



**BOCA GRANDE HISTORIC PRESERVATION BOARD
WOMAN'S CLUB ROOM
BOCA GRANDE COMMUNITY CENTER
131 FIRST STREET WEST, BOCA GRANDE, FL 33921**

**WEDNESDAY, SEPTEMBER 11, 2013
10:00 AM**

AGENDA

1. Call to Order/Roll Call/Review of Affidavit of Publication

2. Approval of 7/10/2013 Minutes

3. Public Hearing on Special Certificates of Appropriateness (COA) Cases

(For public review, plans for the COA cases are available at the Johann Fust Community Library, 1040 West 10th Street, Boca Grande, starting September 4, 2013.)

Note: *If zoning relief is required, then a summary of the zoning relief requests is provided for informational purposes only. The Lee County Zoning Division will make a determination after the Historic Preservation Board renders its decision.*

A. COA2013-00089 Gasparilla Inn Dormitories – Employees Only Sign 777 7th St E Boca Grande, FL 33921 Install 4-ft 5-in high sign by the Gasparilla Inn Dormitories.

Proposed installation of a +/- 3-ft 1-in by 2-ft 8-in sign board supported by 2 posts each 4-ft 5-in high.

B. COA2013-00090 Gasparilla Inn Marina Sign 891 8th St E Boca Grande, FL 33921

Install 5-ft 1-in high sign by the Gasparilla Inn Marina.

Proposed installation of a +/- 3-ft 10-in by 3-ft 9-in sign board supported by 2 posts each 5-ft high.

The request for Zoning Relief in the IL (Industrial) zoning district from the Lee County Land Development Code from:

- a) Relief from LDC Section 30-153(3)(e) which requires that Identification signs shall be set back a minimum of 15 feet from any right-of-way or easement; to permit a setback of 7± feet from Eighth Street for a proposed 5± foot high identification sign for the Gasparilla Inn Marina.

C. COA2013- 00091 Gasparilla Inn Tennis Club Sign , 5th St. W and Gilchrist Ave. Boca Grande, FL 33921 Install 5-ft 1-in high sign by the Gasparilla Inn Tennis Club.

Proposed installation of a +/- 3-ft 10-in by 3-ft 9-in sign board supported by 2 posts each 5-ft high.

D. COA 2013-00093 Van Beuren 1340 13th St W Boca Grande, FL 33921

Replace the wall along Gasparilla Road and repair the front (along 13th St W) wall.

The request for Zoning Relief in the RS-2 (Residential) zoning district from the Lee County Land Development Code from:

- a) Relief from LDC Section 34-1744(b)(2)(a)(i), which requires that a fence or wall located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet; for existing masonry walls up to approximately 6± feet in height, within the minimum 25 feet setback from the northern property line (right-of-way for 13th Street).
- b) Relief from LDC Section 34-1744 (b)(2)(a)(ii), which requires that a fence or wall located between a side or rear lot line and the minimum required setback line for accessory buildings is limited to a maximum height of six feet; for an existing masonry wall along the rear (southern) property line to be approximately 7.3± feet in height.

(OVER)

- c) Relief from LDC Section 34-1744(b)(2)(a)(i), which requires that a fence or wall located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet; to replace existing wall with a new masonry wall approximately 6± feet in height with a setback of 1± foot from the eastern property line (right-of-way for Gasparilla Road).

E. COA 2013-00095 Robinette, 1120/1126 11th St W Boca Grande, FL 33921

Construct a new garage on the west side of the existing historic house.

The request for Zoning Relief in the RS-2 (Residential) zoning district from the Lee County Land Development Code from:

- a) Relief from LDC Section 34-695, Property development regulations, which requires street setback in the RS-2 zoning district of 25 feet, to allow the existing single-family residence to have a minimum street setback of 14.5± feet from the northern property line (right-of-way for 11th Street).
- b) Relief from LDC Section 34-695, Property development regulations, which requires side setback in the RS-2 zoning district of 10 feet, to allow the existing single-family residence to have a minimum side setback of 4.5± feet from the eastern property line.
- c) Relief from LDC Section 34-1174(d)(2), which requires residential accessory buildings and structures to be setback 10 feet from side property lines in the RS-2 zoning district, to allow an existing accessory building (pool house) to have a minimum side setback of 5.5± feet from the western property line.
- d) Relief from LDC Section 34-1744(b)(2)(a)(i), which requires that a fence or wall located between a street right-of-way or easement and the minimum 25 foot street setback line not to exceed a height of 3 feet; for existing masonry walls approximately 6± feet in height, within the minimum 25 feet setback from the northern property line (right-of-way for 11th Street).
- e) Relief from LDC Section 34-1744 (b)(2)(a)(ii), which requires that a fence or wall located between a side or rear lot line and the minimum required setback line for accessory buildings is limited to a maximum height of six feet ; for an existing masonry wall along the rear (southern) property line to be approximately 8± feet in height.
- f) Relief from LDC Section 34-2192 and 34-695, Property development regulations table, which requires street setback in the RS-2 zoning district of 25 feet, to allow the addition of a garage, attached to the single-family residence to have a minimum street setback of approximately 19.5± feet from the northern property line (11th Street right-of-way).
- g) Relief from LDC Section 34-695, Property development regulations table, which requires side setback in the RS-2 zoning district of 10 feet, to allow the addition of a garage, attached the single-family residence to have a minimum side setback of approximately 8± feet from the western property line.

F. COA2013-00112 O'Dowd, 851 Palm Ave. Boca Grande, FL 33921

Construct of a new residence on a vacant lot.

G. COA2013-00114 Gilcrest LLC 331 Gilchrist Ave. Boca FI 33921

Add a porch on second floor of the rear (west) elevation.

4. Items by the Public; Committee Members; Staff

5. Adjournment – Next Meeting Date: October 9, 2013

Any person appealing a decision made at this hearing must ensure a record of the proceedings is made. In accordance with the Americans with Disabilities Act, Reasonable Accommodations will be made upon request. If you are in need of a Reasonable Accommodation or would like additional information, please contact Janet Miller at 533-8583.

To receive agendas by e-mail, contact jmiller@leegov.com.



MINUTES REPORT
BOCA GRANDE HISTORIC PRESERVATION BOARD
JULY 10, 2013

MEMBERS PRESENT:

Rebecca Paterson, Vice Chair
Richard Robb
Dana Robinette
Tim Seibert

STAFF PRESENT:

Debbie Carpenter, Recording Secretary
Gloria Sajgo, Principal Planner, Planning

MEMBERS ABSENT:

Bill Caldwell III, Chair
William Winterer
Paul Eddy

Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication

Ms. Patterson called the meeting to order.

Gloria Sajgo stated the affidavit was reviewed and accepted by the County Attorney's office.

Agenda Item 2 – Approval of 5-8-13 Minutes

Mr. Seibert made a motion to approve the 5-8-13 meeting minutes, seconded by Mr. Robb. The motion was called and passed 4-0.

Agenda Item 3 – Public Hearing on Special Certificates of Appropriateness (COA)

- A. **COA2013-00078 Hunter Buchanan Trust, 450 Tarpon Ave. Boca Grande, FL 33921** – The proposed project entails the demolition of an existing non-contributing (non-historic) residence and the new construction of a residence in its place.

Ms. Sajgo reviewed the staff report and recommendations (attached).

Ms. Paterson asked if the applicant or applicant's representative wished to add any comments.

Mr. Dave Kondroski from Velocity Coastal Home Planning said he was the applicant and owner's representative. He had nothing further to add but was available to answer any questions.

Mr. Ian Rogerson addressed the Board. He stated that he and his partner Susan had an offer pending on this property subject to an approval from the Board. He said the intention was to build an attractive house that fits their particular needs. He said they had worked closely with Ms. Sajgo to meet Lee County's requirements. He felt they had a house that would have curb appeal and would be comfortable in the neighborhood. He was available to answer any questions.

Mr. Robb asked if proper notice had been given to the neighborhood and that there were no adversarial claims. It was confirmed that proper notice had been given.

Ms. Paterson asked if there was anyone present with opposing comments and there were none.

BGHPB

July 10, 2013

Ms. Paterson opened this item for public comment. No public input was received.

Mr. Robb made a motion to approve the project as presented by the applicant and make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District, seconded by Mr. Seibert. The motion was called and passed 4-0.

Agenda Item 4 – Items by the Public; Committee Members; Staff

No discussion took place for this segment.

Agenda Item 5 – Adjournment – Next Meeting Date

Ms. Sajgo confirmed the next meeting would be held on August 14, 2013. Mr. Robb stated he would be out of town at that time.

Ms. Robinette made a motion to adjourn, seconded by Mr. Robb.

The meeting adjourned at 10:10 a.m.

BOCA GRANDE HISTORIC PRESERVATION BOARD**STAFF REPORT****TYPE OF CASE:** Special Certificate of Appropriateness**CASE NUMBER:** COA 2013 -00078 Hunter Buchanan Trust 450 Tarpon Ave, Boca Grande Fl**HEARING DATE:** July 10, 2013**SUMMARY:**

The proposed project entails the demolition of a non-contributing property and the construction of a new a single family residence in the Boca Grande Historic District HD (District) 90-05-01. The STRAP number is 14 43 20 01 00023 0040; the address is 450 Tarpon Ave, Boca Grande, Florida, 33921. The subject lot is located at the east side of Tarpon Ave. Staff analyzed the proposed project for compliance with Chapter 22 of the Lee County Land Development Code and the Boca Grande Design Guidelines.

STAFF ANALYSIS:

The subject parcel is parallelogram shaped and roughly 100-ft by 128-ft. -- with roughly 128-ft frontage on Tarpon Ave. The proposal calls for the demolition of the existing non-contributing residence and its replacement with a contemporary single story cottage style building. The building would feature horizontal hardi plank siding and a complex metal roof. The windows will be multi-light windows mostly in pairs or ribbons of three or four windows. Many of the windows will feature transoms.

The proposed house features metal roofs with exposed, decorative rafter tails on the front (east), side (south) and rear (east) elevations. Generally the roof form is complex featuring a series of roofs -- instead of large roof. This approach helps to break up the roof mass of the building and provides variable roof heights and types. Additionally the front elevation of the house features a façade that is divided into three distinct and staggered wings -- again this design breaks up the mass of the house and provides complexity of design.

The proposed house has frontage on Tarpon Ave of roughly 103-ft. It has roughly 2,767 sq ft of A/C area, 741 sq ft of garage and storage area, 977 sq ft porches and balconies. See below.

Sq Footage	Location
2767	living area under A/C
741	Garage and storage
512	Screen porch
317	Entry Porch
83	Dinning balcony
65	Guest balcony
4,885	Total

The house will conform to the required setbacks; it will also feature a pool and deck on the back yard.

Due to FEMA regulations the house has to be elevated 5-ft 8-in from existing grade. The house will be on pilings with decorative lattice infill. Additionally fill dirt will be used to landscape the site -- especially by the front entrance -- in order to moderate the impact of elevating the house to meet flood requirements.

It should be noted that to obtain a building permit the Building Department will have to approve the applicant's proposed drainage plan.

Front (West) elevation on Tarpon Ave. The main façade is divided into three staggered wings: the entry, the central and the garage wings.

- **The entry wing:** This is the south wing; it has a roughly 55-ft 8-in façade on Tarpon St and is setback 25-ft from the front property line.

It features a flat topped, metal hip roof that is roughly 25-ft high from grade to roof peak (or about 19-ft 4-in from base flood to roof peak). The impact of the roof is minimized by 2 symmetrically placed gable dormers and by the roof terminating in a “broken eave” where the more steeply pitched hip roof transitions into the gentler slope of a shed roof. The front elevation features a central front door with sidelights, ribbons of large multi-light windows and a wraparound porch with railings. This elevation will be accessed by steps incised under the porch.

- **The central wing:** This wing has a roughly 25-ft 10-in façade on Tarpon St and setback roughly 31-ft 4-in from the front property line. It features a small, high, flat-topped, metal hip roof with broad, lower roofs at either side. The taller, smaller hip roof is roughly 26-ft high from grade to roof peak (or about 20-ft 4-in from base flood to roof peak) and its effect is tempered with lower, more expansive roofs at either side – these are roughly 23-ft high (or roughly 17-ft 4 from base flood to roof peak). In addition the impact of these roofs is minimized at the street level by a small front facing gable roof over the guest bedroom which is flanked by a small shed roof over the guest deck.
- **The garage wing:** This is the north wing; it has a roughly 21-ft 6-in-ft façade on Tarpon St and is setback roughly 33-ft from the front property line. It features two single garage doors with lights at the top. This wing features a partial hip roof that is roughly 17 ft 6-in from grade to roof peak.

Side (South) elevation This elevation features a portion of the open porch that wrap-around from the front to the south side. An expansive rear screen porch takes up the balance of the south side. Under the porches the house features two single windows and clipped wall corners. An exterior chimney with a decorative stone finish is visible on the south side.

The required side setback is 7-ft 6-in. This is a parallelogram shaped lot and as a result the side lot lines taper. Along the south side of the house, the closest south side setback is by the front elevation at roughly 10-ft 9-in from south side property line. This setback increases until by the rear elevation it is roughly 18-ft by from the south side property line.

Side (North) elevation This elevation includes the garage and storage areas – no living areas open to this elevation. Along the north side of the house the closest north side setback is by the rear elevation; it meets the required at 7-ft 6-in from the north side property line. This setback increases until by the front elevation it is roughly 14-ft 8-in from the north side property line.

Rear (West) elevation –The rear elevation incorporates an expansive rear porch under the flat topped hip roof. Like in the front elevation this roof features a flat topped hip roof whose impact is minimized by 2 symmetrically placed gable dormers and by the hip roof terminating in a “broken eave” where the more steeply pitched hip roof transitions into the gentler slope of the shed roof.

The rear elevation also features the high central hip roofed wing over the master suite. Next to this wing are the lower roofs of the garage/storage area.

The rear elevation is setback about 22-ft from the property line. The southern half of the backyard features a deck with a pool and spa. This area is accessible from the expansive rear, screened porch.

Overall staff believes this is a well thought out project.

Design Guidelines for the Boca Grande Historic District

In evaluating the design guidelines also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

This is a single story house and it is located in an area that has many single story houses: both private residences and the Gasparilla Inn cottages. The proposal minimizes the roof height by using a variety of roofs that break up the mass and scale of the building.

In evaluating building height it is important to note that the house had to be elevated to meet FEMA flood regulations; the finished floor is 5-ft 8-in above grade.

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

The proposed project meets and often exceeds the required setbacks for the front (25-ft) sides (7-ft 6-in) and rear (20ft) elevations. The proposed setbacks provide a sense of openness that complements the area.

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block.

The house maintains the traditional alignment of horizontal and vertical elements.

1.6 Maintain the traditional proportions of glass in building facades.

The house maintains the traditional proportions of glass in the building facades.

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The traditional alignment between rooflines, porch protrusions and entrances is maintained. This contemporary cottage features a traditional style.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

This is a parallelogram shaped parcel. The applicant has taken care to build so that the building is within the slanted lot lines and the side setbacks are maximized on the south side – where there are porches and minimized on the north side – where only the garage walls are located and there are no living areas.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces.

The building maintains the traditional orientation; the proposed building has a façade that is parallel to the street on which it faces.

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade.

The building maintains the vertical and horizontal proportions of the building.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

While the house features a variety of setbacks, the house maintains or exceeds the required setbacks for the front (25-ft) sides (7-ft 6-in) and rear (20ft):

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges.

The proposed garage is located according to the traditional development pattern. It is located on the front elevation of the house – as other garages in the area are. The impact of the garage on the façade is minimized as it is under its own roof, which is lower than the roofs over the living areas in the house. The garage wing is staggered so that it is recessed behind the main façade of the house. The pool equipment has been located to the rear of the house – to a crawlspace below the house with access via the decorative lattice enclosure. The A/C condenser is also at the rear of the house and will have a lattice screening. The trash and recycling bins will be located by the north side elevation.

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.

The pool deck on the east rear and the south side is unobtrusive. Vertical porch railings are often found in the district. The pool will be fenced off by bronze aluminum fences that include railings that are similar to those in the district; the proposed bronze color was chosen to understate the presence of the fence. The applicant plans to install 6-ft high wood fences around the perimeter per regulations.

2.8 Paving materials and patterns should respect traditional patterns on the block.

A curved paved walkway will connect the garage with driveway with the front entrance.

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible.

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms. N/A

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts. N/A

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district.

The proposed contemporary cottage is harmonious in form, material and scale with the character of the block and the district. The house echoes the design of the contemporary cottage built in the district. As discussed above the form of the proposed building is such that it has a complexity of design which is harmonious with the block and district. It blends in with the streetscape by minimizing its impact on the streetscape. The proposed material is hardiplank horizontal siding and metal roofs – both of these materials are found throughout the district and the block. The height of the house is variable and the façade features variable setbacks. The mass of building is broken up by a complexity of design which includes projections and recessions and architectural features such as porches and secondary roofs. The scale of the proposed house is in keeping with the area. According to the Property Appraiser: the adjoining house to the south has a total area of 4550 sq ft of which 2,869 is listed as the living area and one of the Gasparilla Inn Cottages across the street has an area of 3321 sq ft. of which 2,611 is listed as the living area.

4.2 Align the façade of the building with the historic setbacks of the block or district.

The façade of the proposed building aligns with the historic setbacks of the block or district.

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area.

The mass and scale of the building is similar to the structures in the block and surrounding area. As already noted the building features a complexity of design that minimizes its impact and increases its harmony with its surroundings.

4.4 Building and roof forms should match those used historically.

As discussed the building and roof forms match those used historically.

4.5 Use similar building materials to those used historically for all major surfaces.

The roof material is metal and the wall material is horizontal (hardi plank) siding. The windows are multiple light windows. These are very similar to those used historically.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row.

The window sizes and proportions are similar to those used historically. To create larger surfaces of glass, the proposal combines several standard windows in a row.

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

- 1) On the basis of staff analysis approve the project as presented by the applicant.
- 2) Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project as approved is in compliance with Chapter 22 of the LDC and the design guidelines for new construction.

COA 2013-00089



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>COA2013-00089</u>	Designation No. <u>HD90 05 01</u>	Date Filed:
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<input type="checkbox"/> Contributing	<input checked="" type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: GASPARILLA Inn Dormitory-EMPLOYEE SIGN

Location: 777 7th St Boca Grande FL 33921

STRAP No.: 14-43-20-01-00057.0030

Name of Applicant or Agent*: LEO PFLIGER CONSTRUCTION INC

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 339 N. Oxford Drive

City, State, Zip: ENGLEWOOD FL 34223

Phone Number: 941-474-8386 Fax Number: 941-473-0022

Email Address: lpcibldr@comcast.net

Name of Historic District (if applicable):

Check all that apply: ☐ Building ☐ Archaeological Site ☒ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☐ Alteration ☐ Demolition ☐ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: Install 4'5" SIGN(HIGH) Built according to Plan
Set. SIGN WILL BE INSTALLED FACING 8th St at an
ANGLE AS NOTED ON PLANS.

Change in Use: ☒ No ☐ Yes

If yes, explain.

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☒ No ☐ Yes

If yes, explain.

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

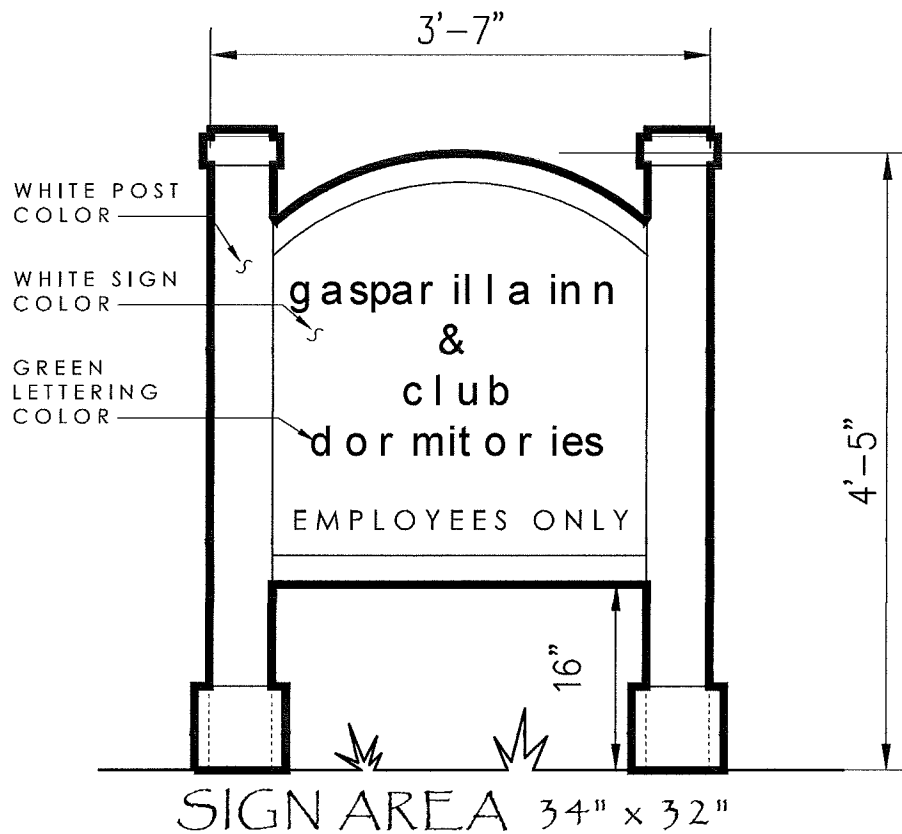
If yes, explain.

***** FOR STAFF USE ONLY *****	
Date Issued:	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED*
Certified by:	
*Explanation attached	

RECEIVED
AUG 13 2013

COMMUNITY DEVELOPMENT

JULY 8, 2013
REVISION AUGUST 1, 2013



DESIGN DESCRIPTION:

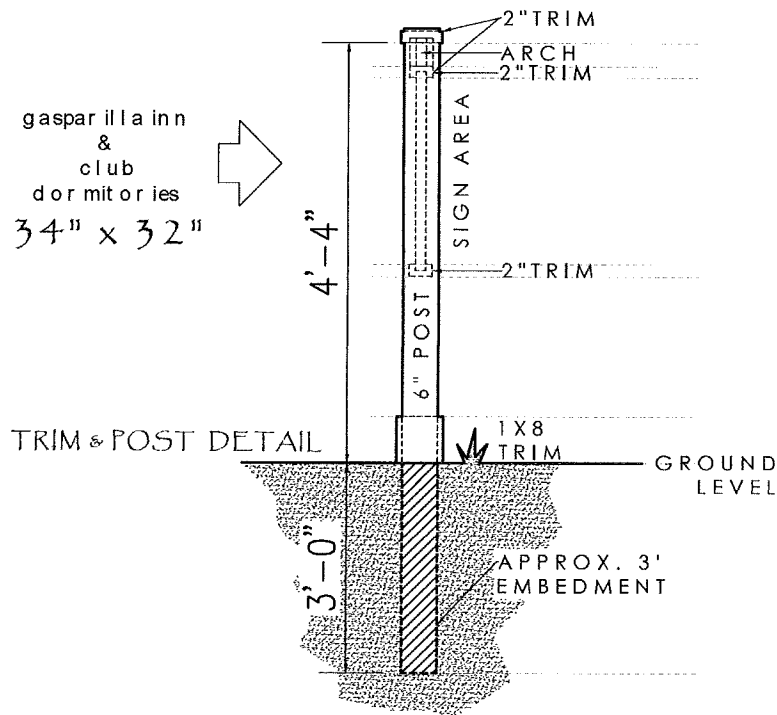
SCALE 1" = 1'-0"
SEE SIGN DETAIL PLAN FOR SPECS

DFL
DESIGN FOR LIFE

CUSTOM ARCHITECTURE - DESIGN - CONSULTING - PLANNING

P.O. BOX 1408 BOCA GRANDE FL
941.524.6374

SCALE: 3/8" = 1'-0" ~ FLOOR PLAN



P.O. BOX 1408 BOCA GRANDE FL
941.524.6374



SIGN EMPLOYEES ONLY
DORMITORY

**BOCA GRANDE HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00089 Gasparilla Inn Dormitories – “Employees Only” sign 777 7th St E Boca Grande

HEARING DATE: September 11, 2013

SUMMARY AND STAFF ANALYSIS

The proposal calls for the installation of a sign to provide notice to the public that the Gasparilla Inn Dormitories are for “Employees Only”. The subject property includes a several buildings between 7th and 8th Streets that serve as dormitories for the Inn’s employees. The property is a noncontributing property in the Boca Grande historic district. The property’s STRAP number is: 14 43 20 01 00057 0030. The sign will be located by the 8th St driveway entrance to the dormitory complex. It will be setback roughly 20-ft from the property line along 8th St. The sign will be painted; it will be a roughly 3-ft 1-in by 2-ft 8-in sign board supported by two posts each roughly 4-ft 5-in high. The sign will not be lit. Staff analyzed the project for compliance with the design guidelines of the Boca Grande Historic District.

Design Guidelines for the Boca Grande Historic District

In evaluating the design guidelines also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure. N/A

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings. N/A

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block. N/A

1.6 Maintain the traditional proportions of glass in building facades. N/A

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances. N/A

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features. N/A

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces. N/A

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade. N/A

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback. N/A

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges. N/A

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found. N/A

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms.

The proposed sign is relatively small (3-ft 1-in by 2-ft 8-in sign board supported by two posts each roughly 4-ft 5-in high) and serves the purpose of identifying the dormitories as residences available only to the employees of the Gasparilla Inn. The sign will not be lit. It will be set back roughly 20ft from the property line along 8th St. It is compatible with the size, scale and character of the stucco dorm buildings and their environment.

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts. N/A

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district. N/A

4.2 Align the façade of the building with the historic setbacks of the block or district. N/A

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area. N/A

4.4 Building and roof forms should match those used historically. N/A

4.5 Use similar building materials to those used historically for all major surfaces. N/A

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row. N/A

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Design Guidelines of the Boca Grande Historic District and Chapter 22 of the LDC.

GASPARILLA INN DORMS
"EMPLOYEE ONLY" SIGN



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APPROXIMATE LOCATION OF THE
PROPOSED SIGN

↓
N

COA2013-00089 Gasparilla Inn Dormitories – 777 7th St. E. Boca Grande



8th St. entrance to dorm compound

Proposed sign to be located near the building corner



Proposed location of sign and 8th St. streetscape

COA2013-00090



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>COA2013-00090</u>	Designation No. <u>HD90 05 01</u>	Date Filed:
------------------------------	-----------------------------------	-------------

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: GASPARILLA Inn & CLUB Marina- SIGN

Location: 891 E. 8th Street BOCA GRANDE FL 33921

STRAP No.: 14-43-2D-01-0005B-0130

Name of Applicant or Agent*: LEO PFLIGER CONSTRUCTION INC

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 339 N. Oxford Drive

City, State, Zip: ENGLEWOOD FL 34223

Phone Number: 941-474-8386 Fax Number: 941-473-0022

Email Address: 1PCIBLDG@comcast.net

Name of Historic District (if applicable):

Check all that apply: ☐ Building ☐ Archaeological Site ☒ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☐ Alteration ☐ Demolition ☐ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: Install 5'1" HIGH SIGN. Built according to attached Plan set. Install SIGN SETBACK 7' from front of PROPERTY LINE IN A PLANKER BOX.

Change in Use: ☒ No ☐ Yes

If yes, explain.

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☐ No ☐ Yes

If yes, explain.

Has a development order or exemption been applied for prior to or concurrent with this application? ☐ No ☐ Yes

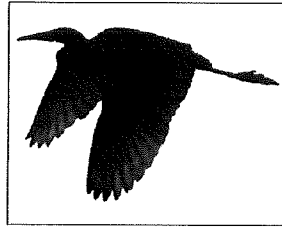
If yes, explain.

