON AVENUE, SUITE 1000
DENVER, COLORADO 80202
PHONE: (303) 733-3000

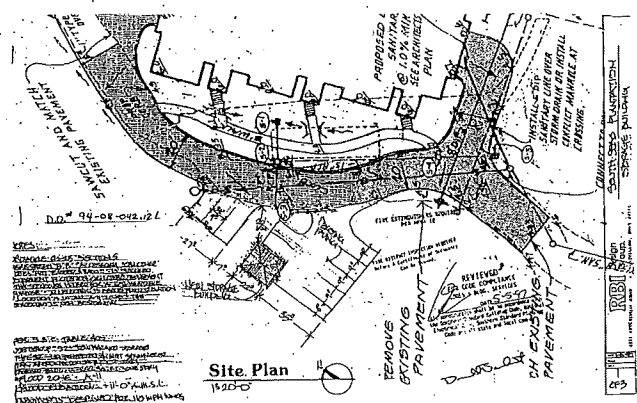
**ENTRANCE AREA
SITE IMPROVEMENTS**

EXISTING TOPOGRAPHY

LAUNDRY FACILITIES

9-21-94 - 94-08-042.12L

Lee County
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 DEVELOPMENT ORDER
 CERTIFICATE OF COMPLIANCE
 PROJECT NAME: South Seas Vacation Laundry Facility
 D.D. NUMBER: 84-08-042.12L
 BUILDING PERMIT: 1875203, 1875204 and 1875205
 This Certificate of Compliance is given for the above mentioned development, as determined by the Florida Department of Community Development on February 27, 1994, in accordance with the specifications of the Florida Department of Community Development having declared the above development to be in compliance with the Florida Department of Community Development's Letter of Substantial Compliance.
 This Certificate represents a final inspection. The Department Order is now complete.
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 Development Services Division
 James C. Swadlow
 State Developmental Services Representative
 James C. Swadlow, Lee County Attorney
 James C. Swadlow, State and Building Services
 Lee County, Environmental Services
 Lee County, Engineering
 James C. Swadlow, Johnson Engineering



PL 10 202
 APPROVED
 South Seas Resort
 Date: 2/27/94, Page 15 of 15
 Subject: South Seas Resort, 1820-0
 Order: 94-08-042.12L

REVISION	DATE	BY	CHKD

Captiva Island
 Lee County, Florida



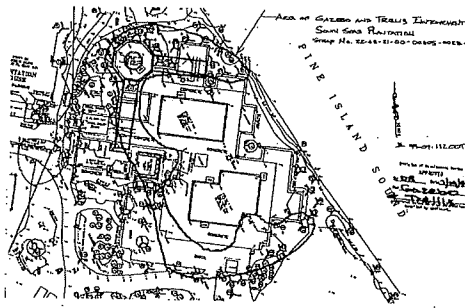
3001 GULF BLVD
 SUITE 110
 GULF BLDG, TAMPA 33604
 PHONE (813) 281-1111
 FAX (813) 281-1111
 C.E. 813 - 281-1111

2001 Master Concept Plan
 South Seas Resort

DATE	PROJECT NO.	PLT. NO.	SHEET	TOTAL
June 2001	2001204	22	10-11	At South

GAZEBO AND TRELIS

7-19-99 - 99-07-182.00T



AS SHOWN
APPROVED
Master Concept Plan
DATE: 07/19/99
DRAWN BY: J. W. LONN
CHECKED BY: J. W. LONN
SCALE: 1" = 100'

NO.	REVISIONS

Capiva Island
Lee County, Florida



3301 DEL PINO BLVD
SUITE 110
CAPE CORAL, FLORIDA 33904
PHONE (941) 241-0247
FAX (941) 241-1243
P.O. BOX 8146, FT. W.

2001 Master Concept Plan
South Seas Resort

DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
June 2001	20010104	11-01-21	As Shown	0001

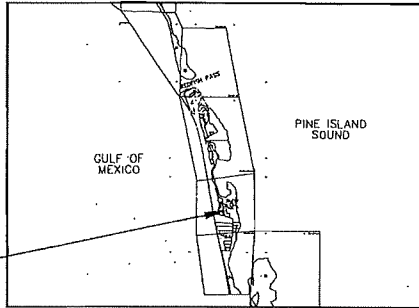
CONSTRUCTION PLANS
FOR

SOUTH SEAS PLANTATION
PROPOSED ACTIVITY AREA

SECTION 26, TOWNSHIP 45 S., RANGE 21 E.
LEE COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	DRAINING & DRAINAGE PLAN