***** FOR STAFF USE ONLY *****			
Date Issued:		<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by:			
*Explanation attached			

RECEIVED
AUG 13 2013

COMMUNITY DEVELOPMENT

JULY 8, 2013
REVISION AUGUST 1, 2013



MARINA BIRD LOGO



DESIGN DESCRIPTION:

SCALE 1"=1'-0"
SEE SIGN DETAIL PLAN FOR SPECS

DFL
DESIGN FOR LIFE

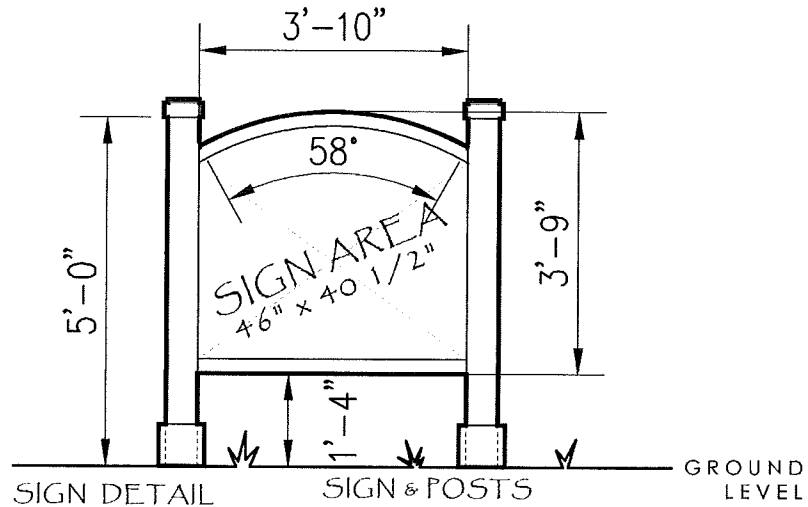
CUSTOM ARCHITECTURE - DESIGN - CONSULTING - PLANNING

P.O. BOX 1408 BOCA GRANDE FL
941.524.6374

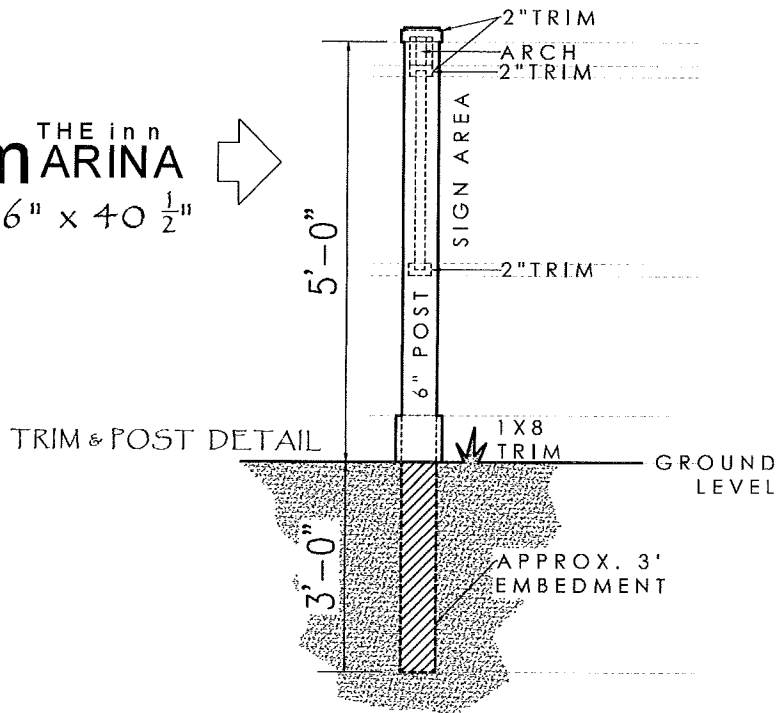
AUGUST 1, 2013

SIGN DETAIL PLAN

SCALE 3/8" = 1'-0" ~ FLOOR PLAN



THE inn
MARINA
46" x 40 1/2"



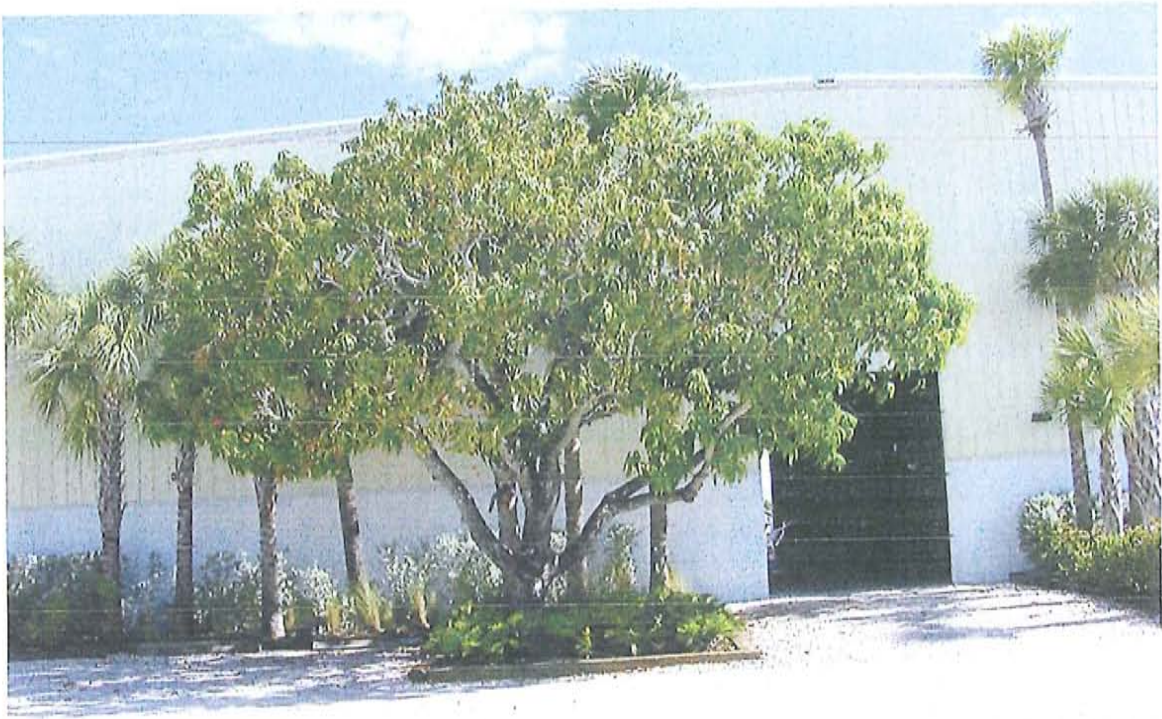
DESIGN DESCRIPTION:

GASPARILLA INN ~ INN MARINA SIGN
46"X 40 1/2" SIGN BOARD W/ (2) 6X6" POSTS
(DECORATIVE CAPITALS & BASE.)
6X6" POSTS TO BE MIN. EMBEDMENT DEPTH
OF APPROX. 3' INTO GROUND.

DFL
DESIGN FOR LIFE

CUSTOM ARCHITECTURE - DESIGN - CONSULTING - PLANNING

P.O. BOX 1408 BOCA GRANDE FL
941.524.6374



MARILSA SIGU

BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00090 Gasparilla Inn Marina Sign located at 891 8th ST E Boca Grande Fl 33921

HEARING DATE: September 11, 2013

SUMMARY AND STAFF ANALYSIS

The proposal calls for the installation of a sign identifying the Gasparilla Inn Marina. The property is a contributing property in the Boca Grande Historic District. The STRAP number is 14 43 20 01 00058.0130. The sign will be located in front of the Marina building on 8th St and setback roughly 7ft from the property line along 7th St. The sign will be centered in front a planter. The sign will be painted; it will be a roughly 3-ft 10 in by 3-ft 9-in sign board supported by two posts each roughly 5-ft 1-in high. The sign will not be lit. Staff analyzed the project for compliance with the Secretary of the Interior's Standards.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the project also refer to the discussion above.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The installation of a sign will require minimal changes to the characteristics of the building and its environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The original character of the property will be retained and preserved. The sign will be relatively low and understated. It will be a painted sign. There will be no removal of historic materials or alteration of features and spaces that characterize the property.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. N/A
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence. N/A
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

The proposed sign will be compatible with the architectural features of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the proposed new sign is removed, the form and integrity of the property and its environment will remain unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the LDC.

GAIPARILLA INN MARINA SIGN



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APPROXIMATE LOCATION OF THE SIGN

N
1

COA2013-00090 Gasparilla Inn Marina – 891 8th St. E. Boca Grande



Proposed location of the sign

8th St. Looking West



8th St. looking East



Marina



Marina Office sign

INN MARINA SIGN LOCATION

P.O. BOX 1088
BOCA GRANDE, FLORIDA 33921

CHARACTER & INTENDED USE STATEMENT:
THE CHARACTER AND INTENDED USE OF THIS SITE IS
BOAT RACK STORAGE FACILITY AND MARINA.

	PROPOSED CONCRETE
--	-------------------

 PROPOSED DOCK PROPOSED GRAVEL

APPROVED VARIANCES

1 ROADWAY LANDSCAPE BUFFERS SEC. 10-416 (D) (3)

2 PARKING SPACE CALCULATIONS SEC. 10-260; 34-2020 (4) J. (3.)

3 REFUSE & SOLID WASTE FACILITIES LOCATED OFF SITE
SEC. 10-261

4 NATURAL WATERWAY BUFFER SEC. 10-416(D) (9)

5 SETBACK FROM STREET SEC. 34-2192

6 HEIGHT OF FENCE SEC. 34-1744(b)(2)a,ii; OPEN MESH SCREENING
HEIGHT OF 3.5' TO 3' SOLID WALL WITHIN 25 FEET OF A BODY OF

 HEIGHT OF FENCE SEC. 34-1744(B)(2)A,iii; 8' HIGH CMU WALL WHERE OTHERWISE REQUIRES A MAXIMUM 6' HIGH WALL.

8 BACKOUT PARKING VARIANCE # BZA-88-281

INLET LEGEND

(A) DBI TYPE C
H-20 TRAFFIC GR
TOP GRATE EL.=
E. INV. EL. =1.00

DBI TYPE C
H-20 TRAFFIC GR
TOP GRATE EL.=
N. INV. EL. =1.00

C OUTFLOW UNIT
DBI TYPE C (MOD
TOP GRATE EL.=
E. WEIR EL.=3.50
W. INV. EL. =1.00

DOCK /
(SEE FDEP PERMIT
#36-0295420-002)

30"x24" WHITE SIGN
WITH BLACK TEXT

8'x5' PICNIC TABLE &
TRASH RECEPTACLE

NOTE:
END OF ROAD MARKERS TO
BE COORDINATED W/ CDOT &

revisions:

SIGN PLACEMENT PLAN

SCALE: 1" = 20'-0"

NOTE:
INFORMATION TAKEN FROM SURVEY BY "GIFFELS-WEBSTER ENGINEERS, INC."
DATED 03/10- SEE SURVEY FOR COMPLETE SITE DETAILS

date: 4-08-13
job no. 2161-2

SPP

drawing:

MARINA SIGN PLACEMENT PLAN FOR
GASPARILLA INN
BOCA GRANDE, FLORIDA LEE COUNTY

LEE COUNTY

architect
L. a krebs, llc
A 26002462
Edgewater Ctr. suite 4A
1460 McCall Rd. S
Englewood, Fla. 34223
(941) 475-7327

COA 2013-00091



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>COA2013-00091</u>	Designation No. <u>HD 900501</u>	Date Filed:
------------------------------	----------------------------------	-------------

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: GASPARILLA INDO TENNIS CLUB SIGN
 Location: 5th St West / Gilcrest Ave. Boca Grande FL 33921
 STRAP No.: 14-43-20-00-00002.0000
 Name of Applicant or Agent*: LED PFLIGER CONSTRUCTION INC.
 (*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)
 Address: 339 N. Oxford Drive
 City, State, Zip: ENGLEWOOD FL 34223
 Phone Number: 941-474-8386 Fax Number: 941-473-0022
 Email Address: lpcibldr@comcast.net

Name of Historic District (if applicable): _____

Check all that apply: ☐ Building ☐ Archaeological Site ☒ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☐ Alteration ☐ Demolition ☐ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: Install 5'1" HIGH SIGN BUILT ACCORDING to Attached Plan Set. TO BE installed centered in front of building.

Change in Use: ☒ No ☐ Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☒ No ☐ Yes

If yes, explain. _____

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

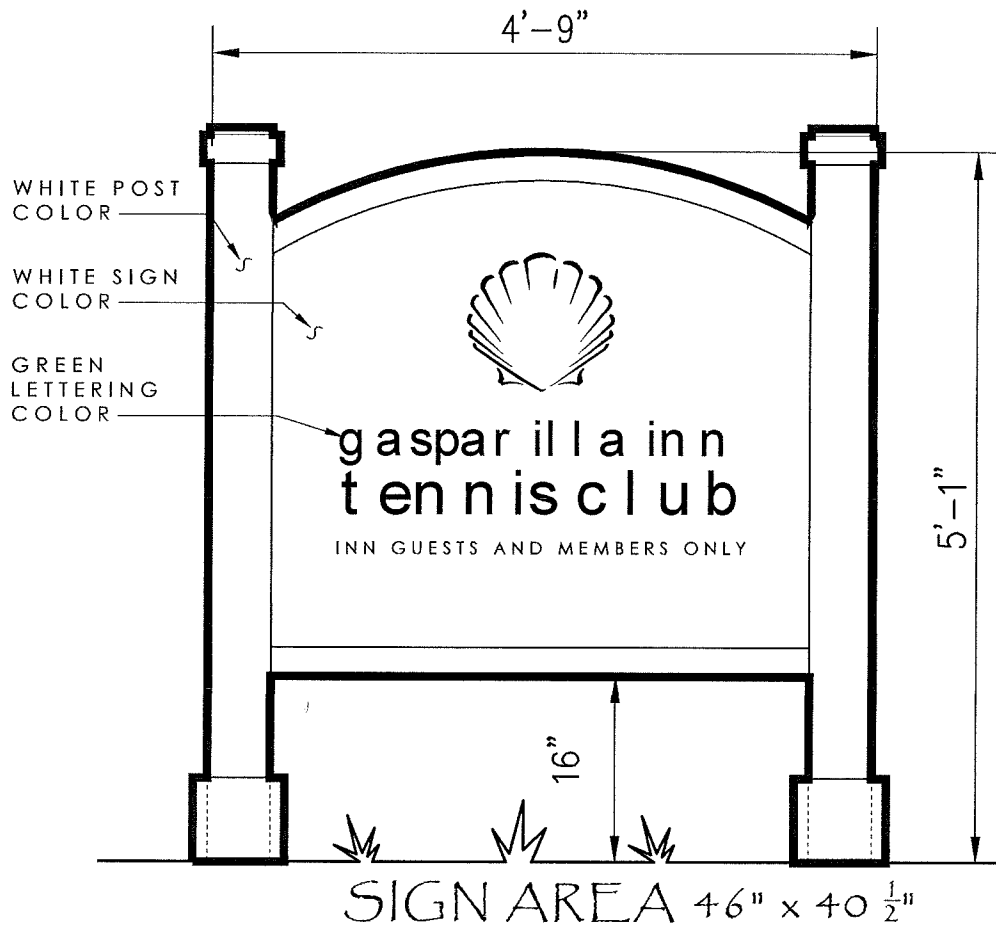
If yes, explain. _____

***** FOR STAFF USE ONLY *****			
Date Issued:		<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by:			
*Explanation attached			

RECEIVED
AUG 13 2013

COMMUNITY DEVELOPMENT

JULY 8, 2013
REVISION AUGUST 1, 2013



DESIGN DESCRIPTION:

SCALE 1"=1'-0"

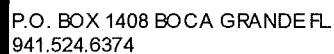
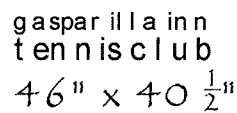
SEE SIGN DETAIL PLAN FOR SPECS

DFL
DESIGN FOR LIFE

CUSTOM ARCHITECTURE - DESIGN - CONSULTING - PLANNING

P.O. BOX 1408 BOCA GRANDE FL.
941.524.6374

SCALE: 3/8" = 1'-0" ~ FLOOR PLAN





TENNIS CLUB SIGN

BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00091 Gasparilla Inn Tennis Club Sign located at 5th St W and Gilchrist Ave.

HEARING DATE: September 11, 2013

SUMMARY AND STAFF ANALYSIS

The proposal calls for the installation of a sign identifying the Gasparilla Inn Tennis Club. The property is part of the Gasparilla Inn complex, which is a contributing property in the Boca Grande historic district. STRAP number: 14 43 20 00 00002 0000. The sign will be located in front of the Tennis Club building and setback roughly 75ft from the front property line. The sign will be centered in front of both the Tennis Club building and its central landing area for the two exterior stairs. The sign will be painted; it will be a roughly 3-ft 10 in by 3-ft 9-in sign board supported by two posts each roughly 5-ft 1-in high. The sign will not be lit. Staff analyzed the project for compliance with the Secretary of the Interior's Standards.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the project also refer to the discussion above.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The installation of a sign will require minimal changes to the characteristics of the building and its environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The original character of the property will be retained and preserved. The sign will be relatively low and understated. It will be a painted sign. There will be no removal of historic materials or alteration of features and spaces that characterize the property.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. N/A

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence. N/A

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

The proposed sign will be compatible with the architectural features of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the proposed sign is removed, the form and integrity of the property and its environment will remain unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the LDC.

GASPARILLA INN TENNIS CLUB SIGN



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→ APPROXIMATE LOCATION OF THE SIGN

COA2013-00091 Gasparilla Inn Tennis Club – 5th St. W at Gilchrist Ave.

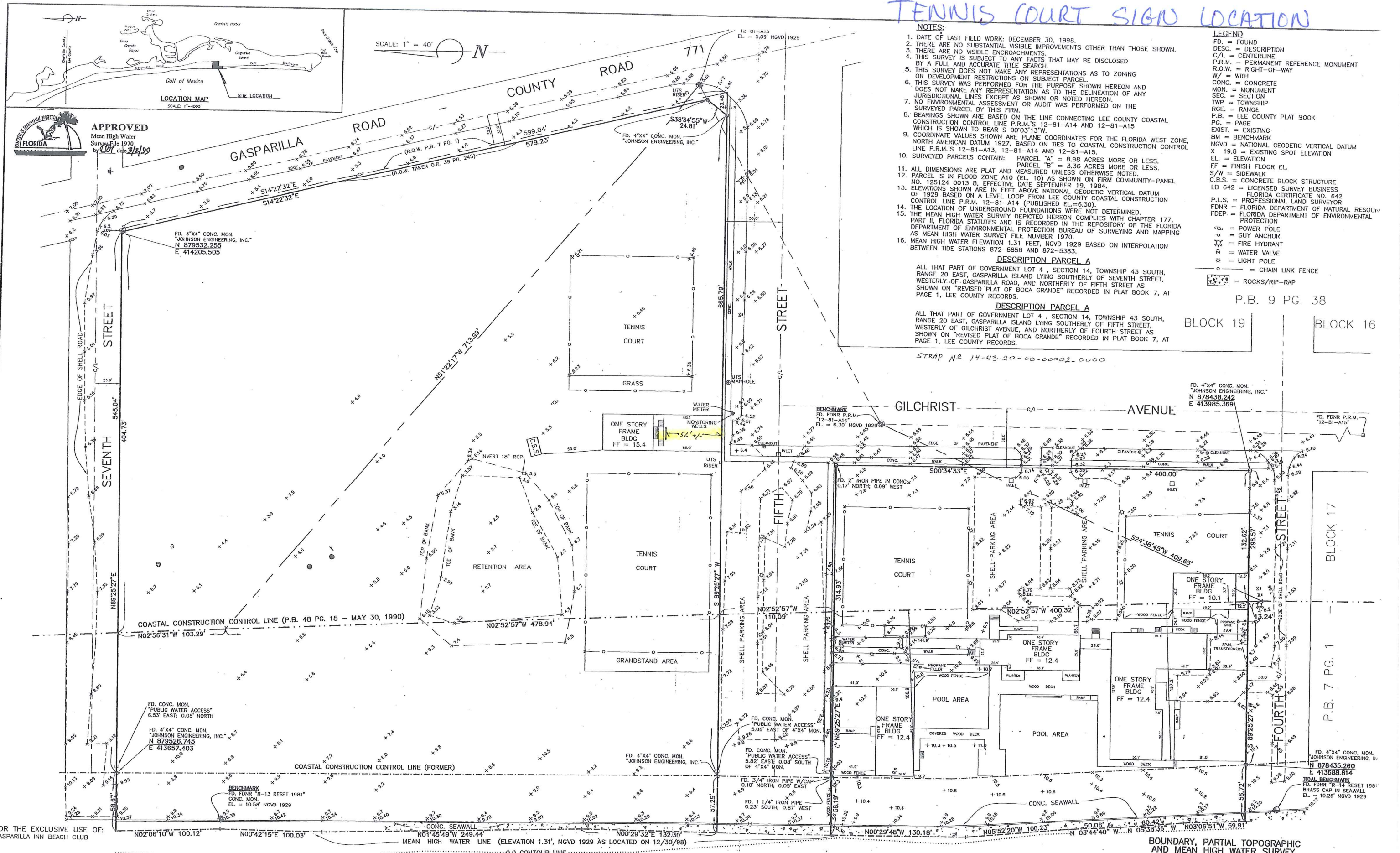


Location of the proposed sign centered and in front of steps.



View of the proposed Location from 5th St. E.

TENNIS COURT SIGN LOCATION



COA 2013-00093



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>2013-00093</u>	Designation No. <u>14D 90 05 01</u>	Date Filed: 8/28/13
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<input type="checkbox"/> Contributing	<input checked="" type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: van Beuren privacy wall repair

Location: 1340 13th Street, Boca Grande, Florida 33921

STRAP No.: 14-43-20-01-00038.0020

Name of Applicant or Agent*: Tom Shaw, Senior Designer, Giffels-Webster Engineers, Inc.

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 900 Pine Street, Suite 225

City, State, Zip: Englewood, Florida 34223

Phone Number: 941-475-7981

Fax Number: 941-474-4285

Email Address: tshaw@gweffl.com

Name of Historic District (if applicable): Boca Grande

Check all that apply: ☐ Building ☐ Archaeological Site ☒ Object ☒ Landscape Feature

Project Description (describe all work proposed):

☒ Alteration ☐ Demolition ☐ New Construction ☒ Reconstruction ☒ Rehabilitation ☐ Relocation

Narrative: Replace privacy wall along Gasparilla Road and repair wall on 13th street

Change in Use: ☒ No ☐ Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☐ No ☒ Yes

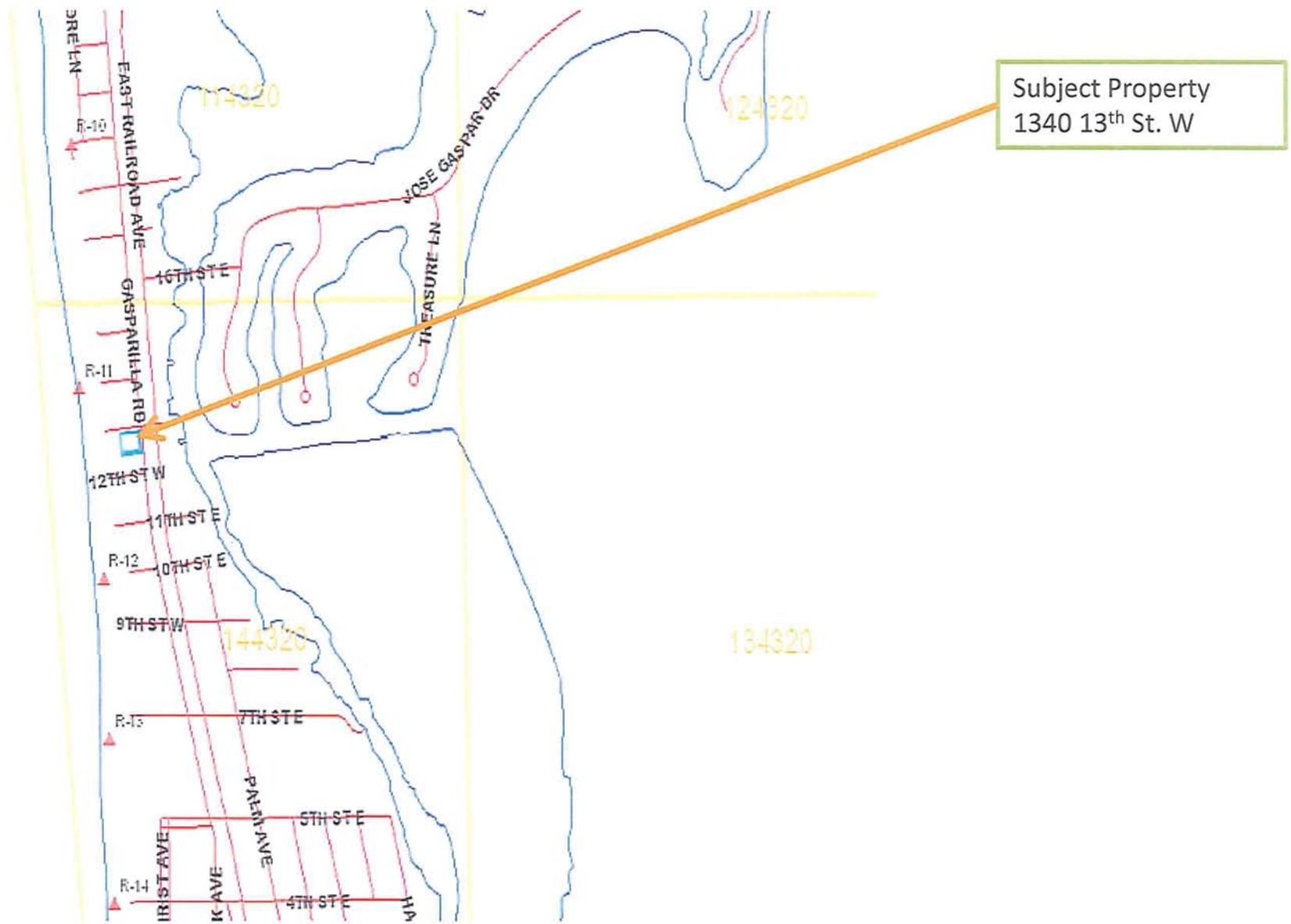
If yes, explain. Lower wall to 6' in height from adjacent grade

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

If yes, explain. _____

***** FOR STAFF USE ONLY *****		
Date Issued:	<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by:		
*Explanation attached		

COA2013-00093 Vanbeuren Wall – 1340 13th St. W Boca Grande



COA2013-00093 Vanbeuren Wall – 1340 13th St. W Boca Grande



Subject Property
1340 13th St. W

BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 00093 Van Beuren 1340 13th St W Boca Grande Fl 33921

HEARING DATE: September 11, 2013

SUMMARY AND STAFF ANALYSIS

The proposal calls for the replacement of an existing fence wall along Gasparilla Rd and the repair of a fence wall along 13th St W. The subject property is a noncontributing property in the Boca Grande historic district. The property's STRAP number is: 14 43 20 01 00038 0020. The property is located on the south west corner of Gasparilla Rd and 13th St. Staff analyzed the project for compliance with the design guidelines of the Boca Grande Historic District.

Currently along Gasparilla Rd the subject property has a roughly 106-ft long and +6-ft high wall fence with a stucco finish. The proposal calls for removing the existing fence due to its structural problems and replacing it with a similar fence. The proposed fence would be 6-ft high and feature a smooth stucco finish. Staff notes that tall wall fences are commonly found along Gasparilla Rd. as they provide a buffer from the traffic noise. There would be +/- 1-ft 4-in wide columns for every roughly 19-ft of linear wall. At the south end of the existing wall is an 8-ft wide wood gate with double doors. The proposal calls for preserving the wood gate but adjusting its height to match the proposed height of the new wall (6-ft).

On the north or front of the subject property, along 13th St there is a smooth stucco fence wall roughly +3-ft high that the proposal calls to be repaired.

Design Guidelines for the Boca Grande Historic District

In evaluating the design guidelines also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure. N/A

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings. N/A

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block. N/A

1.6 Maintain the traditional proportions of glass in building facades. N/A

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances. N/A

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

The proposed fence along Gasparilla Rd is very similar to the existing fence. It will be 6-ft high featuring a smooth stucco finish. The existing wood gate at the south end of the fence will be preserved with its height adjusted to match the height of the wall fence. The proposed fence as well as the other existing fences with stucco finishes closely relate to the material and finish of the main house and complement it. Along

Gasparilla Rd there are many residences featuring 6-ft high fence walls. The proposed replacement of the existing fence with the 6-ft high fence is in keeping with fence patterns found along Gasparilla Rd.

The existing fence along 13th St W is a low fence that complements the existing house. The fence is in keeping with the design of the house and staff recommends approval of the proposed repairs in order to preserve it.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces. N/A

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade. N/A

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback. N/A

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges. N/A

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found. N/A

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms.

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts. N/A

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district. N/A

4.2 Align the façade of the building with the historic setbacks of the block or district. N/A

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area. N/A

4.4 Building and roof forms should match those used historically. N/A

4.5 Use similar building materials to those used historically for all major surfaces. N/A

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row. N/A

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Design Guidelines of the Boca Grande Historic District and Chapter 22 of the LDC.



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→ 2

COA2013-00093 Van Beuren Wall – 1340 13th St. W Boca Grande



Wall along Gasparilla Rd. that is proposed for Replacement

Wall along Gasparilla Rd. that is proposed for Replacement



Wall along 13th St. that is proposed to be repaired

Structural Plans For Privacy Wall Repair van Beuren Residence

1340 W. 13th Street
Boca Grande, Florida

INDEX OF DRAWINGS

- 1 SITE PLAN & GENERAL NOTES
- 2 EVALUATION OF PRIVACY WALL
- 3 DEMOLITION AND REPAIR PLANS

ATTENTION IS DIRECTED TO THE FACT THAT
THESE DRAWINGS MAY HAVE BEEN REDUCED
IN SIZE BY REPRODUCTION. REFER TO SCALE
BAR INCLUDED ON EACH SHEET WHEN
OBTAINING SCALED DATA.

SOIL COMPACTION:

Foundations were designed for an allowable bearing pressure of 2,000 psf. Top soil shall be removed to a minimum depth of one foot over the entire building area. These areas should be cleared and grubbed of any vegetation. The exposed surface should then be compacted to a depth of (1) foot below the cleared and grubbed surface to a minimum 98% of the standard proctor density as determined in accordance with ASTM D-698. After densification of natural soils, fill material to finished grade shall be placed with a maximum lift of 12" and compacted to a minimum 98% of the standard proctor density. Fill material shall be clean to slightly silty fine sand, free of organic material.

MATERIALS:

CONCRETE:

Provide mix designed by a recognized testing laboratory to achieve a strength at 28 days as listed below with a plastic and workable mix:

5000 psi for all structural components below Base Flood Elevation.
3000 psi or stronger is acceptable for structural components above Base Flood Elevation.

Materials used to produce concrete and admixtures for concrete shall comply with ACI 318. Concrete shall comply with all requirements of ASTM C 150, ASTM C 595, or ASTM C 845. Concrete shall comply with all the requirements of ASTM Standard C94-74A for measuring, mixing, transporting, etc. concrete tickets shall be time stamped when concrete is batched, the maximum time allowed from the time the water is added until it is deposited in its final position shall not exceed one and one half (1½) hours. If for any reason there is a longer delay than that stated above, the concrete shall be discarded. It shall be the responsibility of the testing lab to notify the owner's representative and the contractor of any non-compliance with the above. Concrete testing to be paid for by the contractor. Admixtures may be used only with the approval of the engineer. During hot weather, proper attention shall be given to the ingredients, production methods, handling, placing, protection and curing to prevent excessive concrete temperatures or water evaporation that may impair required strength or serviceability of the member or structure as per 1906.5 and 1906.7 of the Florida Building Code.

REINFORCING STEEL:

Reinforcing shall be ASTM A615 Grade 60, free from oil, scale and rust, and placed in accordance with the typical bending diagram and placing details and ACI 318 Standards and Specifications. Reinforcement shall be deformed reinforcement, except that plain reinforcement shall be permitted for spirals or tendons.

MASONRY:

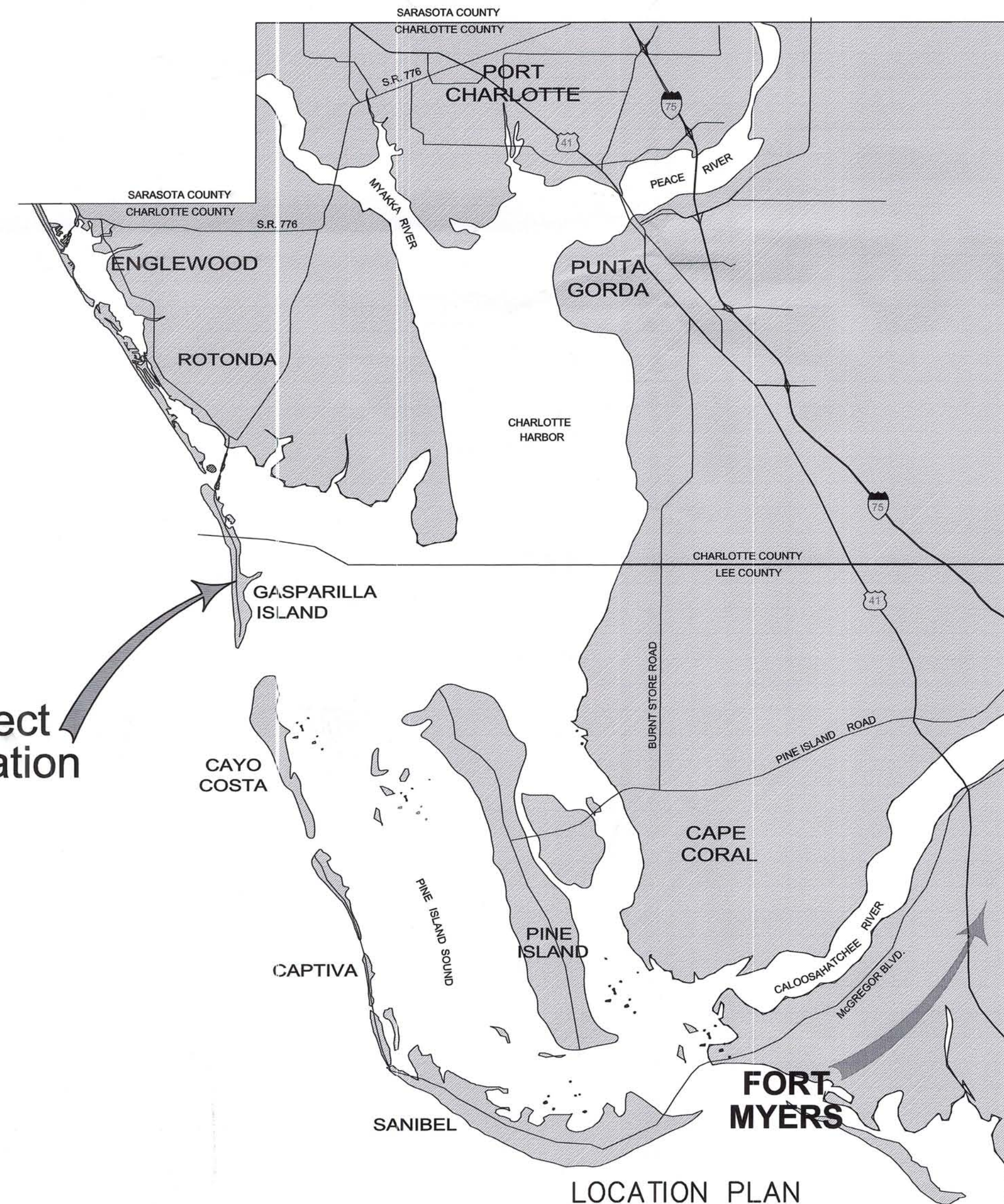
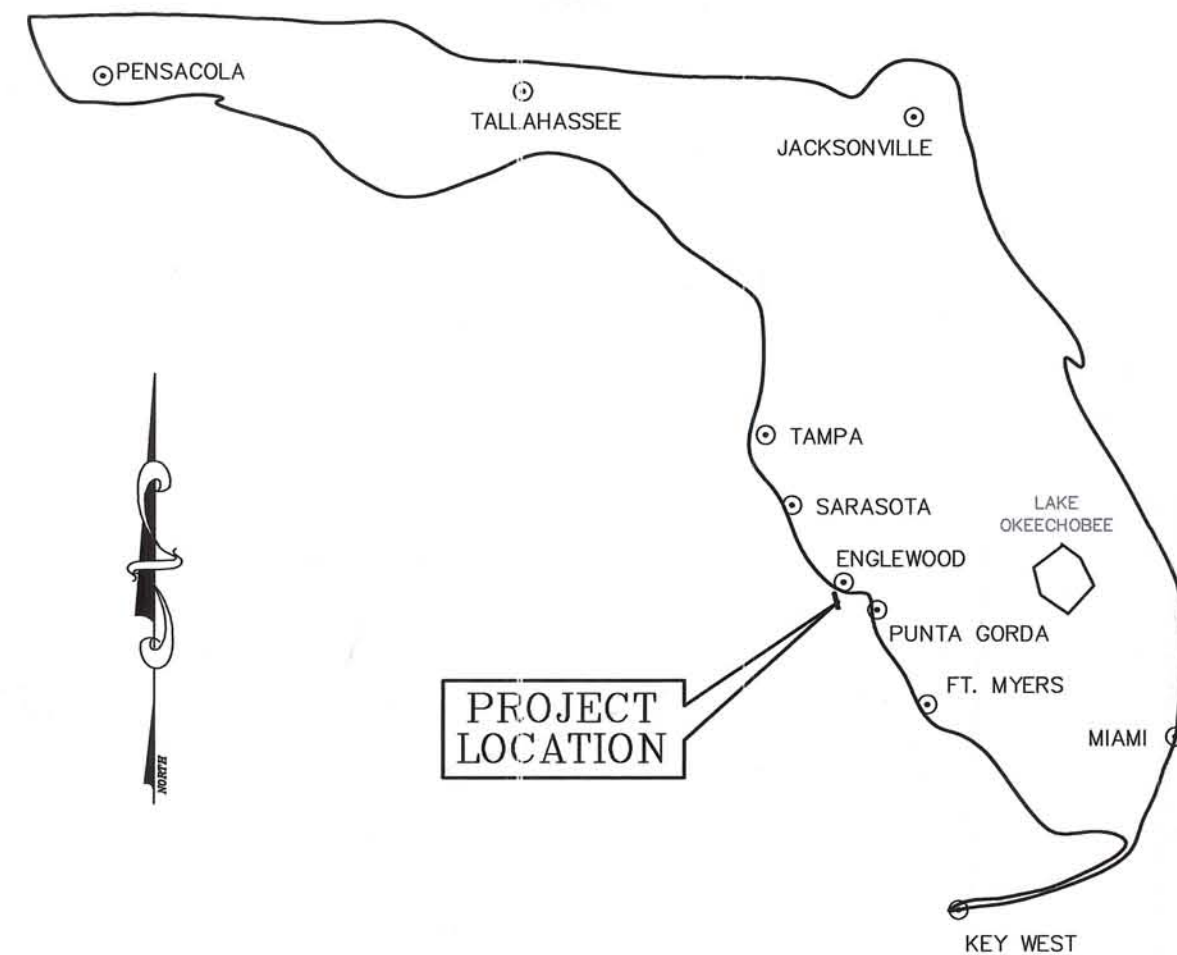
All Masonry work shall be done in accordance with "Building Code Requirements for Masonry Structures (ACI 530)" & "Specifications for Masonry Structures (ACI 530.1)"

1. Concrete masonry units shall be Grade "N" Hollow Load bearing Units, conforming to ASTM C-90 with a minimum compressive strength (f'm) of 1500 psi.
2. Mortar: Type M or S and shall conform to ASTM C-270.
3. Grout or pea-gravel concrete with an ultimate compressive strength of 3000 psi at 28 days, except for those locations as marked or noted on the structural drawings. Corastix mix shall conform to ASTM C-476.
4. Air-Entraining mixtures or hydrated lime containing air-entraining mixtures are prohibited because such admixtures will reduce the shear, tensile and compressive strength of the masonry. Calcium chloride is not permitted in mortar or grout in which reinforcement, metal ties, or anchors are embedded because of excessive corrosion.

DESIGN CRITERIA:

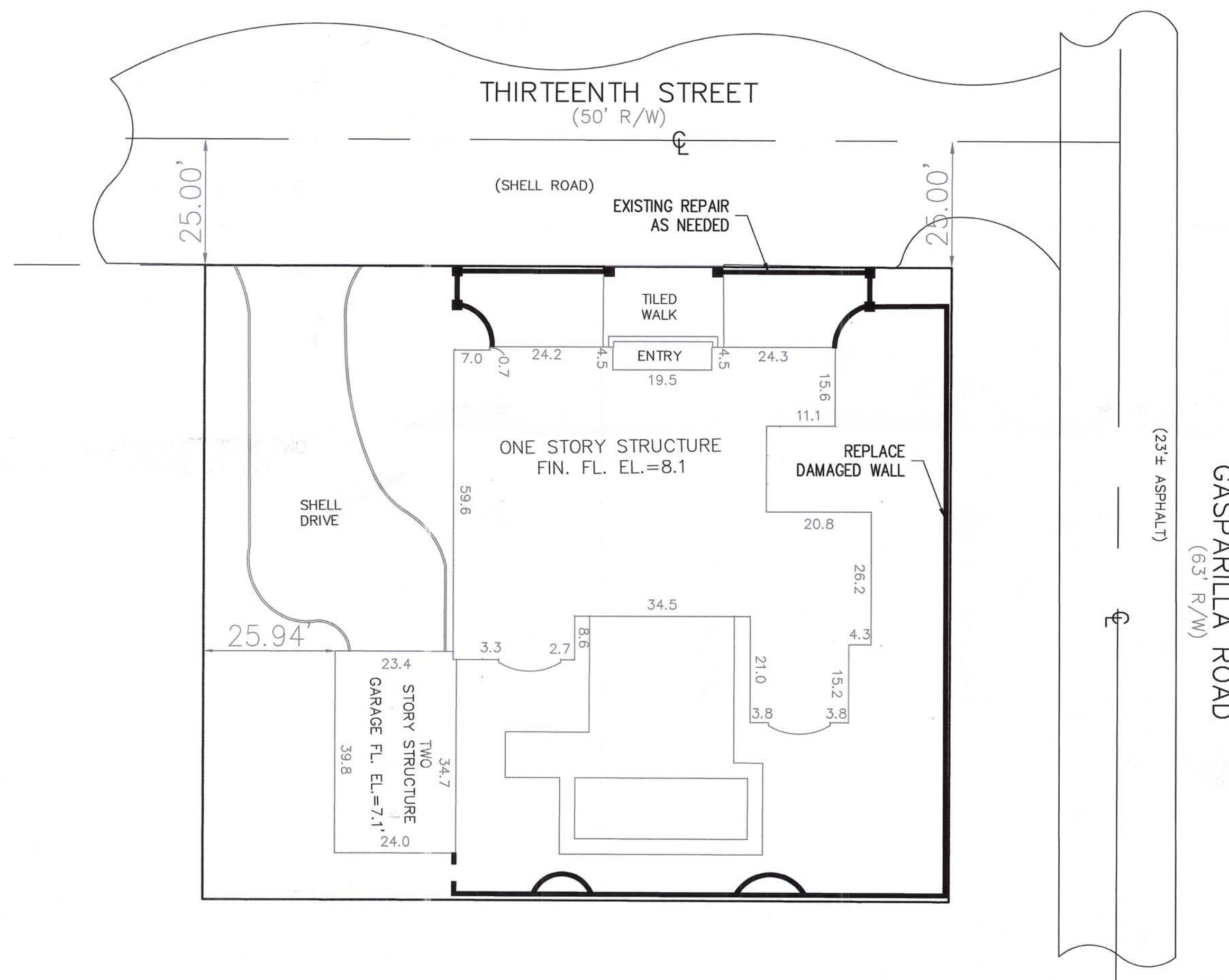
Florida Building Code, 2010 Edition
ASCE 7-10

1. Wind Velocity = 160 M.P.H.
Internal Pressure Coefficient = ±0.00 (Open Structure)
Category II Structure (Table 1-1; ASCE 7-10)
Wind Importance Factor (I) = 0.77
Exposure D



Project
Location

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF THESE DRAWINGS,
IT REMAINS THE RESPONSIBILITY OF THE OWNER AND / OR BUILDER TO VERIFY ALL CONDITIONS,
SPECIFICATIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION,
PROCUREMENT OF MATERIALS OR SITE DEVELOPMENT FOR THIS STRUCTURE.



EXISTING SITE PLAN

SCALE: 1" = 20'
SITE PLAN & SURVEY PROVIDED
BY DMK ENGINEERING

PREPARED BY

GIFFELS-WEBSTER ENGINEERS, INC.
900 PINE STREET, SUITE 225
ENGLEWOOD, FLORIDA 34223
(941) 475-7981

GWE GIFFELS-WEBSTER
ENGINEERS, INC.

VAN BEUREN RESIDENCE
SHEET: 1 OF 3
GWE NO. 5287.20

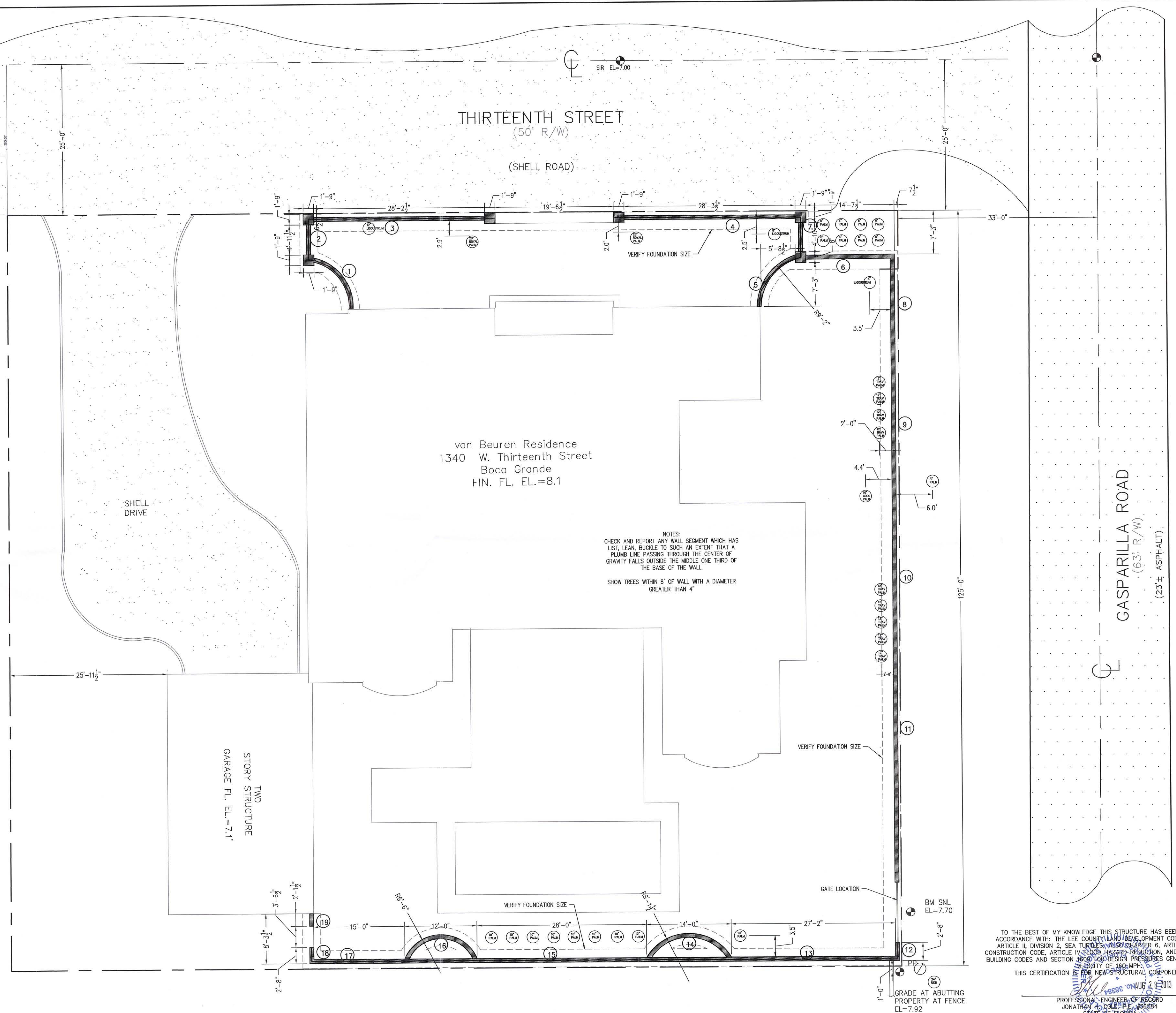
TO THE BEST OF MY KNOWLEDGE THIS STRUCTURE HAS BEEN DESIGNED IN
ACCORDANCE WITH: THE FLORIDA BUILDING CODE, CHAPTER 14,
ARTICLE II, DIVISION 25 (SEA TUBES); ALSO CHAPTER 6, ARTICLE III COASTAL
CONSTRUCTION CODE, ARTICLE IV FLOOD HAZARD REDUCTION, AND THE 2010 FLORIDA
BUILDING CODES AND SECTION 1609 FOR DESIGN PRESSURES GENERATED BY A WIND
VELOCITY OF 160 M.P.H.
THIS CERTIFICATION IS FOR NEW STRUCTURAL COMPONENTS ONLY.

PROFESSIONAL ENGINEER OF RECORD
JONATHAN H. COLE, P.E. #36384
STATE OF FLORIDA

WALL SEGMENT	ABUTTING PROPERTY ELEVATION AT WALL 12" BEYOND PROPERTY CORNER @ 7.92 (BASE LINE) NOTE: ELEVATIONS IN NAVD 88 BASED ON 1340 W. THIRTEENTH STREET FINISH FLOOR @ 8.1	WALL HEIGHT FROM GRADE @ STATION #	WALL HEIGHT ABOVE BASE LINE	CONDITION OF WALL	SOIL OR ROOT FAILURE
1	7.34	6.76	REPLACE REPAIR	GOOD	YES NO
2	4.09	3.17	REPLACE REPAIR	GOOD	YES NO
3	4.02	3.1	REPLACE REPAIR	GOOD	YES NO
4	4.06	3.14	REPLACE REPAIR	GOOD	YES NO
5	3.97	3.05	REPLACE REPAIR	GOOD	YES NO
6	7.31	6.39	REPLACE REPAIR	GOOD	YES NO
7	7.30	6.38	REPLACE REPAIR	GOOD	YES NO
8	7.30	6.38	REPLACE REPAIR	GOOD	YES NO
9	7.27	6.35	REPLACE REPAIR	GOOD	YES NO
10	7.26	6.34	REPLACE REPAIR	GOOD	YES NO
11	7.25	6.33	REPLACE REPAIR	GOOD	YES NO
12	7.28	6.36	REPLACE REPAIR	GOOD	YES NO
13	7.29	6.37	REPLACE REPAIR	GOOD	YES NO
14	7.26	6.34	REPLACE REPAIR	GOOD	YES NO
15	7.25	6.33	REPLACE REPAIR	GOOD	YES NO
16	7.26	6.34	REPLACE REPAIR	GOOD	YES NO
17	7.26	6.34	REPLACE REPAIR	GOOD	YES NO
18	8.64	7.72	REPLACE REPAIR	GOOD	YES NO
19	8.68	7.76	REPLACE REPAIR	GOOD	YES NO

BASED ON THE 2010 FLORIDA BUILDING CODE, EXISTING BUILDING, CHAPTER 2 DEFINITION, THE PRIVACY WALL SURROUNDING 1340 13TH STREET BOCA GRANDE IS NOT SUBSTANTIALLY DAMAGE AS LESS THAN 30% NEEDS REPAIRED OR REPLACED.

ATTENTION IS DIRECTED TO THE FACT THAT THESE DRAWINGS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. REFER TO SCALE BAR INCLUDED ON EACH SHEET WHEN OBTAINING SCALED DATA.



TO THE BEST OF MY KNOWLEDGE THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH: THE LEE COUNTY LAND DEVELOPMENT CODE, CHAPTER 14, ARTICLE II, DIVISION 2, SEA TURTLES AND CHAPTER 6, ARTICLE III COASTAL CONSTRUCTION CODE, ARTICLE IV FLOOD HAZARD REDUCTION, AND THE 2010 FLORIDA BUILDING CODES AND SECTION 1608 FOR DESIGN PRESSURES GENERATED BY A WIND VELOCITY OF 140 MPH.

THIS CERTIFICATION IS FOR NEW STRUCTURAL COMPONENTS ONLY.