LOCATION MAP



SCALE IN FEET

PREPARED BY

JOHNSON ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

2150 JOHNSON STREET
POST OFFICE BOX 1300
FORT MYERS, FLORIDA 33902
PHONE: (813) 334-0048
FAX: (813) 334-3681

J.E.L. PROJECT NO. 21057

JUNE 1996



OWNER
MERISTAR SS PLANTATION COMPANY, L.L.C.
1010 WISCONSIN AV. NW.
WASHINGTON D.C. 2007

DEVELOPER
MERISTAR
12800 UNIVERSITY DRIVE, SUITE 350
FT. MYERS, FLORIDA 33907
CELL PHONE: (941) 851-2554
FAX: (941) 481-6667

STRAP NUMBER
26-45-21-00-00001.2020

ZONING
RM-2



PROJECT # 99-07-978-12L
PROJECT TYPE 42

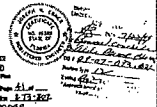
REGISTERED PROFESSIONAL ENGINEER
FLORIDA CERTIFICATE NO. 19399

APPROVED BY: [Signature]

DATE: 7/11/96

APPROVED

Subject to provisions & limitations of F.S. 489
Case # ACCO 9600-00018

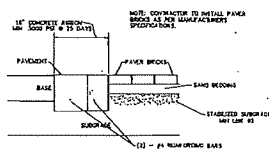


LAND COVERAGE SUMMARY TABLE

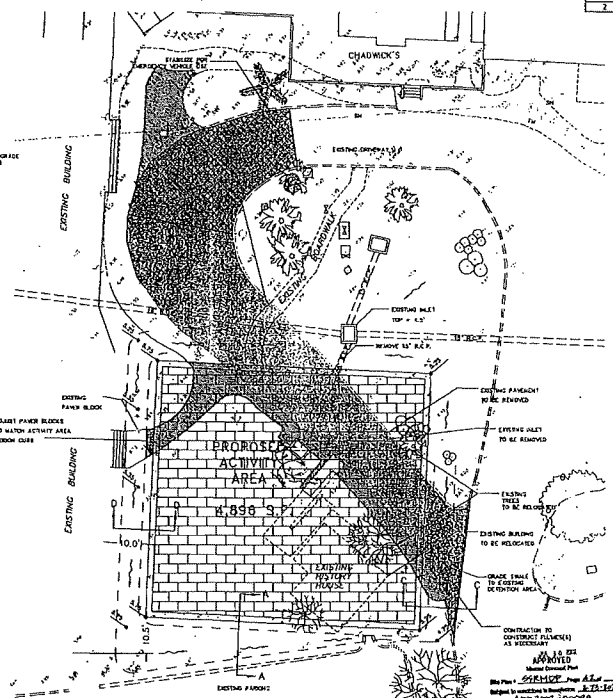
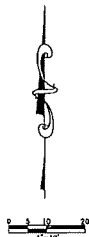
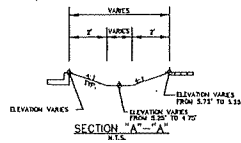
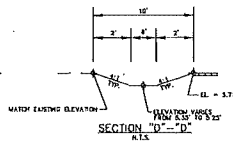
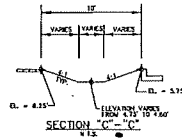
PROPOSED PAVER BLOCK AND WALK	4,896 S.F.
EXISTING PAVEMENT TO BE REMOVED	3,168 S.F.
EXISTING PAVER BLOCK TO BE REMOVED	1098 S.F.
EXISTING BUILDING TO BE REMOVED	630 S.F.

TOTAL PROPOSED IMPERVIOUS COVERAGE	4,896 S.F.
TOTAL IMPERVIOUS REMOVED	4,896 S.F.

NET IMPERVIOUS AREA ADDED = 0 S.F.



BRICK PAVER INSTALLATION
K.T.S.



- LEGEND**
- EXISTING POWER POLES
 - EXISTING INLET
 - EXISTING FIRE HYDRANT
 - EXISTING VALVE
 - PROPOSED PAVER BLOCK
 - REMOVE PAVEMENT
 - REMOVE PAVER BLOCK
 - STABILIZED EMERGENCY VEHICLE ACCESS

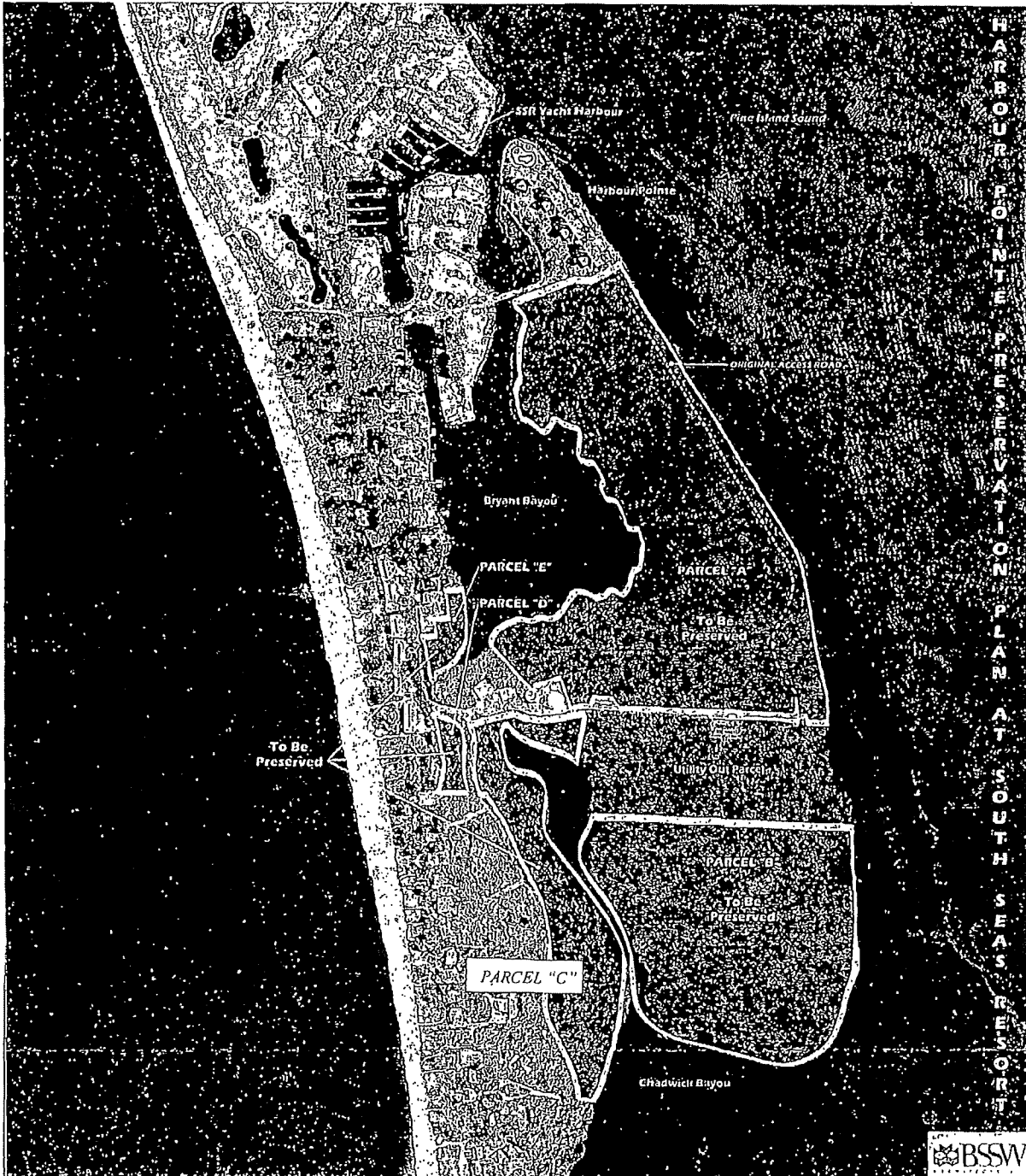
D.S.O. APPROVAL

REVISIONS										DATE		JOB NO.		PROJECT		DRAWN BY		CHECKED BY		APPROVED BY			
NO.	DATE	DESCRIPTION	BY	CHK	DATE	NO.	DATE	DESCRIPTION	BY	CHK	DATE	NO.	DATE	DESCRIPTION	BY	CHK	DATE	NO.	DATE	DESCRIPTION	BY	CHK	DATE

JOHNSON ENGINEERING, INC.
 8400 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: (303) 750-8800 FAX: (303) 750-1000

GRADING AND DRAINAGE PLAN

EXHIBIT "E"



HARBOUR POINTE PRESERVATION PLAN AT SOUTH SEAS RESORT



4/30/08

DCI 2004-00036
RECEIVED
JUL 01 2008
COMMUNITY DEVELOPMENT

PLAN

The following development standards are applicable to the SSRD, based on standards that have been applied since its inception in 1973.