ON AUG 28 2013

PROFESSIONAL ENGINEER OF RECORD
JONATHAN H. COLE, P.E. #36384
STATE OF FLORIDA

DATE	REVISION	BY	DATE	REVISION	BY

GWE GIFFELS-WEBSTER
ENGINEERS, INC.
CERTIFICATE OF AUTHORIZATION #3607

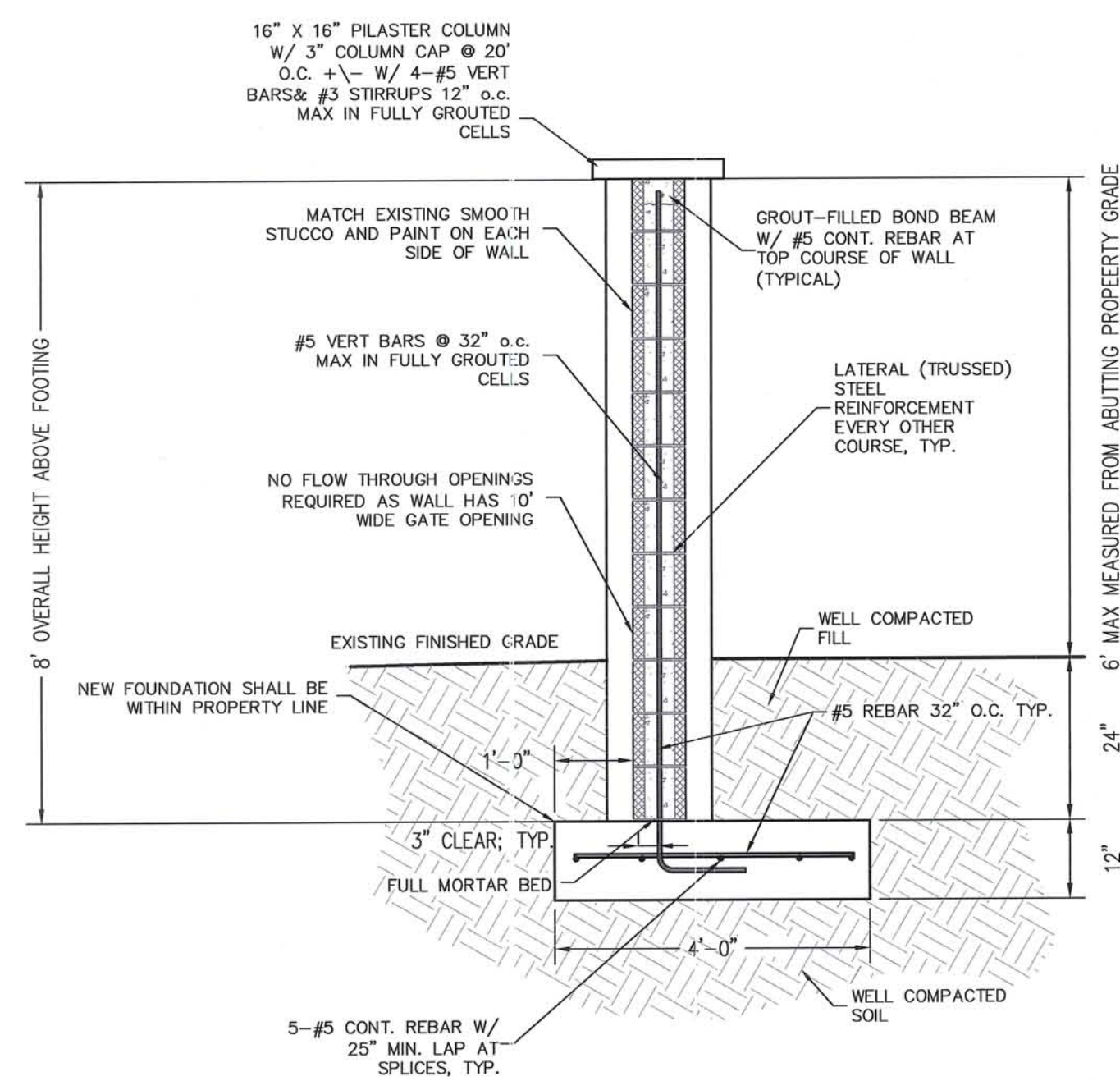
900 Pine Street, Suite 225
Englewood, Florida 34223
Phone (941)475-7981
Fax (941)474-4285

DATE: 5/19/03
DRAWN: TS
CHK'D BY: JC

DEWEY-NOLLER BUILDERS
van Beuren Residence
PRIVACY WALL REPAIR

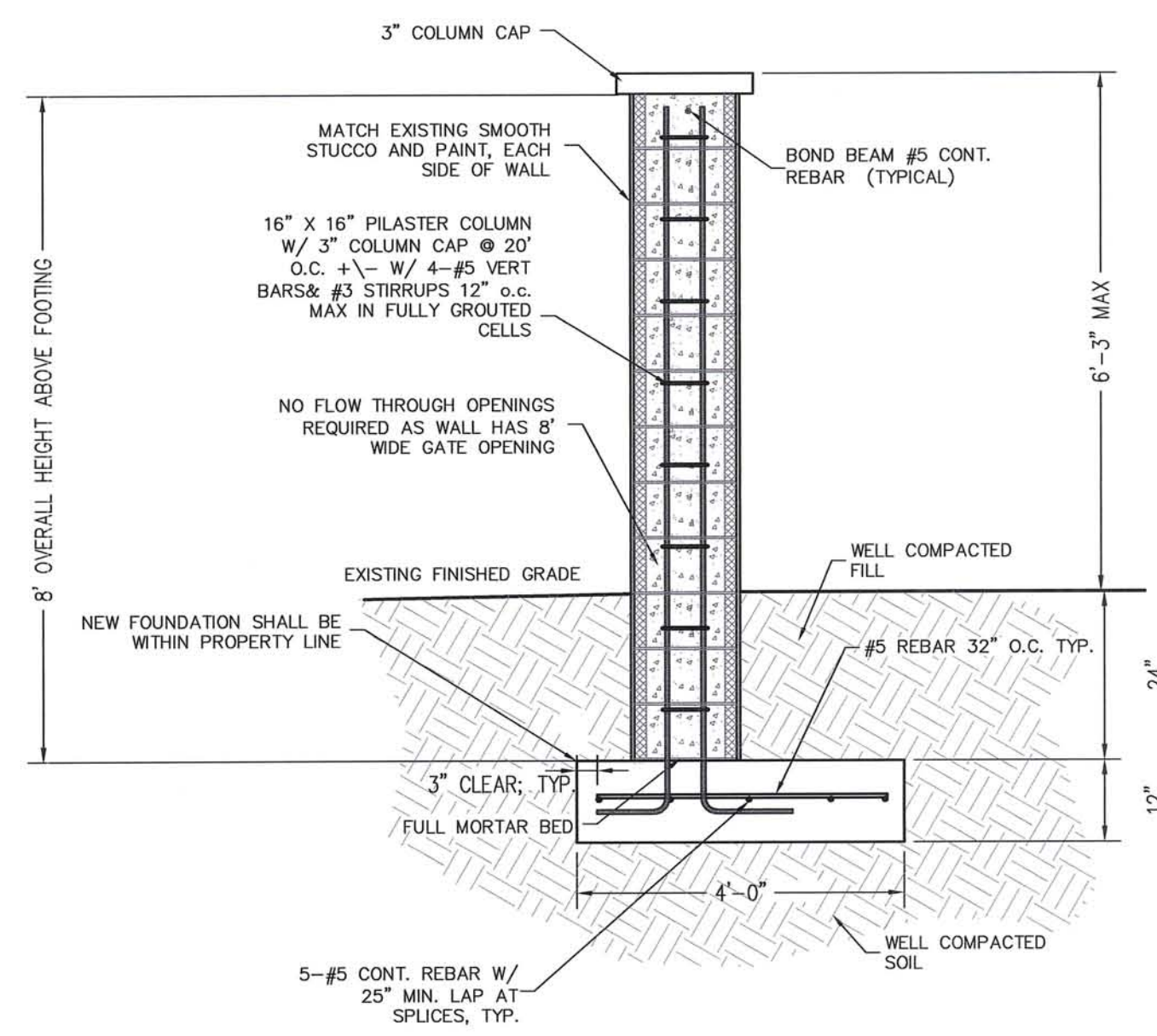
EVALUATION OF DAMAGE

SCALE: 1/8" = 1'
SHEET: 2 OF 3
GWE NO. 5287.20



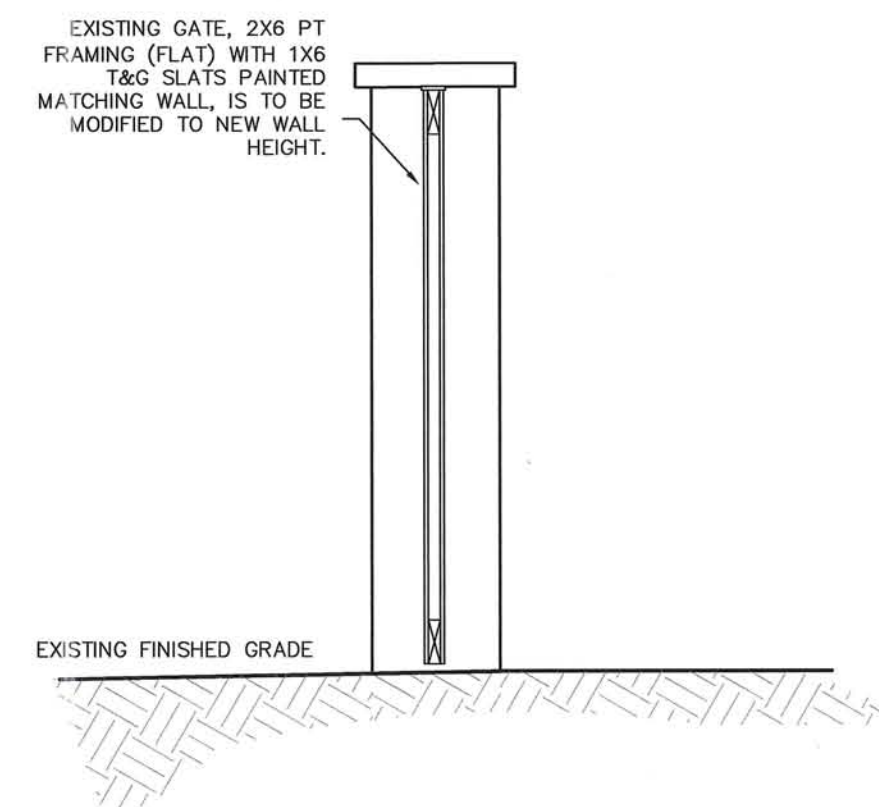
WALL SECTION

SCALE: $\frac{1}{2}'' = 1'$



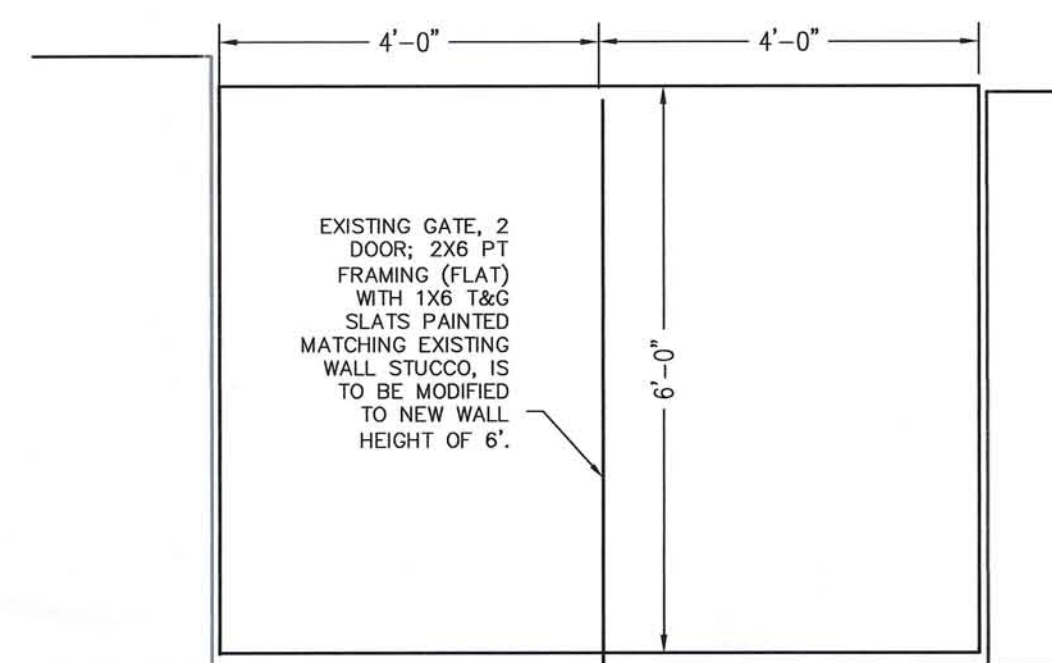
COLUMN SECTION

SCALE: $\frac{1}{2}'' = 1'$



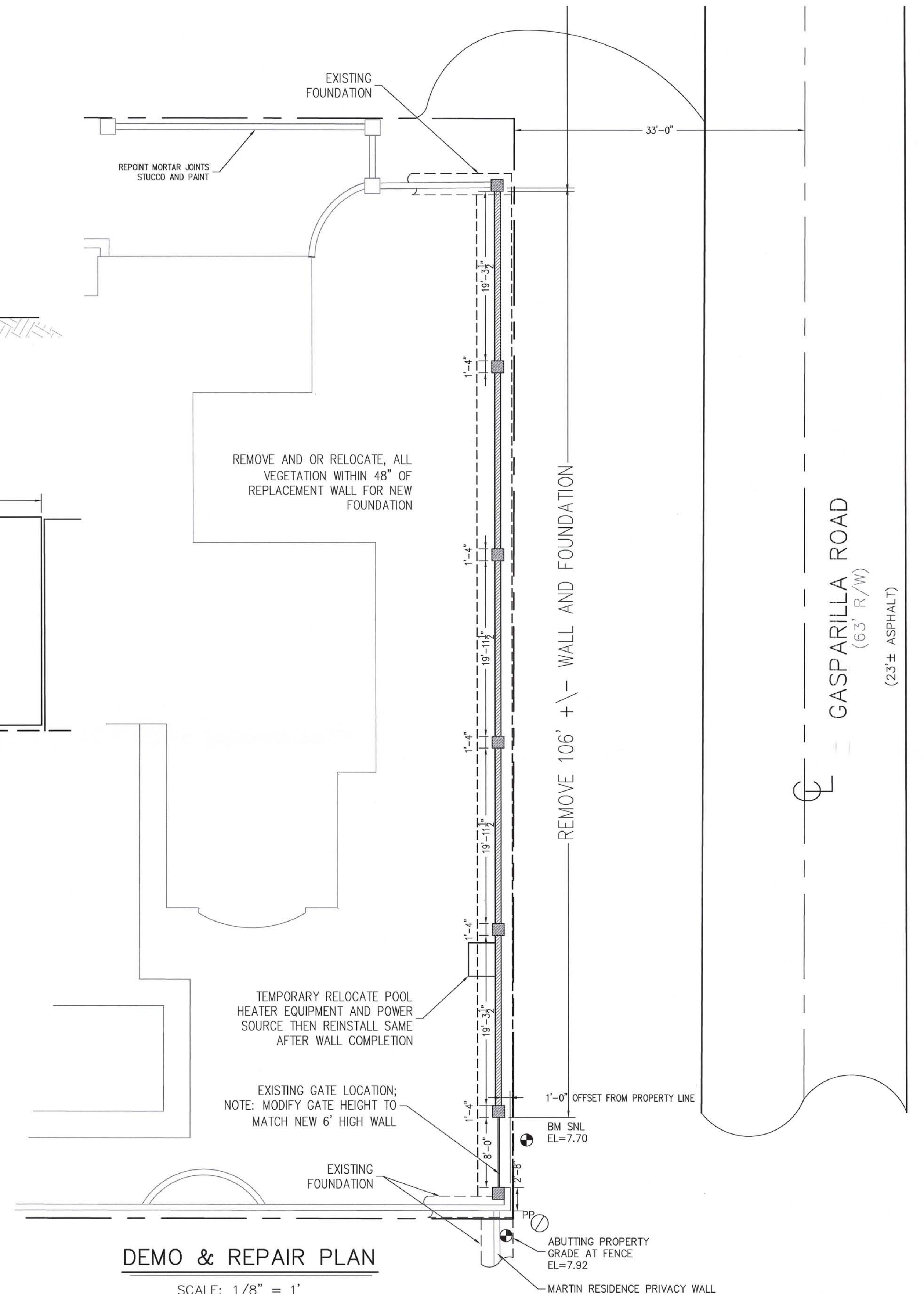
GATE SECTION

SCALE: $\frac{1}{2}'' = 1'$



GATE ELEVATION

SCALE: $\frac{1}{2}'' = 1'$



DEMO & REPAIR PLAN

SCALE: $\frac{1}{8}'' = 1'$

ATTENTION IS DIRECTED TO THE FACT THAT THESE DRAWINGS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. REFER TO SCALE BAR INCLUDED ON EACH SHEET WHEN OBTAINING SCALED DATA.

TO THE BEST OF MY KNOWLEDGE THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH: THE LEE COUNTY LAND DEVELOPMENT CODE, CHAPTER 14, ARTICLE II, DIVISION 2, SEA TURTLES; ALSO CHAPTER 6, ARTICLE III COASTAL CONSTRUCTION CODE, ARTICLE IV FLOOD HAZARD REDUCTION, AND THE 2010 FLORIDA BUILDING CODES AND SECTION 1609 FOR DESIGN PRESSURES GENERATED BY A WIND VELOCITY OF 160 MPH.

THIS CERTIFICATION IS FOR NEW STRUCTURAL COMPONENTS ONLY.
AUG 28 2013
PROFESSIONAL ENGINEER OF RECORD
JONATHAN H. GIBBS, P.E. #36384
STATE OF FLORIDA



PROPOSED ELEVATION VIEW

SCALE: $\frac{1}{8}'' = 1'$

DATE	REVISION	BY	DATE	REVISION	BY

GWE GIFFELS-WEBSTER
ENGINEERS, INC.
CERTIFICATE OF AUTHORIZATION #3607

900 Pine Street, Suite 225
Englewood, Florida 34223
Phone (941)475-7981
Fax (941)474-4285

DATE: 5/19/03
DRAWN: TS
CHK'D BY: JC

DEWEY-NOLLER BUILDERS
van Beuren Residence
PRIVACY WALL REPAIR

DEMOLITION AND REPAIR
PLANS

SCALE: $\frac{1}{8}'' = 1'$
SHEET: 3 OF 3
GWE NO. 5287.20

COA 2013-00095



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. 2013-00095	Designation No. HD90 05 01	Date Filed:
---------------------------	-----------------------------------	-------------

<input checked="" type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
--	---	---	---

Name of Project: **Robinette Garage**

Location: **1120/1126 11th St. Boca Grande, FL 33921**

STRAP No.: **14-43-20-01-00036.0060**

Name of Applicant or Agent*: **Dan Mattingly – All Phase Homes Inc.**

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: **2070 Illinois Ave.**

City, State, Zip: **Englewood, FL 33224**

Phone Number: **941-662-0494**

Fax Number:

Email Address: **Allphase.dan@hotmail.com**

Name of Historic District (if applicable): **Boca Grande**

Check all that apply: ☒ Building ☐ Archaeological Site ☐ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☒ Alteration ☐ Demolition ☒ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: **We proposed to add a small garage (304 sq ft) to the west of the existing house. All exterior garage details and finishes will match existing house.**

Change in Use: ☒ No ☐ Yes

If yes, explain.

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☐ No ☒ Yes

If yes, explain. **Zoning relief must be obtained to comply with current setbacks.**

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

If yes, explain.

***** FOR STAFF USE ONLY *****	
Date Issued:	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED*
Certified by:	
*Explanation attached	

SUBMITTAL REQUIREMENTS	
	Full plans and specifications (12 sets of plans, 1 set of specification).
	Site plan (12).
	Samples of materials if needed to fully describe the proposed appearance, color, feature, materials, or design of the building(s), structure(s), and any outbuilding, wall, courtyard, fence, landscape feature, paving, storage or exterior lighting.
	Adequate information to enable the Historic Preservation Board to visualize the effect of the proposed action of adjacent buildings and streetscape within a historic district.
	Demolition applications only: Provide plans for the reuse of the property.
	Moving applications only: Provide reason for the proposed move, and a description of the new location and settings.
ADDITIONAL SUBMITTAL ITEMS FOR ARCHAEOLOGICAL SITES	
	Full plans and specifications indicating areas of work that might affect the surface and subsurface of the archaeological site or sites.
	Proposed mitigation measures.
	Archaeological surveys, if required by the Historic Preservation Board, including disturbance of human burials.

page 1 of 2

From: Dan Mattingly [mailto:allphase.dan@hotmail.com]
Sent: Monday, August 12, 2013 12:58 PM
To: Sajgo, Gloria
Cc: Houck, Pamela; Dunn, Brandon; Richards, Antia
Subject: Re: Robinette

Hi Gloria

Thanks for getting back to me so quickly.

I'm attaching pictures of the library door that we intend to duplicate in detail. This would apply to the doors in the back of the garage as well. The doors we build will not be split in the middle as these are. The garage door panels will match this detail as well.



Photos of the First Library doors -
proposed doors for the garage will be
similar

page 2 of 2



Sent from my iPhone

COA2013-00095 Robinette – 1120/1126 11th St. W. Boca Grande



Subject Property
1120/1126 11th St.

COA2013-00095 Robinette – 1120/1126 11th St. W. Boca Grande



Subject Property
1120/1126 11th St.

BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA2013-00095 Robinette 1120/1126 11th St W Boca Grande Fl 33921

HEARING DATE: September 11, 2013

SUMMARY

The proposal calls for the addition of a garage to an existing historic house. The subject property is a contributing property in the Boca Grande Historic District HD 90-05-01. The STRAP number is 14-43-20-01-00036.0060; the address is 1120/1126 13th St. W Boca Grande, Fl 33921. Staff analyzed the project for compliance with the Secretary of the Interior's Standards for Rehabilitation.

STAFF ANALYSIS

Existing Conditions The subject parcel is a large roughly rectangular shaped parcel (roughly 125-ft by 88-ft) with roughly 88-ft frontage on 11th St W. According to the Property Appraiser's web site the subject two-story house was constructed in 1942. The height of the house is roughly 22-ft from grade to roof top. The house has strong elements of the Art Moderne style featuring such characteristics as smooth stucco wall surfaces, the flat roofs, a horizontal masonry band applied around the building just below the top of the walls, and a general emphasis on horizontal lines and a clean, simple, streamlined look. The site features a pool house, pool and an assortment of fence walls.

The Proposal The proposal calls for adding a roughly 304 sq ft garage to the west side of the house. Currently the west side of the property features a driveway that this sheltered from the street by tall, roughly 6-ft high wall fence with a gate featuring two roughly 6-ft high solid wooden doors.

The garage would be a single story, rectangular building with a footprint of roughly 16-ft by 19-ft and a height of roughly 12-ft from grade to roof top. The design of the garage would echo that of the house. The proposed garage would feature smooth stucco wall surfaces, a flat roof, a horizontal masonry band applied around the garage just below the top of the garage walls and in general a clear and streamlined look. The garage would be recessed roughly 5-ft from the front elevation of the existing house. To accommodate the proposed garage, on the west side of the house an existing small window would be removed and the opening enclosed. The garage would feature a custom made wood paneled garage door and similar wood paneled double door at the rear of the garage. The proposed design of these doors would be similar to the entrance doors at the Fust Library – see attached photographs. Staff believes the proposed new garage is compatible in design, mass and form with the historic house and the district in general.

The Secretary of the Interior's Standards for Rehabilitation

In evaluating the project also refer to the discussion above.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The proposal will allow the property to be continued to be used as a residence.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The proposed project retains and preserves the character of the historic house as the majority of the house's exterior fabric remains intact. The proposal avoids the removal of historic materials or alterations of features and spaces that characterize the property. The garage will be added to the west side and only require the enclosure of a small existing window on the main house – this is a minimal change.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. N/A
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved. N/A
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. N/A
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence N/A
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. N/A
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. N/A
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment

The garage addition to the west side of the existing house does not destroy materials that characterize the property. The garage will be added to the west side and require the enclosure of a small existing window – this is a minimal change to the main house. The garage is differentiated from the house as it is setback roughly 5-ft from the front of the house and it is also a roughly 12-ft high while the house is roughly 22-ft high. The garage is compatible with the massing, size, scale and architectural features of the existing building. The proposal protects the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The essential form and integrity of the historic house will be maintained. Because the garage will be built on the west side of the house, if it were removed in the future the essential form and integrity of the historic property and its environment will be unimpaired.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project that as approved is in compliance with the Secretary of the Interior Standards for Rehabilitation and Chapter 22 of the LDC.

COA2013-00095 Robinette – 1120/1126 11th St. W. Boca Grande



Front South Elevation

East Side of front elevation



West side of front elevation – Note doors open to existing driveway



COA2013-00095 Robinette – 1120/1126 11th St. W. Boca Grande



Existing driveway – location
of proposed garage

Adjoining property to the West



Property across 11th St. – North
of the subject property



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APPROXIMATE LOCATION OF PROPOSED GARAGE

↓
N



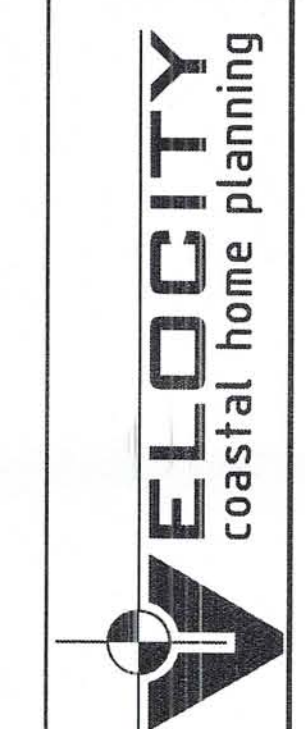
Copyright ©2012 Pictometry International Corp.

APPROXIMATE LOCATION OF PROPOSED GARAGE

N

BUILT BY:
ALL PHASE HOMES

DRAWN BY:
D. KONDROSK

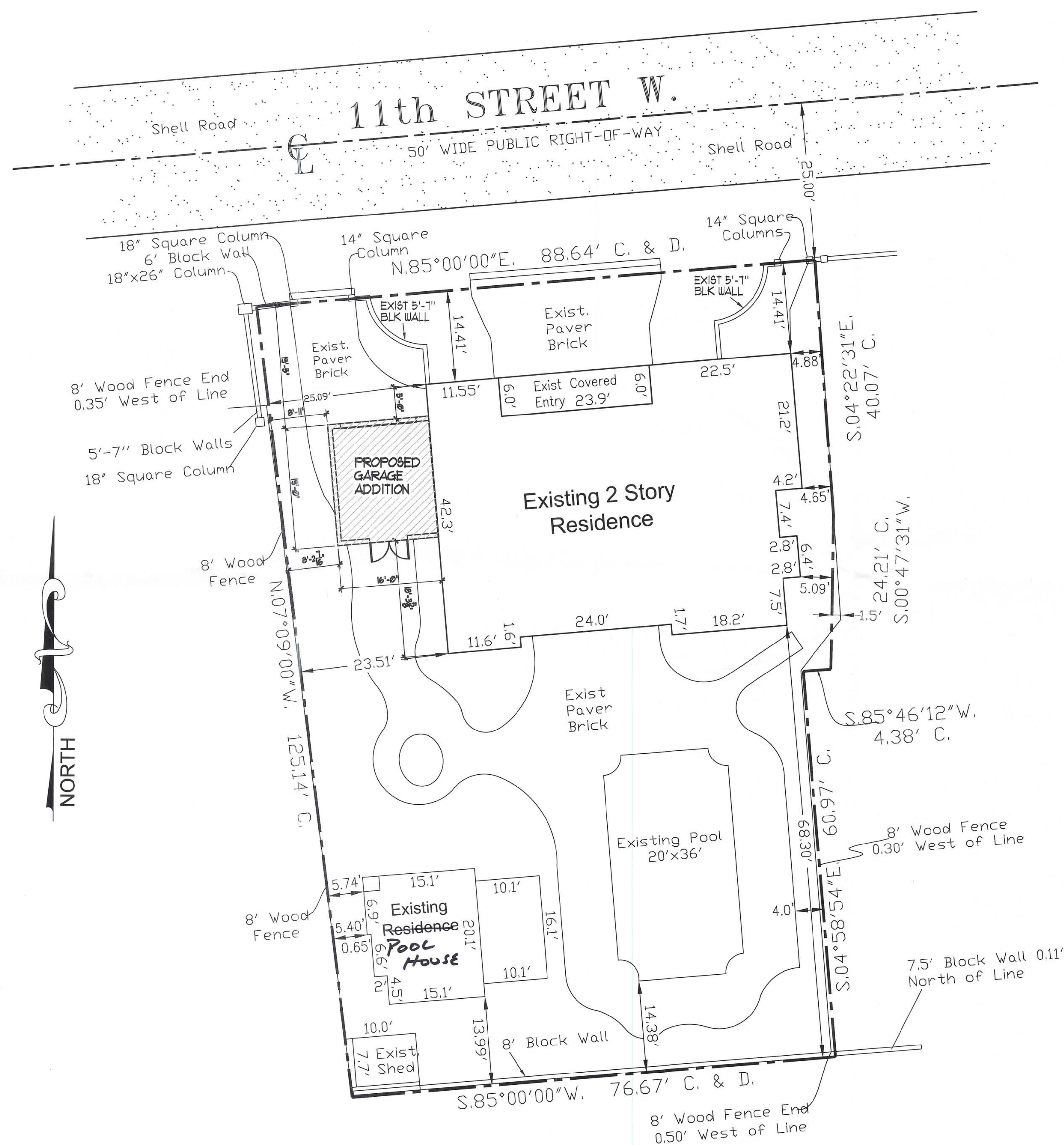


DATE DRAWN:
JULY 30, 2013

A GARAGE ADDITION FOR:
JOE & DANA ROBINETTE
1120 11th ST., BOCA GRANDE, FL

SHEET: 1 OF 2

JOB NUMBER:
Y13-017



SITE PLAN

SCALE = 1"=10'-0"
LOT 6 AND PART OF LOT 4
BLOCK 36 OF THE REVISED PLAT OF BOCA GRANDE
PLAT BOOK 1, PAGES 1 AND 1A
OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA

FOR COMPLETE SITE DETAILS SEE
SURVEY BY 'SHREMSHOCK SURVEYING, INC.
DATED 2-13-13

NOTE:
CONTRACTORS AND/OR OWNER
TO FIELD VERIFY ALL NEW & EXISTING
CONDITIONS, DIMENSIONS, AND DETAILS.