304± acres that make up the SSRD, approximately aside as open space, (this 100+ acres includes now uplands, wetlands, and submerged lands). Additionally portion of open space for those lands seaward of the fiction control line, currently in excess of 15 acres. The Course and other recreational lands supplement the preservation land categories such that a minimum of approximately 50% of the overall property is allocated to herefore, no minimum amount of Open Space is individual parcels.

is will be placed on the use of native species. r shading and trees and/or shrubs for the screening of for privacy will be used to the extent possible. The tion and placement shall be at the discretion of the n concert with County staff. The use of invasive exotics

be a natural (mostly mangrove) shoreline buffer rters of the SSRD. Specifically, that natural buffer mum of 35' wide (except to the extent that the existing d or Bay Drive (leading to Harbour Points) may currently nd therefore reduce that 35' buffer). Where it is in or proved development areas, the natural buffer may be mber of existing small openings as necessary for ular, boat, pedestrian, and/or utility access, and ordance with State Standards for Mangrove Trimming . There is no buffer required along the bay waters the southeasterly tip of the Harbour Points site s the marina entrance channel and along the bay h Pass. There shall be no required minimum buffer lial parcels infernal to the development.

Drive Southwest—minimum 25' to edge of right-of- s Road—minimum 10' to edge of pavement, excluding s, signs, walls and other entrance features, when LDC site visibility requirements.

rs—no minimum setbacks required.

mal Property Line:

l' with minimum 6' high wall and vegetation buffer.

l' with minimum 6' high wall or vegetation buffer.

l' without wall or vegetation buffer.

nal Property Line—no minimum setback required.

Waters:

l' setback from mean high tide line.

rs of Gulf of Mexico:

l' from mean high tide line.

ral or Manmade Lake, Pond, Bayou, Canal, or Marina:

l' setback required for buildings redeveloped within

ding footprints; 25' for any new buildings.

ling Separation:

l' separation unless additional separation is required

Fire Code.

ures Including Fences and Walls:

structures 8' or less in height above grade; no minimum

ired. structures over 8' in height from grade, the setback same as set forth above for buildings, except as to where there will be no setbacks required.

be no minimum required separation between walls and ructures or one accessory structure and another.

- e. **Building Heights:** (These standards are applicable to all new structures except those being replaced under the existing Lee County build-back provisions of the Land Development Code or LEE PLAN). Maximum height to the top of a parapet wall, roof, or midpoint of a pitched roof of no less than 4:1 and no more than 7:1 shall be the lesser of 35' above the grade surrounding the building at its foundation or 42' above mean sea level.
- f. **Traffic Impact Statements (TIS):** A traffic statement shall be required for any development that includes new residential dwelling units or includes more than 500 square feet of retail/commercial square footage. Because of the SSRD's vested status for purposes of concurrency (established via Determination of Consistency with the Lee Plan in 1985), the data provided to the County in such TIS are intended for information purposes only. Approval of TIS is not a prerequisite to approval of proposed development plans. The concurrency vesting is limited to the SSRD, as approved under this Interpretation.
- g. **Parking:** These standards recognize the developers long standing commitments to transportation alternatives to the automobile on Captiva, including pedestrian and bicycle transportation via the pathways provided throughout the SSRD and the provision of up to 18 hours of daily free tram service.

General:

- Individual parking spaces will be no less than 9' wide by 18' deep.
- The appropriate number of handicap spaces will be provided in convenient locations in compliance with Lee County and State of Florida Handicapped Codes and the intent of ADA Guidelines.
- Any proposed reduction or reconfiguration of the as-built/as approved parking spaces provided contemporaneous to this Interpretation, is subject to a limited review development order to assure that the current inventory of parking is not reduced and additional parking is provided in the proportions for resort use as required below.

Residential:

- Single family/duplex will have a minimum of 2 off-street parking spaces per unit.
- Multi-family housing (whole ownership/timeshare/etc.) will have a minimum of 1 parking space per dwelling unit plus a minimum of 1 guest/service parking space for every 10 dwelling units.
- Hotel/Motel units and employee rental apartments shall have a minimum of 1 parking space for every 2 dwelling units plus 1 guest/service parking space for every 10 dwelling units.

Commercial:

- Activities/Facilities internal to the resort and used almost exclusively by resort owners and guests (i.e. marina, golf course, tennis, retail, resort area restaurants, conference facilities, etc.) have no minimum required number of spaces.
- Commercial Area at the south end of the property, except for conference facilities, shall be required to provide a minimum 1 parking space per 1000 square feet of retail, restaurant/lounge or commercial use (excluding kitchens and other "back of the house" areas and service facilities).

h. **Construction Standards (other than for buildings):**

—Roads, driveways, walks, bike paths, seawalls, in accordance with sound engineering design s those facilities constructed within the SSRD dur years, subject to review and approval by Count limited review development order process.

i. **Stormwater Management:**

—The standards of the existing approved SSRMDF and permitted by the South Florida Water Mana or as they may be amended in the future, shc surface water management elements of future SSRD.

j. **Other:**

Except as noted herein, the applicable standard Land Development Code shall apply.