DATE REVISED:
AUGUST 1, 2013

BUILT BY:
ALL PHASE HOMES

DRAWN BY:
D. KANDROSKI

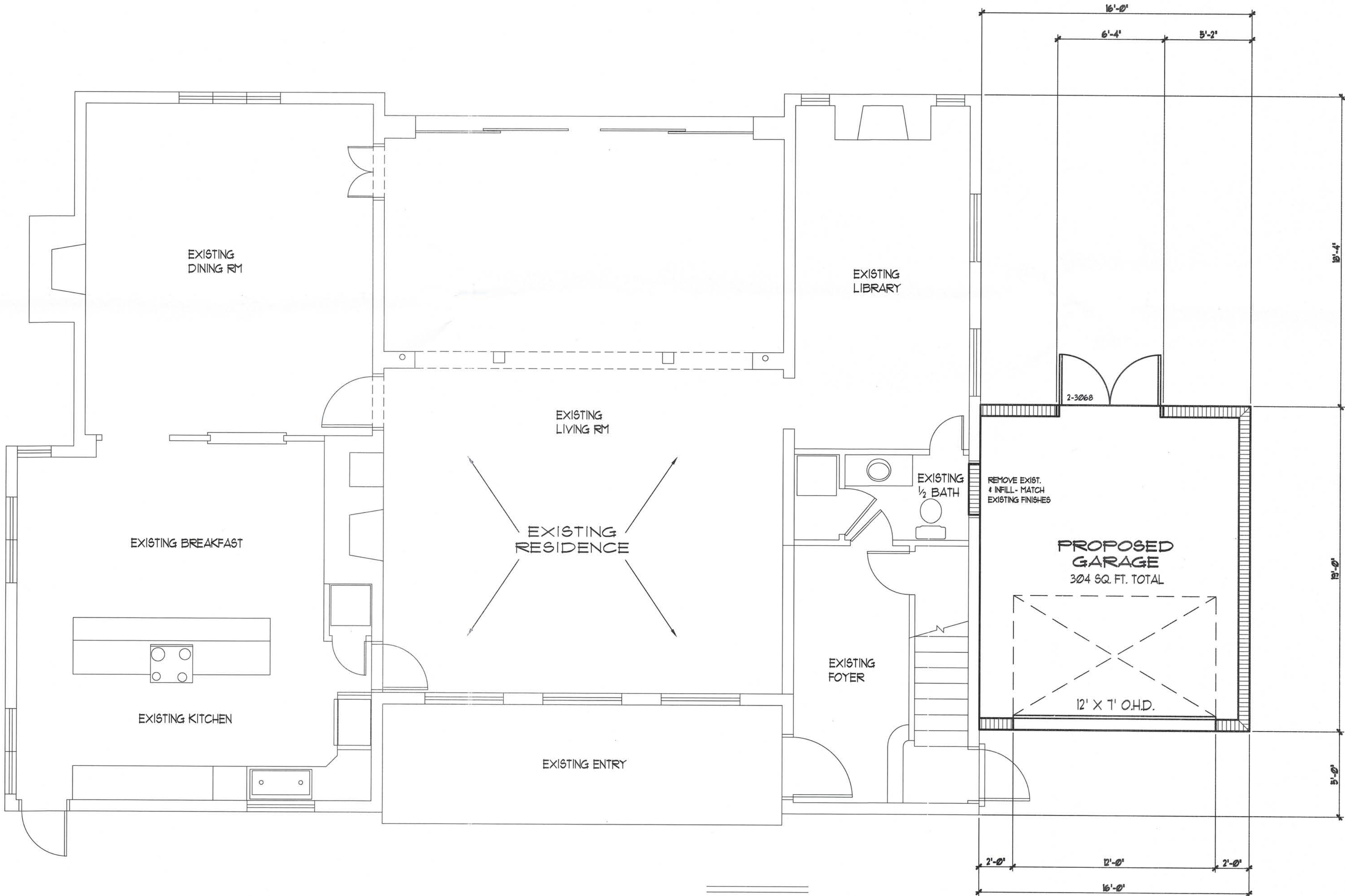
VELOCITY
coastal home planning
P.O. Box 3023
Palm Beach, FL 33446
3466636071 Tel
Dave@velocityfla.com eMail

DATE DRAWN:
JULY 30, 2013

A GARAGE ADDITION FOR:
JOE & DANA ROBINETTE
1120 11th ST., BOCA GRANDE, FL

SHEET:
2 OF 4

JOB NUMBER:
V13-011



FLOOR PLAN
SCALE = 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS



EXISTING EAST ELEVATION
SCALE = 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE = 1/4"=1'-0"



EXISTING SOUTH ELEVATION
SCALE = 1/4"=1'-0"



EXISTING NORTH ELEVATION
SCALE = 1/4"=1'-0"

NOTE:
CONTRACTORS AND/OR OWNER
TO FIELD VERIFY ALL NEW & EXISTING
CONDITIONS, DIMENSIONS, AND DETAILS.

DATE REVISED:

BUILT BY:

ALL PHASE HOMES

DRAWN BY:
D. KONDRSKI

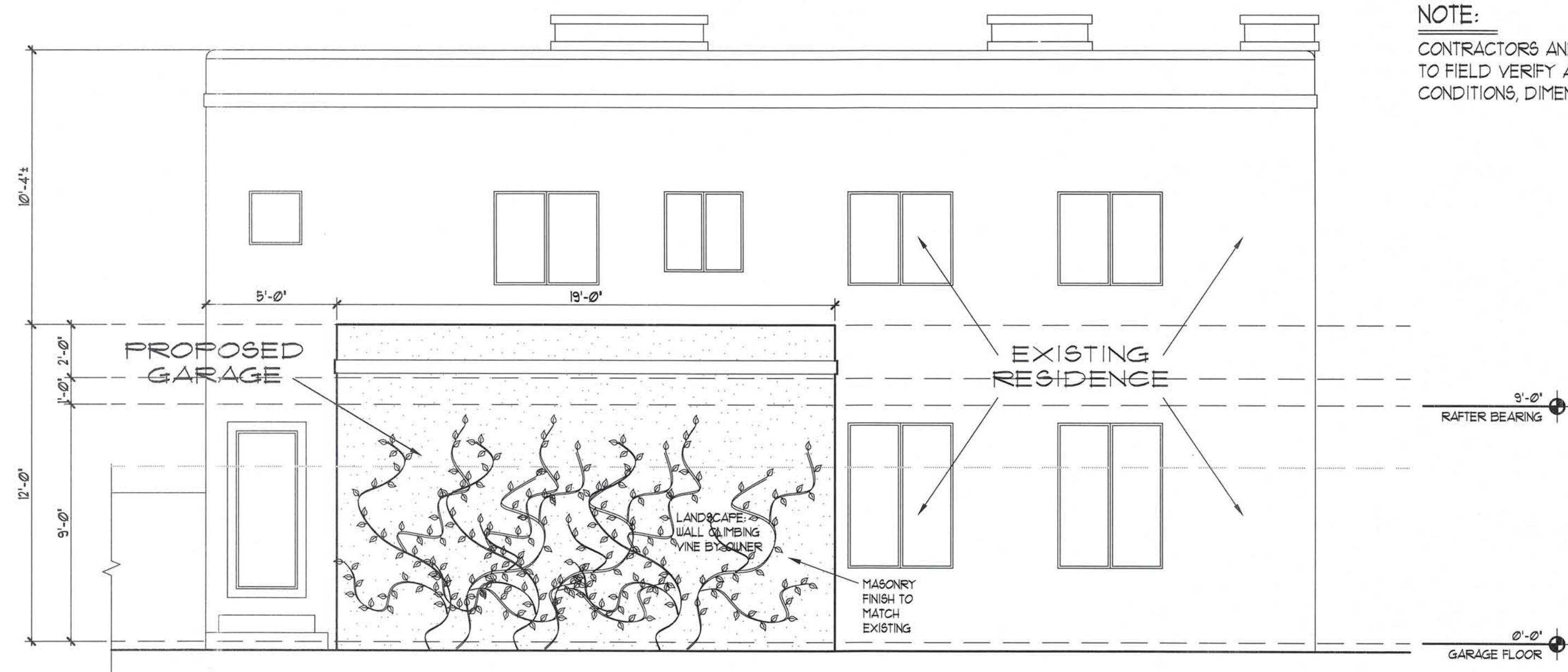
VELOCITY
coastal home planning
P.O. Box 3003
Placida, FL 33946
941.661.5607 Tel
Daves@velocityplans.com eMail

DATE DRAWN:
JULY 30, 2013

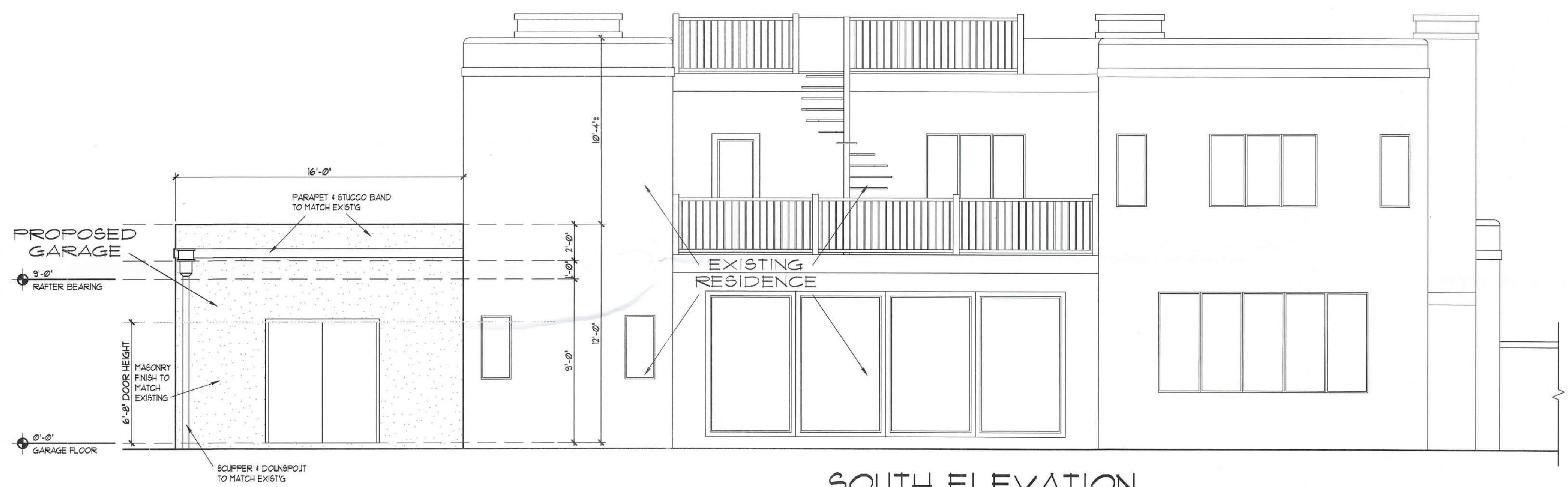
A GARAGE ADDITION FOR:
JOE & DANA ROBINETTE
1120 11th ST., BOCA GRANDE, FL

SHEET:
3 OF 4

JOB NUMBER:
V13-011



WEST ELEVATION
SCALE = 1/4"=1'-0"



SOUTH ELEVATION
SCALE = 1/4"=1'-0"



NORTH ELEVATION
SCALE = 1/4"=1'-0"

NOTE:
CONTRACTORS AND/OR OWNER
TO FIELD VERIFY ALL NEW & EXISTING
CONDITIONS, DIMENSIONS, AND DETAILS.

DATE REVISED:
AUGUST 1, 2013

BUILT BY:
ALL PHASE HOMES

DRAWN BY:
D. KONDROSKI

VELOCITY
coastal home planning
941.661.5601 Tel
941.661.5601 Fax
P.O. Box 3103
Ft. Myers, FL 33946

DATE DRAWN:
JULY 30, 2013

A GARAGE ADDITION FOR:
JOE & DANA ROBINETTE
1120 11th ST., BOCA GRANDE, FL

SHEET:
4 OF **4**

JOB NUMBER:
V13-011

COA 2013-00112



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. <u>COA2013-00112</u>	Designation No. <u>HD 90 0501</u>	Date Filed:
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<input type="checkbox"/> Contributing	<input checked="" type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
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Name of Project: ODOWD

Location: 851 PALM AVE

STRAP No.: 14-43-20.01 000560 190

Name of Applicant or Agent*: JIM SCOTT

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: 3579 S. ACCESS RD, UNIT I

City, State, Zip: ENGLEWOOD, FL 34224

Phone Number: 941-475-3100 Fax Number: 941-473-7753

Email Address: JSCOTT@RESIDENTIAL-DRAFTING.COM

Name of Historic District (if applicable): BOCA GRANDE

Check all that apply: ☒ Building ☐ Archaeological Site ☐ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☐ Alteration ☐ Demolition ☒ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: NEW CONSTRUCTION SINGLE STORY FRAME HOME
OVER CRAWL SPACE WITH DETACHED GARAGE

Change in Use: ☒ No ☐ Yes

If yes, explain. _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☒ No ☐ Yes

If yes, explain. _____

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

If yes, explain. _____

***** FOR STAFF USE ONLY *****			
Date Issued:		<input type="checkbox"/> APPROVED	<input type="checkbox"/> DENIED*
Certified by:			
*Explanation attached			

SCOTT F. BROWN

August 12, 2013

Mr. & Mrs. Daniel J. O'Dowd
2001 Blake Street
Denver, CO 80205-2000

RE: 851 Palm Avenue
Boca Grande, FL 33921

Dear Mr. & Mrs. O'Dowd:

Thanks very much for the courtesy and thoughtfulness of sharing with us your plans for the construction of a single family residence on vacant land at 851 Palm Avenue which adjoins our house at 870 East Railroad Avenue.

We and our advisors, Mike Flanders, AIA, and Beverly Grady, ESQ, have reviewed these plans as drawn by J. Scott and revised as of August 5, 2013, copies of which are attached herewith, and we are delighted to be able to support without reservation your pending application for a Certificate of Appropriateness before the Boca Grande Historic Preservation Board.

Please feel free to contact us with any questions.

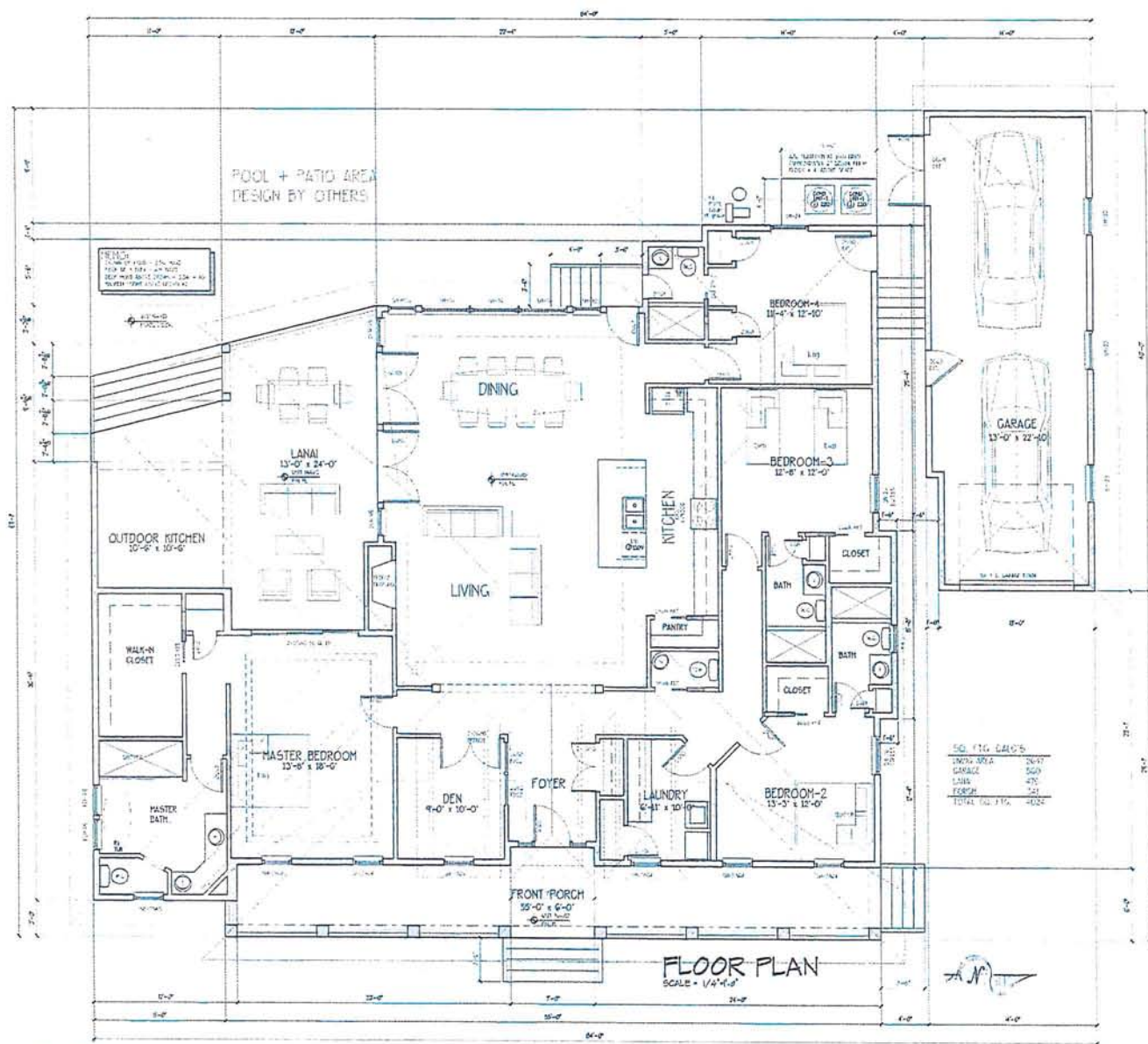
Yours very truly,



Scott F. Brown

Enclosures (4)

Cc: Via Email (Dan.ODowd@rockies.com) w/ enclosures



J. SCOTT
DRAFTING, INC.
2211 S. GILBERT AVE., SUITE 100
TAMPA, FL 33629
TEL: 813-241-1111
FAX: 813-241-1112

DESIGN BY:
PCI CUSTOM HOMES

A REFERENCE FOR
MRL. & MRS. O'DOWD
PALM AVE, BOCA RATON

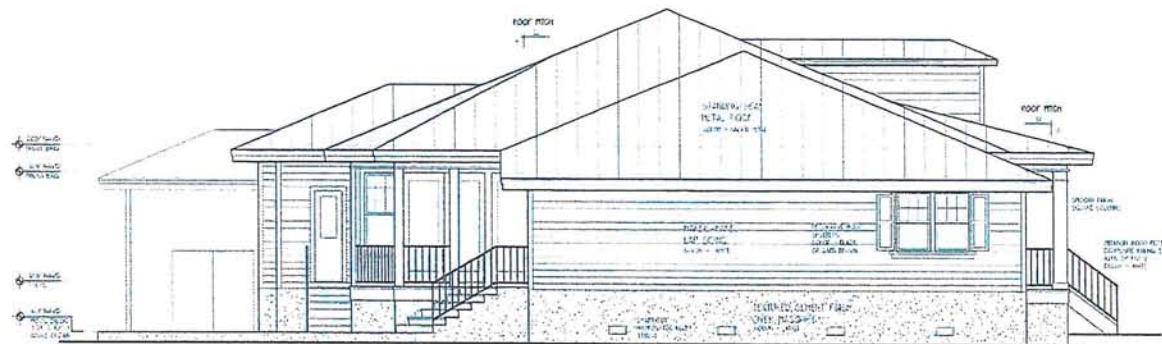
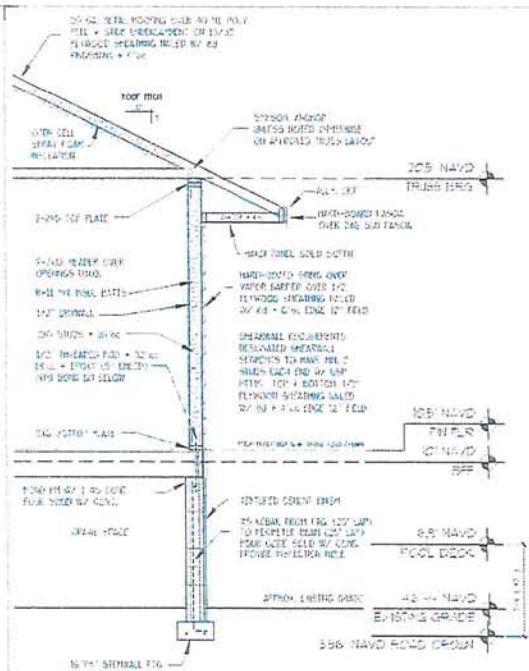
DATE DRAWN
JUL 2, 1998

DRAWN BY
J. SCOTT

DATE REVISED
JUL 2, 1998
JUL 2, 1998
JUL 2, 1998

SHEET
1 OF **3**

JOB NUMBER
13-BASIC





LEFT SIDE (NORTH) ELEVATION
SCALE = 1/4" = 1'-0"



REAR (WEST) ELEVATION
SCALE = 1/4" = 1'-0"

SCOTT
DRAWING, INC.
2222 N. 10TH AVE., SUITE 100
DENVER, CO 80202
303.733.1111
WWW.SCOTTDRAWING.COM

BUILT BY:
PCI CUSTOM HOMES

A REFERENCE FOR
MR. & MRS. O'DOWD
PALM AVE, BOCA GRANDE

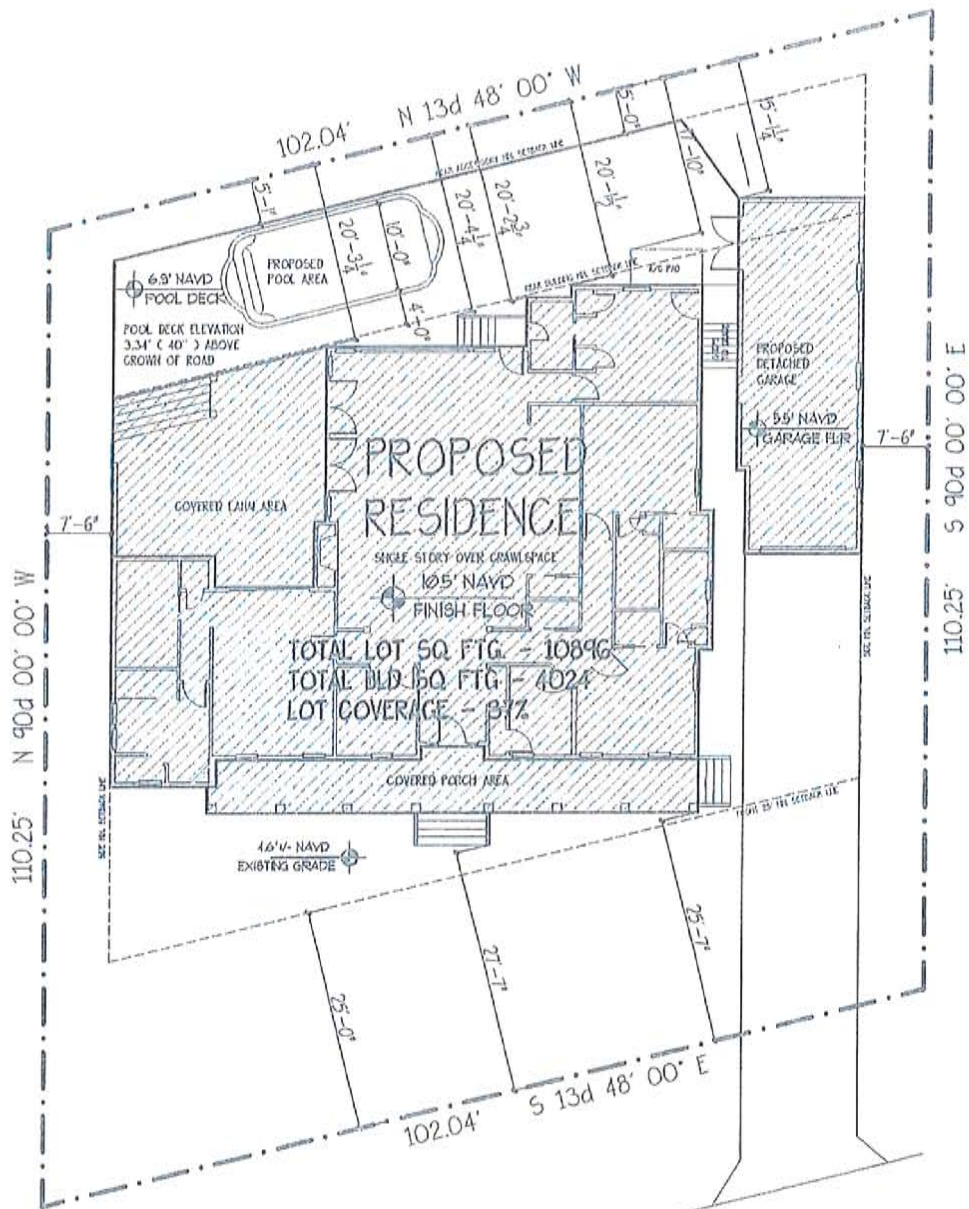
DATE DRAWN
REVIS 11-11-11

DRAWN BY
J. O'DOWD

DATE REVISED
3/27/12, 11/11/11
2/28/12, 11/11/11
12/14/11, 11/11/11

SHEET
3 OF 3

JOB NUMBER
13-BASIC



3.56' NAVD ROAD CROWN

851 PALM AVENUE

LOT 19 + 20, BLOCK 56,
BOCA GRANDE, LEE COUNTY



SITE PLAN
SCALE = 1"=20'

ABBREVIATIONS:

A.=Arc
 Alum.=Aluminum
 Apprx.=Approximate
 B.M.=Bench Mark
 (C)=Calculated data
 C.=Chord dimension
 C.B.=Chord Bearing
 C.M.=Concrete Monument
 Conc.=Concrete
 (D)=Deed data, Description data
 D.E.P.=Department of Environmental Protection
 D.N.R.=Department of Natural Resources
 D.O.T.=Department of Transportation
 Drain.=Drainage
 El.=Elevation
 Esmt=Easement
 (F)=Field data
 Fin. Fl.=Finished Floor
 Fnd.=Found
 Gar. Fl.=Garage Floor
 Inv.=Invert
 L.B.=Land Surveying Business
 L.S.=Land Surveyor
 (M)=Measured data
 M.H.W.L.=Mean High Water Line
 M.P.=Metal Pipe
 M.R.=Metal Rod
 N.A.V.D.=North American Vertical Datum 1988
 N.G.V.D.=National Geodetic Vertical Datum 1929
 O.R.=Official Records
 (P)=Plat data
 P.C.=Point of Curvature
 P.C.C.=Point of Compound Curvature
 P.C.P.=Permanent Control Point
 P.I.=Point of Intersection
 P.K.=PARKER-KALON
 P.L.S.=Professional Land Surveyor
 P.O.B.=Point of Beginning
 P.O.C.=Point of Commencement
 P.O.L.=Point on Line
 P.O.T.=Point of Terminus
 P.R.C.=Point of Reverse Curvature
 P.R.M.=Permanent Reference Monument
 P.S.M.=Professional Surveyor and Mapper
 P.T.=Point of Tangency
 R.=Radius
 R/W=Right-of-Way
 S.F.=Square Feet
 Sta.=Station
 Struc.=Structure
 T.B.M.=Temporary Bench Mark
 Typ.=Typical
 (U)=Unrecorded data
 U.S.G.S.=United States Geodetic Survey
 Util.=Utility
 Wit. Cor.=Witness Corner
 WTWY=Waterway
 C.=Centerline
 P.=Property Line

LEGEND:

- = Found 4"x4"Concrete Monument (number noted if any)
- = Found No. 5 Rebar (I.D. noted if any)
- ▲ = Found P.K. Nail and Disc (I.D. noted if any)
- = Spot Elevation
- = Set 4"x4"Concrete Monument with Cap L.B. #3943
- = Set No. 5 Rebar with Cap L.B. #3943
- △ = Set P.K. Nail and Disc L.B. #3943
- ⊠ = Utility Box
- ⊡ = Utility Pole
- = Guy Wire Anchor
- ⊞ = Water Meter
- ⊞ = Water Valve
- ⊞ = Fire Hydrant
- = Overhead Utility Line
- = Barb Wire or Wire Fence
- = Chain Link Fence
- = Wood Privacy Fence

SURVEY PURPOSE: CONSTRUCTION

Legend symbols are not to scale and are for graphic I.D. only.

FND. 4" M.P.
 AT BLOCK CORNER
 (NO I.D.)

NINTH STREET
 (50' R/W)

FND. 4" M.P.
 AT BLOCK CORNER
 (NO I.D.)

LOT 2
 BLOCK 56
 (DEVELOPED)

LOT 21
 BLOCK 56
 (DEVELOPED)

SET No.5 REBAR
 & CAP
 L.B. #3943
 FND. 3"x3" C.M.
 (NO I.D.)(0.74' N.E.)

FND. 3"x3" C.M.
 WITH X-CUT
 (NO I.D.)

EAST RAIL ROAD AVENUE
 N.13°48'00"W. 561.22'(P)
 N.13°48'02"W. 561.19'(C)

LOT 3
 BLOCK 56
 (DEVELOPED)

PLATTED
 LOT LINE
 (TYP.)

LOT 4
 BLOCK 56
 (DEVELOPED)

WOODEN FENCE
 (TYP.)

PROPOSED DETACHED
 GARAGE
 GAR. FL. EL.=5.5'

PROPOSED ONE STORY
 STRUCTURE
 FIN. FL. EL.=10.5'

COVERED
 LANAI
 AREA

LOT 20
 BLOCK 56
 (VACANT EXCEPT
 AS SHOWN)

LOT 19
 BLOCK 56
 (VACANT EXCEPT
 AS SHOWN)

LOT 5
 BLOCK 56
 (DEVELOPED)

LOT 18
 BLOCK 56
 (DEVELOPED)

SET No.5 REBAR
 & CAP
 L.B. #3943
 FND. No.5 REBAR
 & CAP
 P.S.M. #5637
 (0.87' N.E.)

FND. 1 1/2" M.P.
 AT BLOCK CORNER
 (NO I.D.)

SEVENTH STREET
 (50' R/W)

LOT 20
 BLOCK 56
 (VACANT EXCEPT
 AS SHOWN)

LOT 19
 BLOCK 56
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LOT 5
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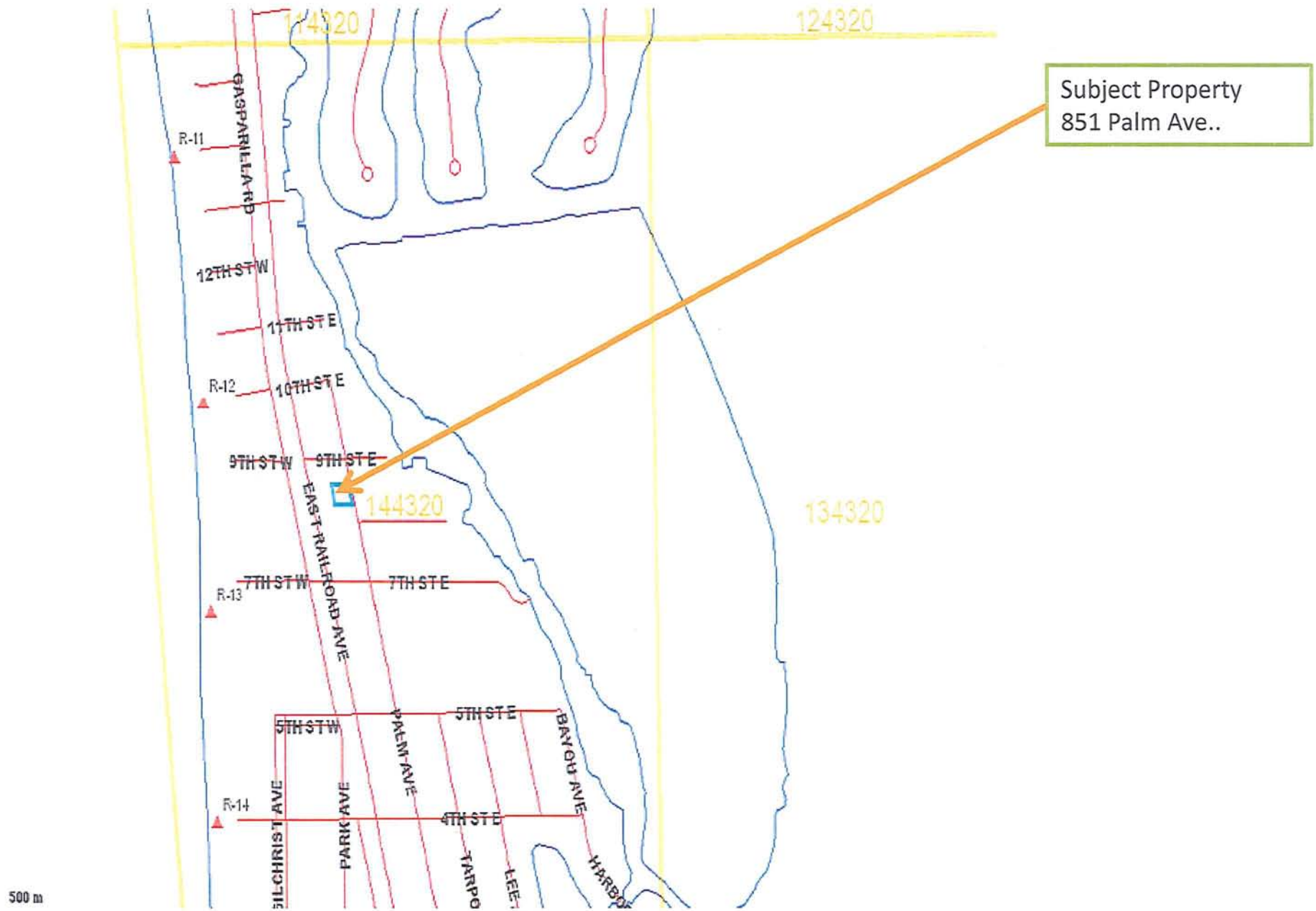
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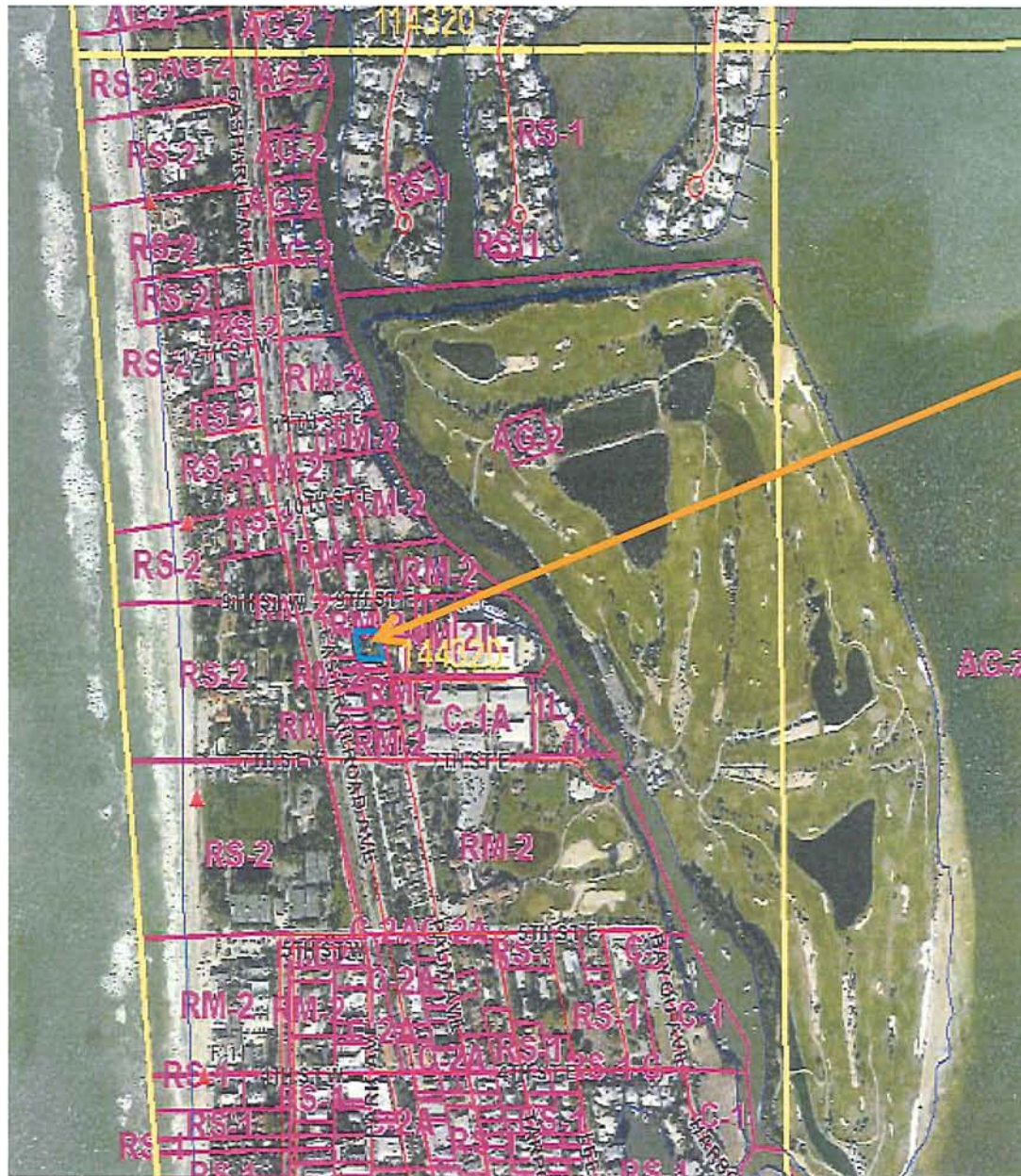
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COA2013-00112 O'Dowd – 851 Palm Ave. Boca Grande



COA2013-00112 O'Dowd – 851 Palm Ave. Boca Grande



Subject Property
851 Palm Ave..

**BOCA GRANDE HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 - 00112 851 Palm Avenue, 851 Palm Ave., Boca Grande Fl

HEARING DATE: September 11, 2013

SUMMARY:

The proposed project entails new construction of a single family residence in the Boca Grande Historic District HD (District) 90-05-01. The STRAP number is 14 43 20 01 00056 0190; the address is 851 Palm Avenue, Boca Grande, Florida, 33921. The subject lot is located at the west side of Palm Ave. Staff analyzed the proposed project for compliance with Chapter 22 of the Lee County Land Development Code and the Boca Grande Design Guidelines.

STAFF ANALYSIS:

The subject parcel is parallelogram shaped and roughly 110-ft by 102-ft. -- with 102-ft frontage on Palm Ave. The proposal calls for building a new single story house with a detached garage and a pool. The house is a contemporary cottage featuring metal roofs and synthetic (hardiplank) horizontal siding. Generally the window treatments will be single, paired and ribbons of multi-light windows.

The house has a total square footage of 4,024 sq ft. It has roughly 2,647 sq ft of A/C area, 560 sq ft of garage area, 476 sq ft for the southwest lanai and 341 for the front porch.

The design of the house minimized its impact on the streetscape. The house has a frontage of 66-ft on Palm Ave. – this frontage is broken up; it includes 55-ft for the front porch and 11-ft for the master bath which is recessed 3-ft behind the front porch. The garage has frontage of 14-ft but it is recessed roughly 29-ft behind the front porch. The impact of the garage has been minimized by making it a detached structure accommodating two cars stacked one behind the other (instead of next to each other).

Generally house features a main hip roof and secondary hip roofs. The front elevation features three decorative hip roofed dormers and a shed roof over the front porch. The garage is detached and under a separate hip roof. These roof treatments help break up the mass and scale of the building by providing variable roof heights while allowing for a vaulted ceiling in the interior.

The main hip roof has the highest ridge; it is roughly 26-ft from grade to roof peak or from the finished first floor to roof ridge the height is roughly 20-ft 2-in. On the front elevation shed roof is at roughly 10-ft from finished first floor to the bottom of the eave. (Note: The house has to be elevated to meet FEMA regulations; the finished first floor is roughly 5-ft 6-in above the lot grade). The detached garage will have a roof height of roughly 16 ½ -ft from existing grade

The house will conform to the required setbacks; the front setback will be 25-ft from the front property line. The house will feature a pool and pool deck on the south west. The applicant has also provided a proposed landscape plan for the site. It should be noted that in order to obtain a building permit the Building Department will have to approve a drainage plan.

Front (East) elevation on Palm Ave. – The main façade on Palm Ave. maintains the required 25-ft front setback. It will feature a full length 6-ft wide front porch under a metal shed roof. The front elevation is very symmetrical. The front the house will be accessed by a central entrance featuring a single door flanked by side lights. On either side of the front door will be three individual multi-light windows with decorative shutters. The front porch will be accessed by a set of steps centered on the front elevation and in line with the main entrance to the house. The porch will be supported by 8 columns—4 columns located on either side of the front steps. The porch railing will be supported by square balusters.

Side (south) elevation – This elevation features a series of staggered hip roofs. This elevation features a solid wall with two small windows and then rear lanai with outdoor kitchen. The lanai is accessed from the main house through two sets of French Doors.

Rear (west) elevation– This elevation also features a series of staggered roofs of various heights. It will feature ribbon of windows providing visual access from the dining area to the proposed patio/pool area. The rear elevation will also incorporate the large lanai.

Side (north) elevation: The mass of this elevation is broken by a small hip dormer and the relatively long and low garage that is next to it. The garage and the main house feature single multi light windows.

Design Guidelines for the Boca Grande Historic District

In evaluating the design guidelines also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

This is a single story house and it is located in an area that has many single story houses. The proposal minimizes the roof height by using a variety of roofs that break up the mass and scale of the building. In evaluating building height it is important to note that the house had to be elevated to meet FEMA flood regulations; the finished floor is 5-ft 6-in above grade.

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

The proposed house is located in an eclectic part of the Boca Grande Historic District. Some houses are located behind tall fences. The house immediately south of the proposed house has a roughly 5-ft high wall fence which partially shields the house from the road.

The proposed project meets the required setbacks for the front (25-ft) sides (7-ft 6-in) and rear (20ft) elevations. But it should be noted the proposed setbacks are in some cases broader than the existing setbacks found in some of the existing properties. The proposed setbacks are in keeping with the sense of openness of some of the houses in the area. For instance the adjoining house to the north has a front setback of roughly 24-ft for the house and roughly 21-ft for the front steps to the front property line.

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block.

The house maintains the traditional alignment of horizontal and vertical elements.

1.6 Maintain the traditional proportions of glass in building facades.

The house maintains the traditional proportions of glass in the building facades.

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The traditional alignment between rooflines, porch protrusions and entrances is maintained. This contemporary cottage features a traditional style.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

This is a parallelogram shaped parcel. The applicant has laid out the house as a square and this lay out has maximized the open space provided by the angles of the parallelogram shaped lot. Existing native vegetation has been identified and is retained on the property.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces.

The building maintains the traditional orientation; it has a façade that fronts the street.

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade.

The building maintains the vertical and horizontal proportions of the building.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

While the house features a variety of setbacks, the house maintains the required setbacks for the front (25-ft) sides (7-ft 6-in) and rear (20ft): However because the house is laid out as a square on a parallelogram shaped lot on several corners the house exceed the minimum setback requirements. Additionally the front setback of the detached garage is at roughly 50-ft from the front property line – roughly double the required distance.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges.

The proposed garage is recessed behind the house and is lower in height than the main house. Additionally because it accommodates cars that will be stacked behind each other instead of side by side, the mass and scale of the garage has been minimized.

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.

The pool deck on the southwest is unobtrusive. Porch treatment is similar to other porches in the district.

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible.

The landscape plan provided is designed to retain the existing native vegetation. The plan is designed to provide landscape screening around the perimeter of the pool, screening it from the road and surrounding neighbors. It also provides landscape screening along the rear of the subject property.

3.0 Additions to Existing Buildings N/A

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district.

The proposed contemporary cottage is harmonious in form, material and scale with the character of the block and the district. The house echoes the design of other contemporary houses in the district.

The form of the proposed building is such that it has a complexity of design which is harmonious with the block and district. It blends in with the streetscape by minimizing its impact on the streetscape. The proposed material is hardiplank horizontal siding and metal roofs – both of these materials are found throughout the district and the block.

The height of the house is variable due to its varied roof lines. The mass of building is broken up by a complexity of design which includes projections and recessions and architectural features such as porches and secondary roofs.

4.2 Align the façade of the building with the historic setbacks of the block or district.

The façade of the proposed building aligns with the historic setbacks of the block or district.

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area.

The mass and scale of the building is similar to the structures in the block and surrounding area. As already noted the building features a complexity of design that minimizes its impact and increases its harmony with its surroundings.

While the subject parcel has 102-ft frontage on Palm Ave., the principal façade of the proposed building has only 55-ft frontage along Palm Ave. -- plus a small recessed area to the south and the recessed, detached garage. This relatively narrow façade minimizes the impact of the house on the streetscape and is in keeping with the facades of the adjoining house to the north and adjoining houses to the south.

4.4 Building and roof forms should match those used historically.

As discussed the building and roof forms match those used historically.

4.5 Use similar building materials to those used historically for all major surfaces.

The roof material is metal and the wall material is horizontal siding. The windows are multiple light windows. These are very similar to those used historically.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row.

The window sizes and proportions are similar to those used historically. To create larger surfaces of glass, the proposal combines several standard windows in a row.

5.0 Relocating Buildings in a Historic District N/A

STAFF RECOMMENDATION:

Staff recommends that the Historic Preservation Board:

- 1) On the basis of staff analysis approve the project as presented by the applicant.
- 2) Make a finding that the proposed project has been designated under Chapter 22 of the LDC and on the basis of staff analysis, the proposed project as approved is in compliance with Chapter 22 of the LDC and the design guidelines of the Boca Grande Historic District.



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SUBJECT PARCEL

N
1

Site # 1 921 Palm Ave



Site # 2 891 Palm Ave East (front) elevation



Site # 2 891 Palm Ave North (side) elevation on 9th St



Site # 3 851 Palm Ave/. (subject vacant lot)



Site # 4 831 Palm Ave. East (front) elevation



Site # 4 831 Palm Ave. North (side) elevation



Site # 5 801 Palm Ave. East (front) elevation



Site # 6 920 Palm Ave. West (side) elevation



Site # 7 890 Palm Ave. East (front) elevation



Site # 8 East elevation on Palm Ave. The address: 861 8th St E



Site # 9 890 East Railroad Ave.

**Front (West). elevation
on Railroad Ave**

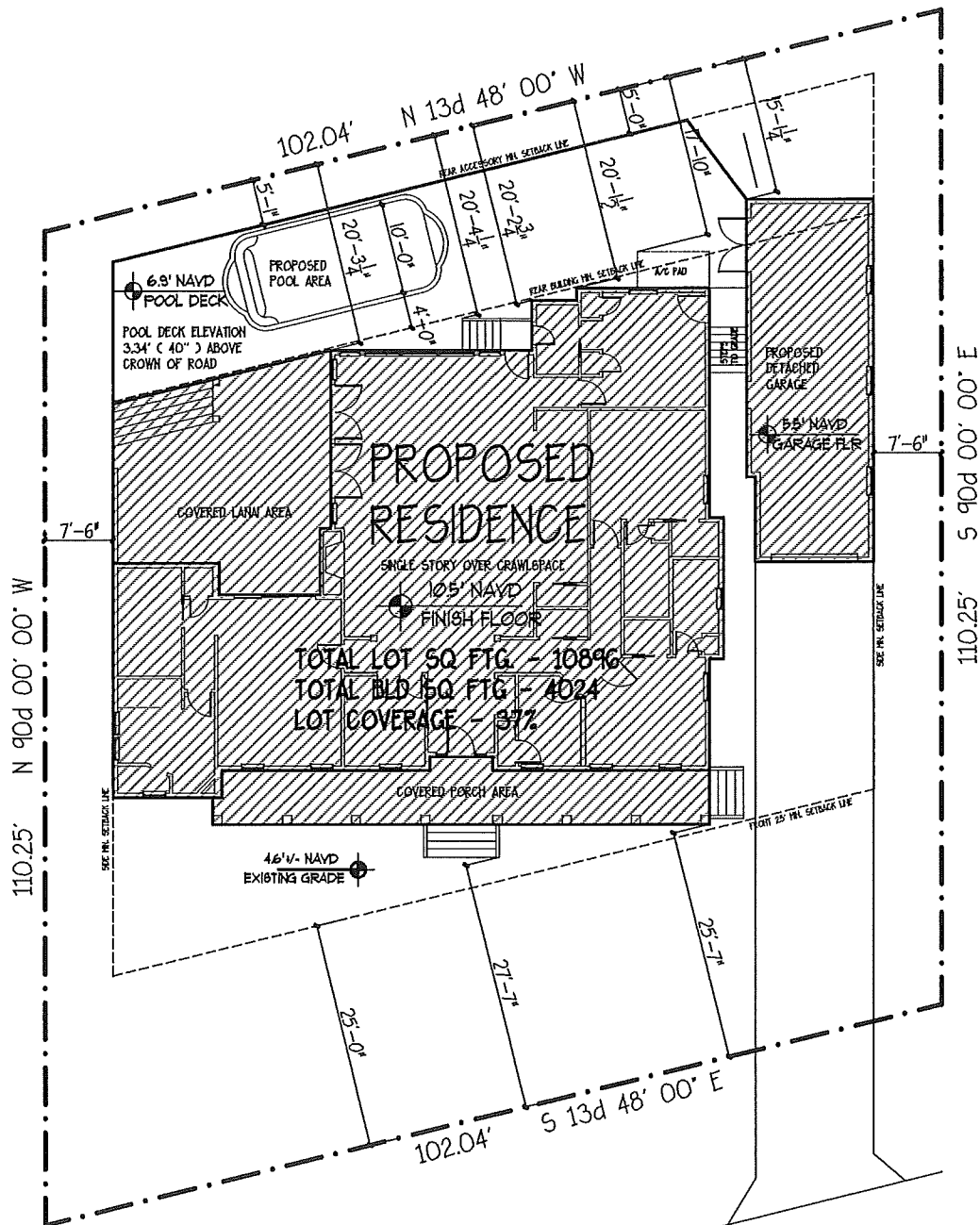


**Side (north) elevation
on 9th St E**



Site # 10 870 East Railroad Ave. Front (West) elevation

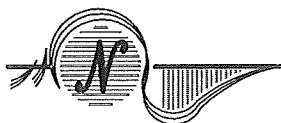




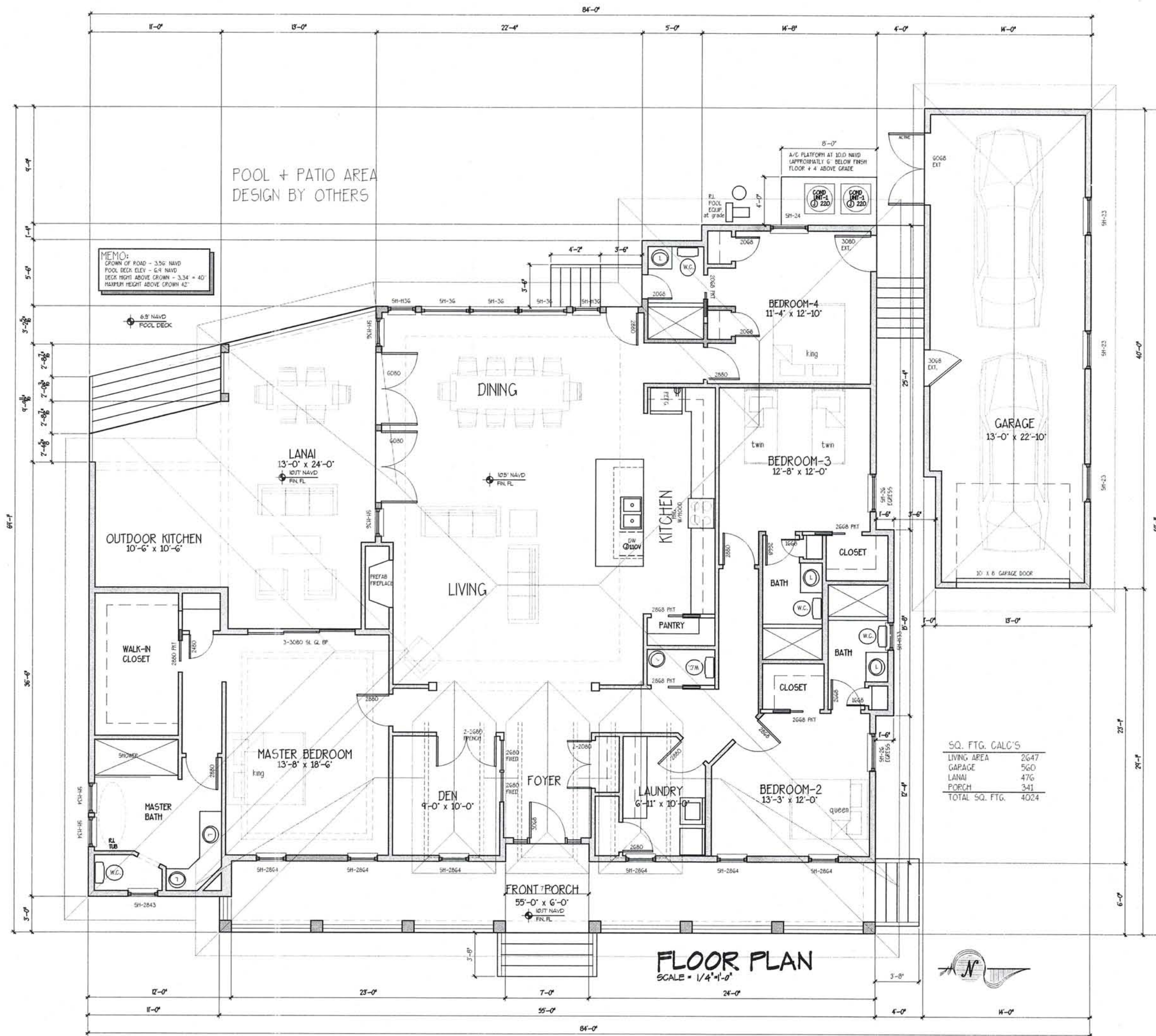
3.56' NAVD ROAD CROWN

851 PALM AVENUE

LOT 19 + 20, BLOCK 56,
BOCA GRANDE, LEE COUNTY



SITE PLAN
SCALE = 1"=20'



SCOTT J. DRAFTING, INC.
3520 S. ACCESS RD., UNIT 14
SPRING WOOD, FLORIDA 33446
PHONE (941) 473-7703
FAX (941) 473-7703
E-MAIL: SCOTT@SCOTTJ.DRAFTING.COM

BUILT BY:
PCI CUSTOM HOMES

A RESIDENCE FOR:
MR. & MRS. O'DOWD
PALM AVE, BOCA GRANDE

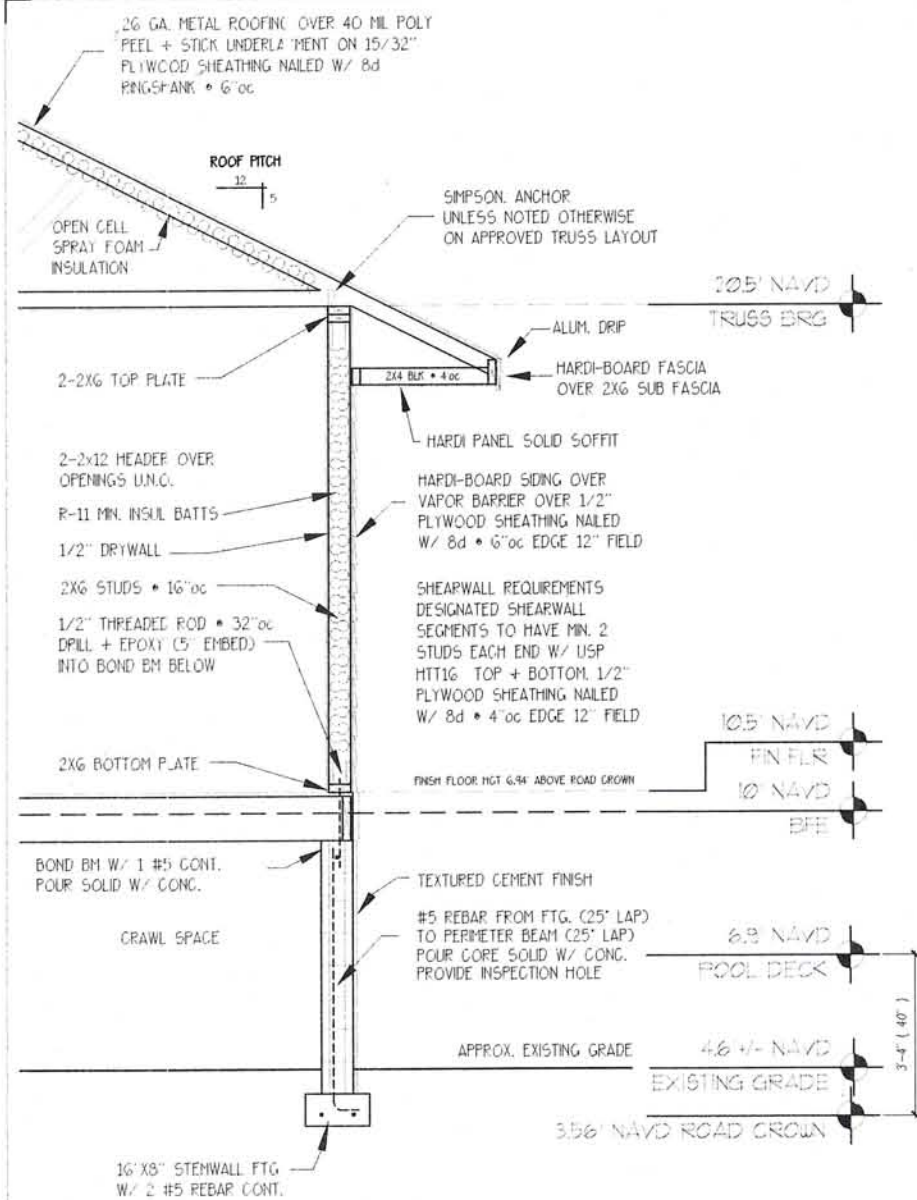
DATE DRAWN
JUNE 6, 2008

DRAWN BY
J. SCOTT

DATE REVISED
JUNE 12, 2008
JULY 24, 2008
JULY 30, 2008
AUG. 5, 2008

SHEET
1 OF **3**

JOB NUMBER
13-BASIC



TYPICAL WALL SECTION
SCALE = 1/2"=1'-0"



RIGHT SIDE (SOUTH) ELEVATION
SCALE = 1/4"=1'-0"



FRONT (EAST) ELEVATION
SCALE = 1/4"=1'-0"

J. SCOTT
DRAFTING, INC.
3579 S. ACCESS RD. UNIT 1
ENGLEWOOD, FLORIDA 33424
PHONE: (407) 473-2763
FAX: (407) 473-2763
E-MAIL: JSCOTT@ESSENTIAL-DRAFTING.COM

BUILT BY:
PCI CUSTOM HOMES

A RESIDENCE FOR:
MR. & MRS. O'DOWD
PALM AVE, BOCA GRANDE

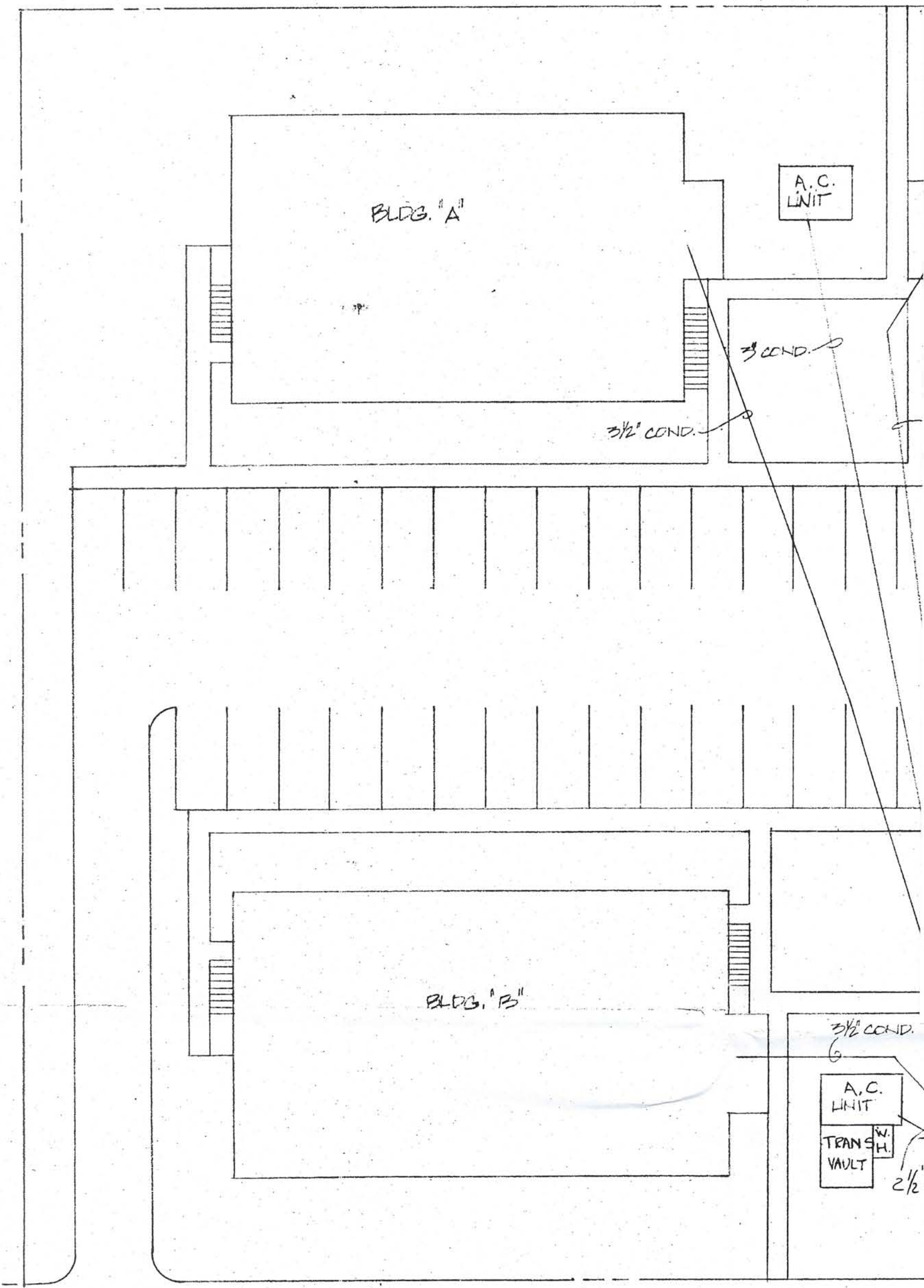
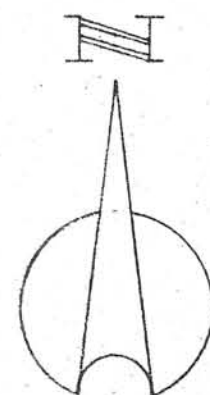
DATE DRAWN
JULY 17, 2018

DRAWN BY
J. SCOTT

DATE REVISED
JULY 24, 2018
JULY 30, 2018
AUG. 6, 2018

SHEET
2 OF 3

JOB NUMBER
13-BASIC



SCOTT
DRAFTING, INC.
222 S. 5TH ST., SUITE 101
TAMPA, FL 33601
TEL: 813-241-1111
FAX: 813-241-1112

DATE BY: PGI CUSTOM HOMES

A REQUEST FOR: MR. & MRS. O'DOWD
PALM AVE. BOCA GRANDE

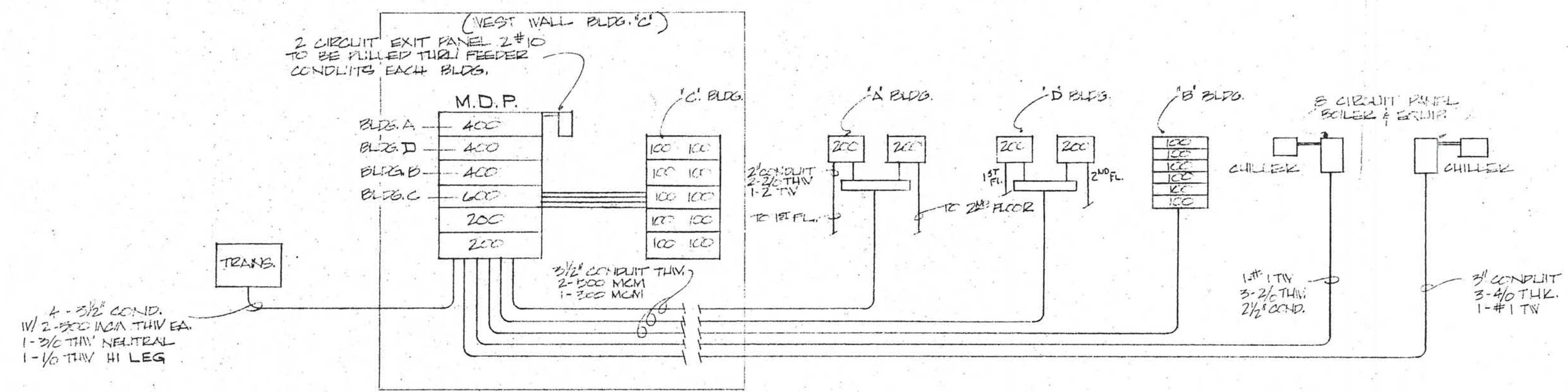
DATE DRAWN: JULY 25, 1998
DRAWN BY: A. WINTER

DATE REVISED:
JULY 25, 1998
JULY 27, 1998
JULY 28, 1998

SHEET 3 OF 3

FOR NUMBER 13-BASIC

SEVENTH ST.



• RISER DIAGRAM •
NOT TO SCALE

NOTES:
PANELBOARDS SHALL BE ITE, GE, OR S.Q.D., ALL PANELS TO BE BREAKER TYPE, MAIN DISTRIBUTION PANEL SHALL BE FUSE TYPE, A.C. DISCONNECTS SHALL BE FUSE TYPE, WITH FUSETRONS OF PROPER SIZE.

ELECTRIC HEAT SHALL BE OPERATED FROM RELAY AND CONTROLLED BY A.C. THERMOSTAT FOR HEATING & COOLING, RELAY TO BE LOCATED NEAR FAN COIL UNIT, HEATER SHALL BE RADIANT TYPE, VOLTAGE AS NOTED ON PRINT.

SERVICE TO BE 1600 AMP 1Ø, 400AMP. 3Ø, PAD MOUNT TRANSFORMERS TO POWER CO'S SATISFACTION. ALL ELECTRICAL UNDER ONE METER AND C.T'S.

ELECTRICAL: SITE PLAN
SCALE: 1" = 20' 0"
GASPARILLA, INN INC.
BOCA GRANDE, FLORIDA

BY: V.C. BEALL & ASSOC. INC.
1600 MYRTLE ST.
SARASOTA, FLORIDA

CARL A. VOLLMER
EARL J. DRAEGER

ARCHITECTS
3225 SO. TAMiami TRAIL
SARASOTA, FLORIDA
PHONE 958-2835

COMMISSION NO. 59141
MAR. 5, 1970

EI

ABBREVIATIONS:

A.=Arc
 Alum.=Aluminum
 Approx.=Approximate
 B.M.=Bench Mark
 (C)=Calculated data
 C.=Chord dimension
 C.B.=Chord Bearing
 C.M.=Concrete Monument
 Conc.=Concrete
 (D)=Deed data, Description data
 D.E.P.=Department of Environmental Protection
 D.N.R.=Department of Natural Resources
 D.O.T.=Department of Transportation
 Drain.=Drainage
 El.=Elevation
 Es'mt.=Easement
 (F)=Field data
 Fin. Fl.=Finished Floor
 Fnd.=Found
 Gar. Fl.=Garage Floor
 Inv.=Invert
 L.B.=Land Surveying Business
 L.S.=Land Surveyor
 (M)=Measured data
 M.H.W.L.=Mean High Water Line
 M.P.=Metal Pipe
 M.R.=Metal Rod
 N.A.V.D.=North American Vertical Datum 1988
 N.G.V.D.=National Geodetic Vertical Datum 1929
 O.R.=Official Records
 (P)=Plat data
 P.C.=Point of Curvature
 P.C.C.=Point of Compound Curvature
 P.C.P.=Permanent Control Point
 P.I.=Point of Intersection
 P.K.=PARKER-KALON
 P.L.S.=Professional Land Surveyor
 P.O.B.=Point of Beginning
 P.O.C.=Point of Commencement
 P.O.L.=Point on Line
 P.O.T.=Point of Terminus
 P.R.C.=Point of Reverse Curvature
 P.R.M.=Permanent Reference Monument
 P.S.M.=Professional Surveyor and Mapper
 P.T.=Point of Tangency
 R.=Radius
 R/W=Right-of-Way
 S.F.=Square Feet
 Sta.=Station
 Struc.=Structure
 T.B.M.=Temporary Bench Mark
 Typ.=Typical
 (U)=Unrecorded data
 U.S.G.S.=United States Geodetic Survey
 Util.=Utility
 Wit. Cor.=Witness Corner
 WTWY=Waterway
 ☉ =Centerline
 ☐ =Property Line

LEGEND:

- = Found 4"x4" Concrete Monument (number noted if any)
- = Found No. 5 Rebar (I.D. noted if any)
- ▲ = Found P.K. Nail and Disc (I.D. noted if any)
- = Spot Elevation
- = Set 4"x4" Concrete Monument with Cap L.B. #3943
- = Set No. 5 Rebar with Cap L.B. #3943
- △ = Set P.K. Nail and Disc L.B. #3943
- ⊗ = Utility Box
- ⊙ = Utility Pole
- = Guy Wire Anchor
- ⊕ = Water Meter
- ⊖ = Water Valve
- ⊛ = Fire Hydrant
- /// = Overhead Utility Line
- × = Barb Wire or Wire Fence
- = Chain Link Fence
- = Wood Privacy Fence

Legend symbols are not to scale and are for graphic I.D. only.

SURVEY PURPOSE: CONSTRUCTION

FND. 4" M.P.
 AT BLOCK CORNER
 (NO I.D.)

NINTH STREET
 (50' R/W)

FND. 4" M.P.
 AT BLOCK CORNER
 (NO I.D.)

S.90°00'00"E. 220.48'(P)
 S.89°59'59"E. 220.47'(C)

110.25'(P)110.24'(C)

60.00'

LOT 2
 BLOCK 56
 (DEVELOPED)

LOT 21
 BLOCK 56
 (DEVELOPED)

SET No.5 REBAR
 & CAP
 L.B. #3943
 FND. 3"x3" C.M.
 (NO I.D.)(0.74' N.E.)

FND. 3"x3" C.M.
 WITH X-CUT
 (NO I.D.)

B.M. EL.=3.46'
 (N.A.V.D. 1988)
 FND. MAG NAIL
 & DISC

DESCRIPTION:

LOTS 19 AND 20, BLOCK 56, REVISED PLAT OF BOCA GRANDE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGES 1 & 1-A, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

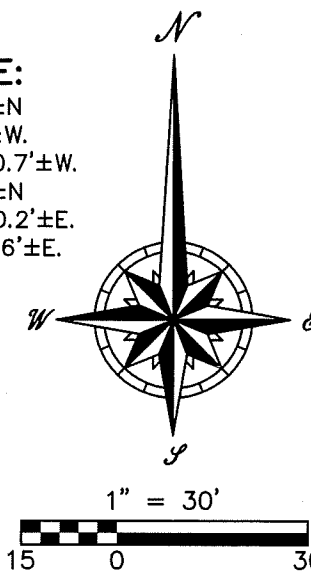
SURVEYOR'S NOTATIONS:

1. FLOOD ZONE: AE, (EL.=10). PER FLOOD INSURANCE RATE MAP, COMMUNITY NO. 125124, PANEL NO. 0019F. REVISED DATE 9/19/84.
2. ELEVATIONS ARE BASED ON N.A.V.D. 1988.
3. MAG NAIL & DISC AT THE EAST PAVEMENT OF PALM AVENUE AT THE SOUTH PROPERTY LINE OF LOT 19, BLOCK 56, BEING EL.= 3.42'.
4. BEARINGS ARE BASED ON ASSUMED DATA, BEING S.13°48'00"E ON THE WESTERLY R/W LINE OF PALM AVENUE.

PREPARED FOR THE EXCLUSIVE USE OF:
 IAN B. ROGERSON;
 PCI CUSTOM HOMES.

LOCATION TABLE:

- A=END OF FENCE 0.2'±N
 B=FENCE CORNER 0.6'±W.
 C=FENCE CORNER 0.3'±N, 0.7'±W.
 D=FENCE CORNER 0.6'±N
 E=FENCE CORNER 0.6'±N, 0.2'±E.
 F=FENCE CORNER 1'±N, 0.6'±E.



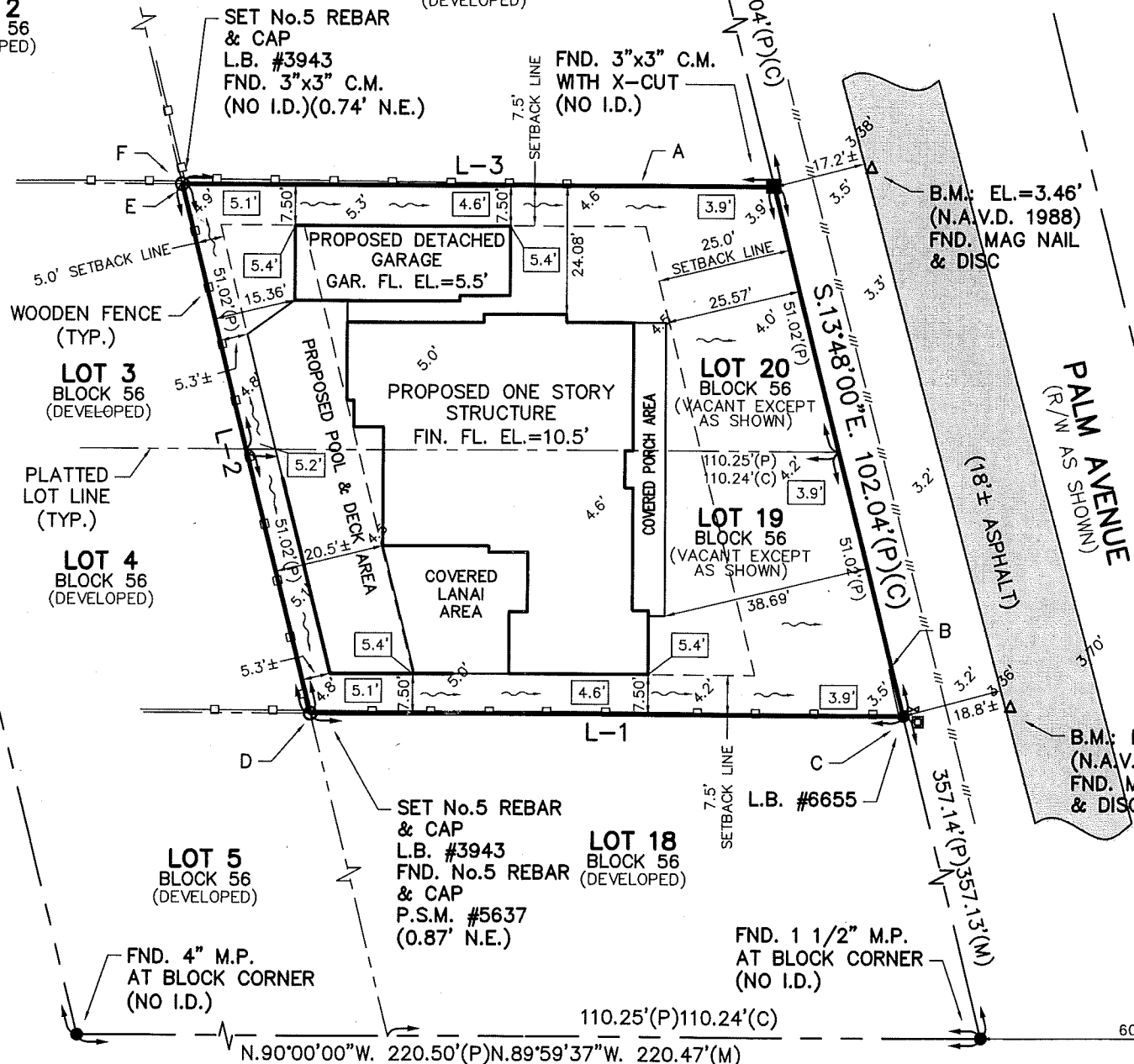
SITE PLAN LEGEND:

- 3.9' =EXISTING ELEVATION
 [3.9'] =PROPOSED ELEVATION

— =FLOW ARROW

LINE TABLE:

- L-1=N.89°59'40"W. 110.24'(C)
 N.90°00'00"W. 110.25'(P)
 L-2=N.13°48'00"W. 102.04'(P)
 N.13°48'01"W. 102.03'(C)
 L-3=S.90°00'00"E. 110.25'(P)
 S.89°59'50"E. 110.24'(C)



SEVENTH STREET
 (50' R/W)

DMK ASSOCIATES
 ENGINEERS ■ SURVEYORS
 435 Commercial Court, Suite 200
 Venice, FL 34292
 TEL: (941) 412-1293
 FAX: (941) 412-1043

TYPE OF SURVEY: **SITE PLAN & DRAINAGE**
 ACCURACY STANDARD: SUBURBAN

JOB NO.:	REVISIONS:	DATE:	FIELD BOOK	PAGE:	DRWN BY:	CHK'D BY:
13-0093		06/11/13	13-04	40-42	TDM	JRM
-	SITE PLAN & DRAIN.	08/14/13	-	-	TDM	JRM

NOTE: The undersigned and DMK Associates, Inc. do not guarantee or assume any liability for any easements, flood zones, rights-of-way, setbacks, reservations, restrictions, agreements, or similar matters which are not physically visible on-site, shown on record plat, or provided matters of Title. Unless otherwise noted subsurface structures, utilities and jurisdictional wetlands, if any, have not been located. Unless otherwise noted this survey was prepared without benefit of Abstract or commitment of Title. All matters of Title should be referred to an Attorney of Law. No liability will be taken for usage of this survey by any party not specifically named herein.

NOTE: "Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper". Additions, Deletions, or Reproductions of this survey is prohibited without the written consent of DMK Associates, Inc.

SURVEYOR'S CERTIFICATE:

This sketch of survey represents the results of a field survey prepared under my direction, is true and correct to the best of my knowledge and belief and has only been prepared to comply with Minimum Technical Standards effective the date of this survey as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes. Subject to all notes and notations shown hereon.

DMK ASSOCIATES, INC.

06/07/13

DATE OF FIELD SURVEY

06/12/13

DATE OF SIGNATURE

BY: *[Signature]*
 JEROME R. McLEOD
 Professional Surveyor and Mapper
 Florida Licensed No. 5525
 Land Surveying Business No. 3943
 File No. 13-0093



Commercial/Residential
Licensed/Insured
State Certified
CPC052515

A Division of Phil Grant Enterprises, Inc.

Office & Showroom:

1800 El Jobean Road (SR 776)

Port Charlotte, Florida 33948-1260

(941) 743-7566

FAX (941) 743-7395

CUSTOMER INFORMATION

Name Mr & Mrs. O'Daniel

Address Palm Ave

City Boca Grande County LEE

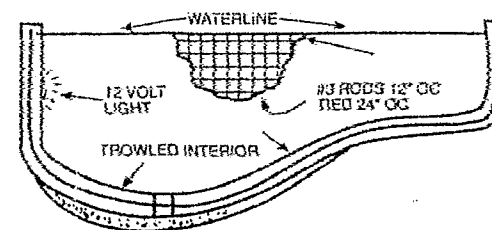
Home Phone _____ Work Phone _____

Builder _____ Phone _____

Submit Permit To _____ County

Legal Description: Lot _____ Block _____

Section: _____ Sub Div. _____



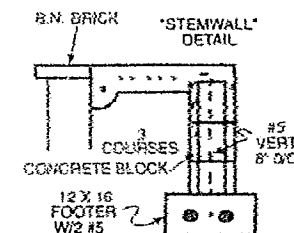
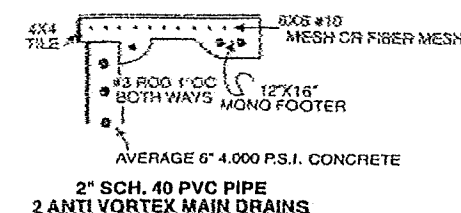
Scale 1/8" = 1'0"

Locations, points, dimensions, and construction specifications have been explained to me and I approve of them. Everything we have discussed is shown and there are no verbal agreements. I understand that any changes may necessitate extra charges.

Authorized Signature _____

Date _____

POUR OVER DECK



MAIN DRAIN SUCTION COVERS
Compliant with
ANSI / ASME A112.19.8M
STANDARDS

Access _____
Electric _____
Water _____
Septic _____
Trees _____

GENERAL SPECIFICATIONS

Size 10' x 25' Perimeter _____

Shape rectangular Depth _____ to _____

Earth Disposal _____

Pool Deck _____ sq.ft. _____

Existing Lanai _____ sq.ft. _____

Existing Entry _____ sq.ft. _____

Stemwall/#of Courses _____

Pool Deck Elevation _____

Prewire/Electric _____

Time Clock/Transformer _____ GFI _____

Swim Out _____ Lounge Seat _____

Return Inlets _____ Therapy Jets _____

Pool Light _____ Handrail _____

Pump/HP _____ Filter _____

Chlorinator _____

Fountain _____ Fountain Pump _____ Light _____

Planters _____ In Deck _____ Raised _____

Cantilever _____ Brick _____

Pool Heater* _____ Pool Cover _____

Pool Cleaner/Type _____

Spa _____ Size _____ Shape _____

Raised _____ Step _____ Rail _____

Pump/HP _____ Blower/HP _____ Jets _____

Air Ring _____ Air Switch _____

Spa Light _____ Spa Cover _____

Spa Heat* _____

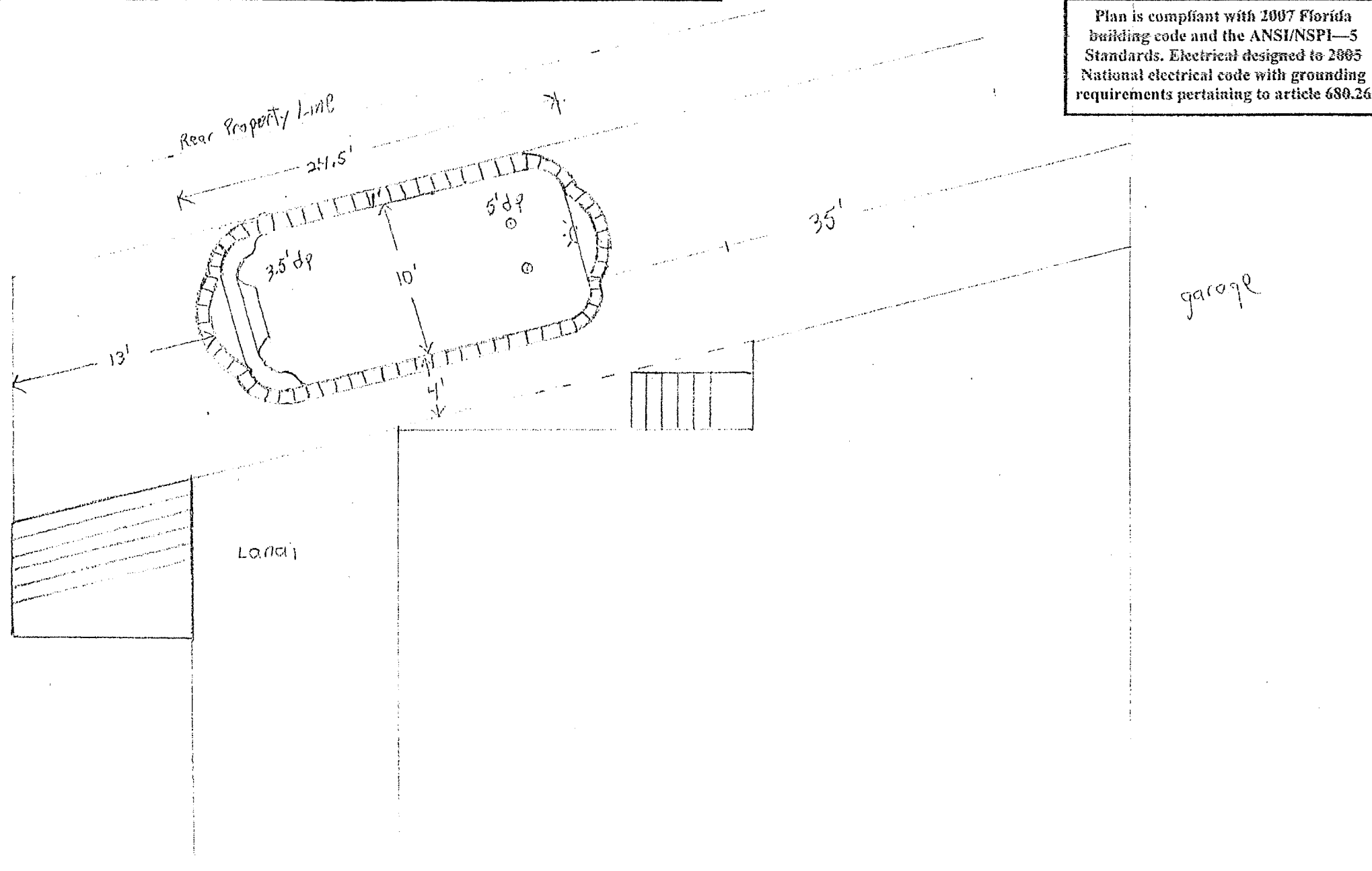
Cage/Size _____

Color _____ Roof Type _____ Wall Height _____

Doors/It _____ Gutters _____ Splash Guard _____ FL. Glass _____

* Gas Line, Gas Tank & Hook-up Not Included.

Designed By _____ Date _____



Plan is compliant with 2007 Florida building code and the ANSI/NSPI-5 Standards. Electrical designed to 2005 National electrical code with grounding requirements pertaining to article 680.26

COA 2013-00114



HISTORIC PRESERVATION PROGRAM SPECIAL CERTIFICATE OF APPROPRIATENESS

Lee County Planning Division, PO Box 398, Fort Myers, FL 33902
Phone: (239) 533-8585 / FAX: (239) 485-8344

COA No. 2013-00114	Designation No. HD90 05 01	Date Filed:
---------------------------	-----------------------------------	-------------

<input type="checkbox"/> Contributing	<input checked="" type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
---------------------------------------	--	---	---

Name of Project: **Gilcrest LLC**

Location: **331 Gilchrist Ave. Boca Grande, FL 33921**

STRAP No.: **14-43-20-01-00017.0100**

Name of Applicant or Agent*: **John Outerbridge**

(*All correspondence with regards to the Certificate of Appropriateness will be sent to the party identified above)

Address: **2800 Placida Rd. Suite #107**

City, State, Zip: **Englewood, FL 34224**

Phone Number: **941-697-4644**

Fax Number: **941-697-4605**

Email Address: **Kirby.outergridge@embarqmail.com**

Name of Historic District (if applicable): **Boca Grande**

Check all that apply: ☒ Building ☐ Archaeological Site ☐ Object ☐ Landscape Feature

Project Description (describe all work proposed):

☒ Alteration ☐ Demolition ☒ New Construction ☐ Reconstruction ☐ Rehabilitation ☐ Relocation

Narrative: **Add rear porch**

Change in Use: ☒ No ☐ Yes

If yes, explain.

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? ☒ No ☐ Yes

If yes, explain.

Has a development order or exemption been applied for prior to or concurrent with this application? ☒ No ☐ Yes

If yes, explain.

***** FOR STAFF USE ONLY *****	
Date Issued:	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED*
Certified by:	
*Explanation attached	

COA2013-00114 Gilcrest LLC, 331 Gilchrist Ave. Boca Grande, FL 33921



COA2013-00114 Gilcrest LLC, 331 Gilchrist Ave. Boca Grande, FL 33921



Subject Property
331 Gilchrist Ave

**BOCA GRANDE HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2013 – 00114 Gilchrist LLC 331 Gilchrist St Boca Grande Fl 33921

HEARING DATE: September 11, 2013

SUMMARY

The subject property is a non-contributing property in the Boca Grande Historic District HD 90-05-01. The STRAP number is: 14-43-20-01-00017.0100; the address is: 331 Gilchrist Ave, Boca Grande, Fl. The residence is at the southwest corner of Gilchrist Ave and 3rd St W. The proposed project entails the addition of a porch to the second floor of the rear (west) elevation. Staff analyzed the proposed project for compliance with the Boca Grande Design Guidelines

STAFF ANALYSIS

The construction of the existing residence was approved by the Boca Grande Historic Preservation Board on April 11, 2012, case number COA 2011-00141. See attached staff report. The applicant has provided plans that show both the proposed and existing west and south elevations so that the proposed changes can be compared with the existing conditions.

The subject house is a contemporary Colonial Revival style house. It is a two-story house featuring horizontal siding and metal hip roofs. On the first floor it features a porch that wraps around the front, south side and rear elevations and is covered by low pitched, metal, partial hip roofs. The porch on the rear (west) elevation runs for roughly 65-ft or for the full length of the first floor. The width of this porch varies from 6-ft to 8 ½-ft. The porch is accessed from the house by a series of French doors that open to the porch.

The second floor has a length of roughly 45-ft and on the rear (west) elevation features two single windows at the center of the elevation and a pair of windows at either end of the elevation.

The proposal calls for adding a 10-ft wide covered porch for 45-ft or the length of the second floor, rear (west) elevation. The proposed porch is wider than the existing first floor porch and as a result projects over it. To build this porch the partial hip roof over the first floor porch would be removed and the proposed porch's floor installed. The proposed porch would be covered by a low pitched partial hip roof with exposed rafter tails; the roof would be supported by five columns. The roof style would match that of the existing roofs on the house. To access the porch from the second floor three French doors would be installed: two would replace the pair of windows at either end of the elevation and the third French door would be located between the existing two single windows at the center of the elevation.

Overall staff believes this is a well thought out project that is in keeping with the design guidelines of the Boca Grande Historic District.

Design Guidelines for the Boca Grande Historic District.

In evaluating the project also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure. N/A

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings. N/A

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block. N/A

1.6 Maintain the traditional proportions of glass in building facades. N/A

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances. N/A

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features. N/A

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces. N/A

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade. N/A

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback. N/A

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges. N/A

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found. N/A

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms.

The proposed addition of a porch on the second floor of the rear elevation is compatible with the size, scale, materials and character of the house and its environment. The porch is designed so that it complements the existing house. The roof matches the existing roof style of the house. The proposed French Doors on the second floor complement the French doors on the first floor. The second floor porch will be staggered on top of the existing first floor porch – again complementing an already existing porch.

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts.

The porch will be located at the rear of the house and not affect the front elevation.

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district. N/A

4.2 Align the façade of the building with the historic setbacks of the block or district. N/A

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area. N/A

4.4 Building and roof forms should match those used historically. N/A

4.5 Use similar building materials to those used historically for all major surfaces. N/A

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row. N/A

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION:

Staff recommends that the Boca Grande Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District.

COA2013-00114 Gilcrest LLC, 331 Gilchrist Ave. Boca Grande, FL 33921

West and South elevations of the subject house. The project entails replacing the shed roof over the first floor porch on the west elevation to construct an additional porch on the second floor of the rear (West) elevation



COA2013-00114 Gilcrest LLC, 331 Gilchrist Ave. Boca Grande, FL 33921



Adjoining house to the West

House by the Gulf on the North side of 3rd St. W



Streetscape on the South side of 3rd St. W

BOCA GRANDE HISTORIC PRESERVATION BOARD STAFF REPORT

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2011 – 00141 Gilchrist LLC 331 Gilchrist St Boca Grande Fl 33921

HEARING DATE: April 11, 2012

SUMMARY

The subject property is a non-contributing property in the Boca Grande Historic District HD 90-05-01. Staff analyzed the proposed project for compliance with the Boca Grande Design Guidelines. The STRAP number is: 14-43-20-01-00017.0100; the address is: 331 Gilchrist Ave, Boca Grande, Fl. The proposed project entails the new construction of a single family residence at the corner of Gilchrist Ave and 3rd St W.

STAFF ANALYSIS

The subject parcel is a vacant lot (roughly 87-ft x 100-ft) at the northwest corner of the 3rd St and Gilchrist Ave. The lot has roughly 100-ft frontage on Gilchrist Ave and roughly 87-ft on 3rd St. Vehicular access will be limited to 3rd St where a double garage will be located just west of the proposed residence. This is a peculiar lot as the V-zone terminates in the western portion of the lot. As a result construction to the west of the V-zone line will have to meet V-zone elevation standards and construction to the east of that line will have to meet A-zone elevations standards.

The proposed garage will be built west of the line and will meet V-zone standards. The house will be built east of the line meet A-zone standards.

Square Footage Information about the proposed house

The total square footage of the house is 4,482 sq ft and of that 2,964 sq ft is under A/C. The balance includes a garage and a variety of porches.

Total Square Footage of the House				
	A/C SF	Non A/C SF (detached garage)	Non A/C SF front porch & rear lanai	Total SF
First Floor	1,760		1,000	2,760
Second Floor	1,204			1,204
Garage		518		
Total	2,964	518	1,000	4,482

The Proposed House

Garage and Pool in the V-zone: To deal with the design constraints posed by a lot that straddles flood zones, the applicant proposes to build a detached garage to V-zone construction standards on the western section of the lot. The garage will have a footprint of roughly 23-ft by 23-ft and a height of roughly 14 ½ ft from grade to roof peak. The garage will feature a metal hip roof and horizontal hardiplank siding. It will be setback roughly 5-ft from the west side property line and 26-ft from the front property line on 3rd St. Since the house will be setback 20-ft from the front property line, the proposed garage will be recessed beyond the house. This treatment is in keeping

with the design guidelines which tend to avoid highlighting garages. Directly behind the garage will be an elevated pool and deck. The pool and deck will be roughly 45-ft long and 21-ft wide. Two story single family house in the A-zone: The proposed house is a two-story contemporary house with elements of the Colonial Revival style and of the existing historic cottages in the district. It will feature a horizontal hardiplank siding. On the second floor the house will feature a metal hip roof with a shed dormer on the front elevation. The design of the house is traditional and symmetrical. The first floor will feature a partial hip roof over the wide wrap-around porch. All windows will have decorative multiple lights and decorative shutters. Excluding the garage the footprint of the first floor will be roughly 2,760 sq ft: 1760 in air conditioned space and 1,000 sq ft in porches and lanais.

This building will be constructed in the A-zone and have a maximum height of roughly 33-ft from existing grade to roof peak. In the A-zone the building will have to be elevated roughly 4 ½ ft from existing grade or about 3 ½ ft from finished grade.

The house will have roughly 72 ft frontage on Gilchrist Ave. and roughly 33-ft on 3rd St W and be setback roughly 20 ft from the front property line on both streets. On the Gilchrist Ave (east) elevation on the first floor the house will have a long (roughly 62-ft) 6-ft wide, open porch that will wrap around the north side elevation for the length of the house on 3rd St W. The porch will feature a metal, partial hip roof supported by decorative columns and a railing with straight balusters.

The front elevation (east elevation) on Gilchrist Ave. the porch will be accessed by incised steps leading to a pair of French Doors recessed into the building. The French Doors will have light surrounds. As noted the front porch is roughly 62-ft long and does not run the full length of the front elevation (which is roughly 72-ft). The second story is roughly centered over the front porch – each window on the second floor is over a window on the first floor -- except of the central window which is over the first floor entrance. This design minimizes the impact of the full façade on Gilchrist Ave. by highlighting a façade that is 62-ft long instead of the full 72-ft.

On 3rd St W. (south side elevation) the second floor will feature a single window which is centered above the two windows on the first floor. The porch runs the length of the south elevation and terminates with a set of side stairs incised under the porch. The north side is similar to the south side except it lacks the porch. Like the south side, north side features a single window centered above the two windows on the first floor.

On the rear (west) elevation the first floor will feature a series of French Doors opening to a porch under a partial metal hip roof and then to the raised pool deck and pool. The second floor will feature two single windows flanked on each side by a pair of windows.

Overall staff believes this is a well thought out project that is in keeping with the design guidelines of the Boca Grande Historic District. This contemporary Colonial Revival building appears to be well suited to this corner, which is one of the most visible corners in the district.

Design Guidelines for the Boca Grande Historic District.

In evaluating the project also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

While the house is roughly 33-ft high from existing grade to roof peak, there are various design elements that minimize the impact the height on the streetscape. By bringing in fill to the site the mass of the building will be minimized. Additionally while the roof heights are measured to the roof peaks, the prevailing height will be lower as these hip roofs taper to lower heights at eaves. Also the second floor roof is smaller than the first floor as it does not cover the entire first floor. The first story porch is covered by a partial hip roof with adds a strong horizontal element. The house provides front facades for Gilchrist Ave and 3rd St W. By including a detached garage of low height, and recessed farther from the street setback than the house, applicant successfully minimized the impact of the garage on the street. In general the proposed design is in keeping with the range of heights and building masses already found in the district and on this particular block.

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

The proposed house is a contemporary Colonial Revival house whose design is in keeping with the traditional pattern of setbacks, entrances and alignment of facades.

1.3 Additions should attempt to maintain the overall sense of size of the building. N/A

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block.

This house is a contemporary house which has kept the traditional alignment of horizontal and vertical elements.

1.6 Maintain the traditional proportions of glass in building facades.

The proposal calls for traditional sized windows and French doors (typical of the district).

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The proposal maintains the traditional alignment between rooflines, porch protrusions and entrances. The building presents a complexity of mass and height in order to minimize the impact of the proposed building and maintain a traditional alignment.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

The principal feature of this site is that it is located at the corner of Gilchrist Ave and 3rd St W. This is one of the most visible corners in the district. A contemporary Colonial Revival house with wrap around porches appears to fit in nicely with the character of the district in this location. The house provides front facades to both Gilchrist Ave and 3rd St W.

By including a detached garage of low height, applicant successfully minimized the mass of the house on 3rd St.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces.
The proposed building maintains the traditional orientation

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade.
The vertical and horizontal proportions of the building mass are maintained. The traditional symmetry of the Colonial buildings is maintained.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.
The proposed building with its porches maintains a 20-ft setback from Gilchrist Ave and 3rd St. The proposed porch is a traditional wraparound porch and visually preserves the traditional front setback.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges.
The garage will be setback roughly 26-ft from the front property line on 3rd St. Since the house will be setback 20-ft from the front property line, the proposed garage will be recessed beyond the house. This treatment is in keeping with the design guidelines which tend to avoid highlighting garages.

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.
The proposed pool deck is at the rear of the property and not visible from the street.

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms. N/A

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts. N/A

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district.

The proposed building is in a contemporary house that is harmonious in form and scale to the block or district. The house is a contemporary Colonial house featuring a metal roof and horizontal

hardiplank siding. While the house is roughly 33-ft high from existing grade to roof peak, there are various design elements that minimize the impact the height on the streetscape. By bringing in fill to the site the mass of the building will be minimized. Additionally while the roof heights are measured to the roof peaks, the prevailing height will be lower as these hip roofs taper to lower heights at eaves. Also the second floor roof is smaller than the first floor as it does not cover the entire first floor. The first story porch is covered by a partial hip roof with adds a strong horizontal element. The house provides front facades for Gilchrist Ave and 3rd St W. By including a detached garage of low height, and recessed farther from the street setback than the house, applicant successfully minimized the impact of the garage on the street.

4.2 Align the façade of the building with the historic setbacks of the block or district.

Generally the 20-ft setback aligns with the historic setback of the block or district.

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area.

As already noted, while the house is roughly 33-ft high from existing grade to roof peak, there are various design elements that minimize the impact the height on the streetscape. The proposed building appears to be similar in mass and scale to the historic structures in the block or the surrounding area.

4.4 Building and roof forms should match those used historically.

The proposed building is a contemporary Colonial eclectic building which is similar to the Colonial buildings found in the district. The main roof is a metal hip roof with secondary partial hip roofs over the porch and the lanai. The roofs are similar to those found historically.

4.5 Use similar building materials to those used historically for all major surfaces.

The proposed materials are metal roofs and horizontal hardiplank siding – both are found in the district especially in the new construction.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row.

The window sizes used are typical of those used historically. To create larger surfaces of glass the proposal uses several windows in a row or French Doors.

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

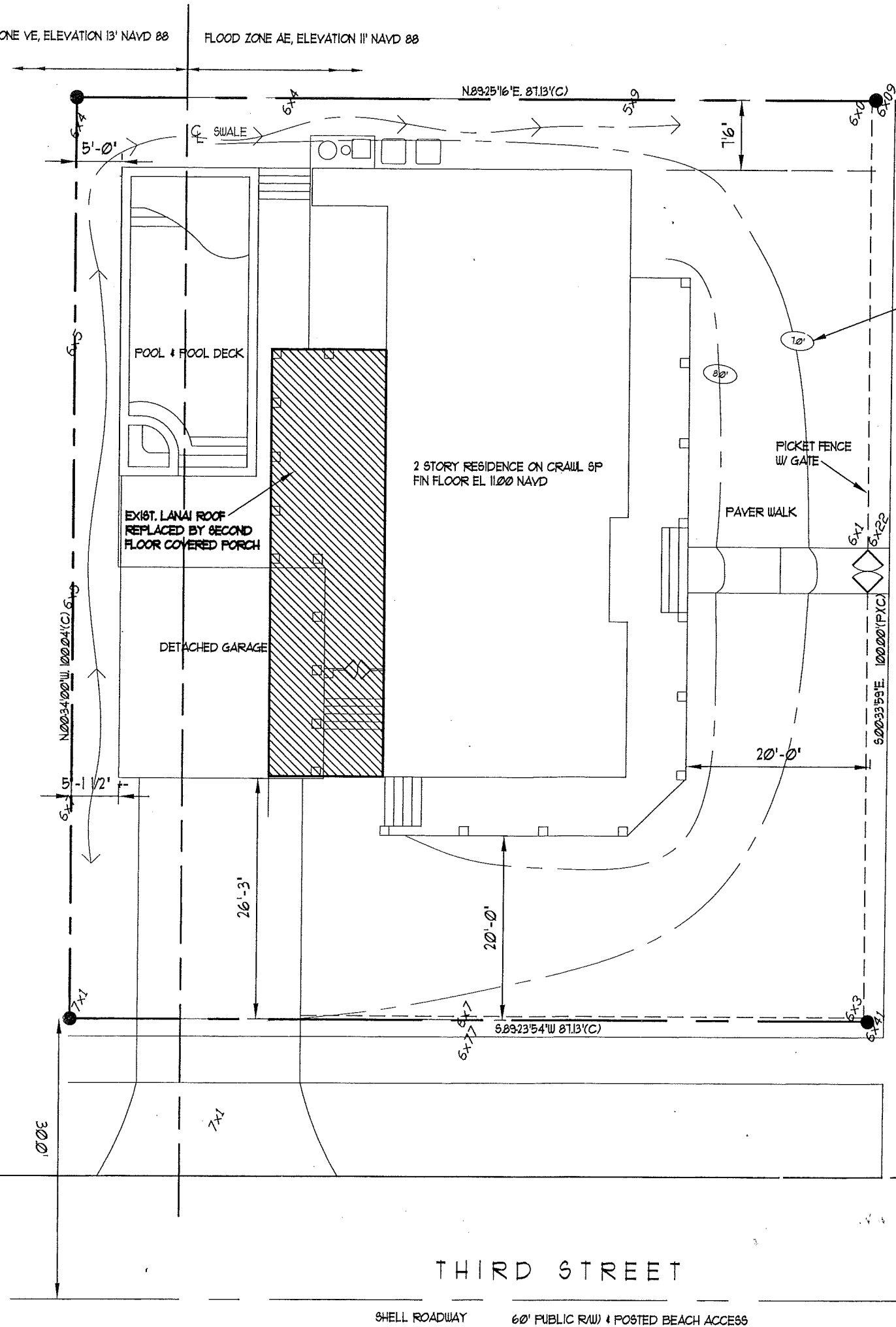
STAFF RECOMMENDATION:

Staff recommends that the Boca Grande Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District.

FLOOD ZONE VE, ELEVATION 13' NAVD 88

FLOOD ZONE AE, ELEVATION 11' NAVD 88

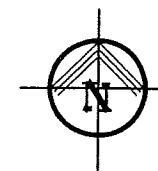


INDICATES FINAL GRADE

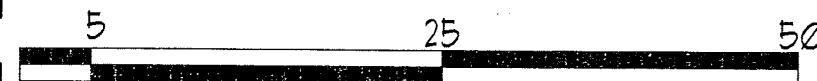
EXISTING CONCRETE WALK

(SOUTHBOUND LANES, 20' ASPHALT PAVEMENT)

GRASS AND TREE MEDIAN
GILCHRIST AVENUE
(120' PUBLIC R/W)



SITE PLAN



FOR COMPLETE SITE INFORMATION, SEE SURVEY DATED
10-06-2011 BY LANDMARK LAND CONSULTANTS
ENGLEWOOD, FL

NEW COVERED PORCH FOR
OUTERBRIDGE CONSTRUCTION

331 GILCHRIST AVE.

BOCA GRANDE, FL

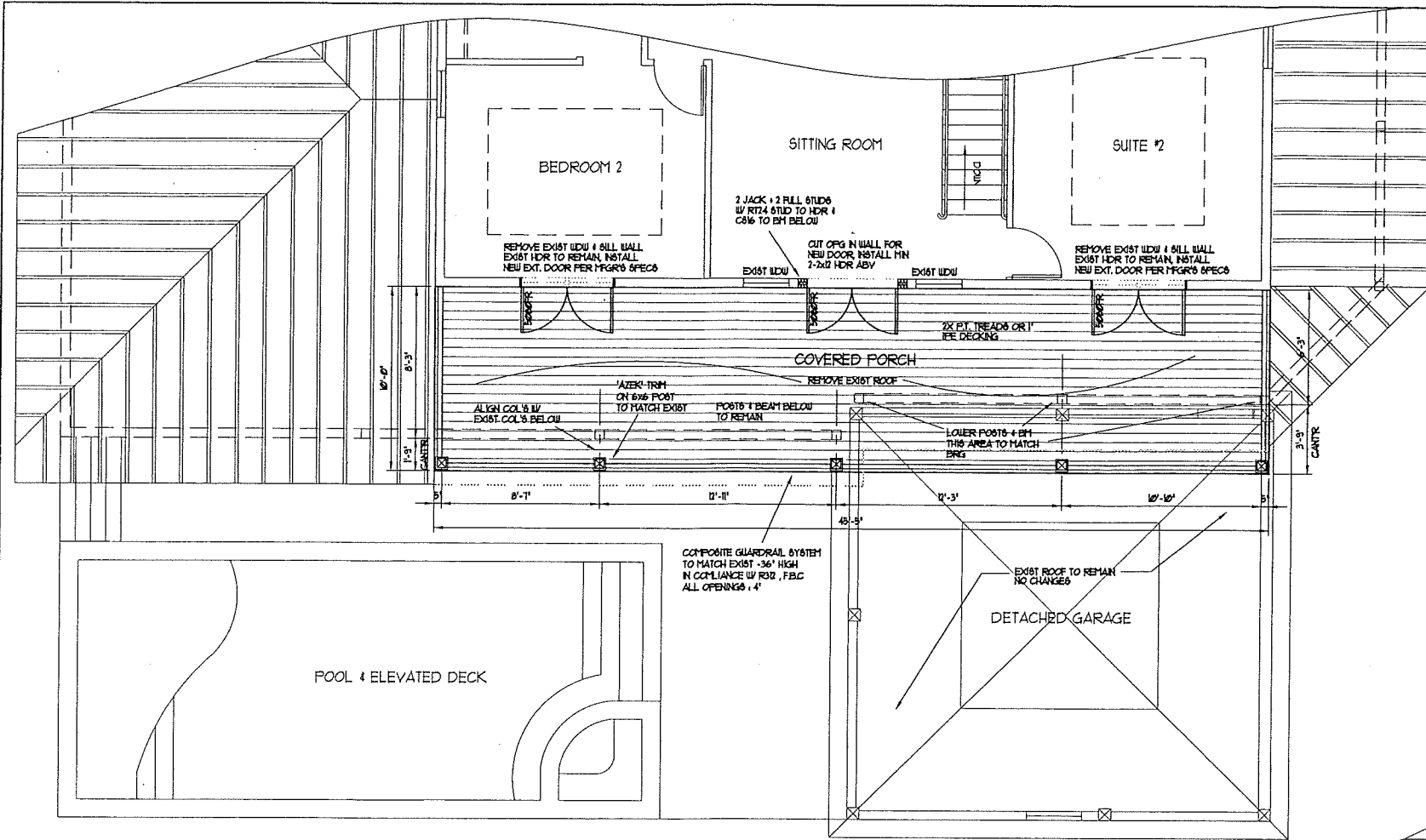
architect
l. a. krebs, LLC
AA 26002462
Edgewater Ctr. suite 4A
1460 McCall Rd. S
Englewood, Fla. 34223
(941) 475-7327

rev: 8-27-2013

date: 8-8-2013
job no. 2154

SP-1

drawing:

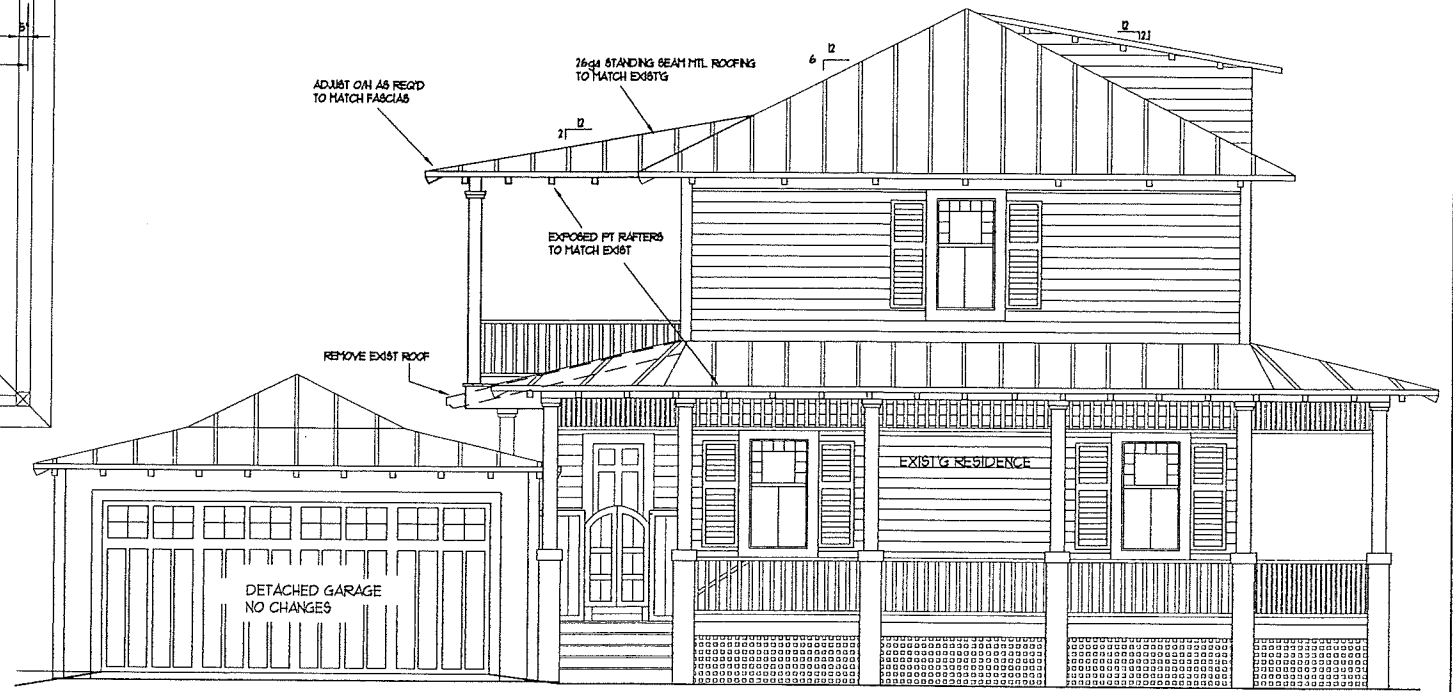


PORCH PLAN
SCALE: 1/4" = 1'-0"

OWNER/CONTRACTOR TO VERIFY ALL DETAILS
& DIMENSIONS (BOTH NEW & EXISTING) PRIOR TO
THE START OF CONSTRUCTION



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

THESE PLANS ARE IN COMPLIANCE WITH:

1. COMPLIANCE WITH SECTION 1609, 2010 EDITION OF THE FLORIDA BUILDING CODE FOR THE 160 MPH ULTIMATE WIND SPEED ZONE.
2. STRUCTURAL CALCULATIONS FOR GRAVITY LOADS.
3. IN COMPLIANCE WITH THE LEE COUNTY LAND DEVELOPMENT CODE, CHAPTER 14, ARTICLE II, DIVISION 2, SEA TURTLES, ALSO CHAPTER 6, ARTICLE III, COASTAL CONSTRUCTION CODE, AND ARTICLE IV, FLOOD HAZARD REDUCTION.
4. COMPLIANCE WITH THE 2010 F.B.C.

T.A. KREBS, NCARB
(941) 475-1321

**NEW COVERED PORCH FOR:
OUTERBRIDGE CONSTRUCTION**

331 GILCHRIST AVE. BOCA GRANDE, FL

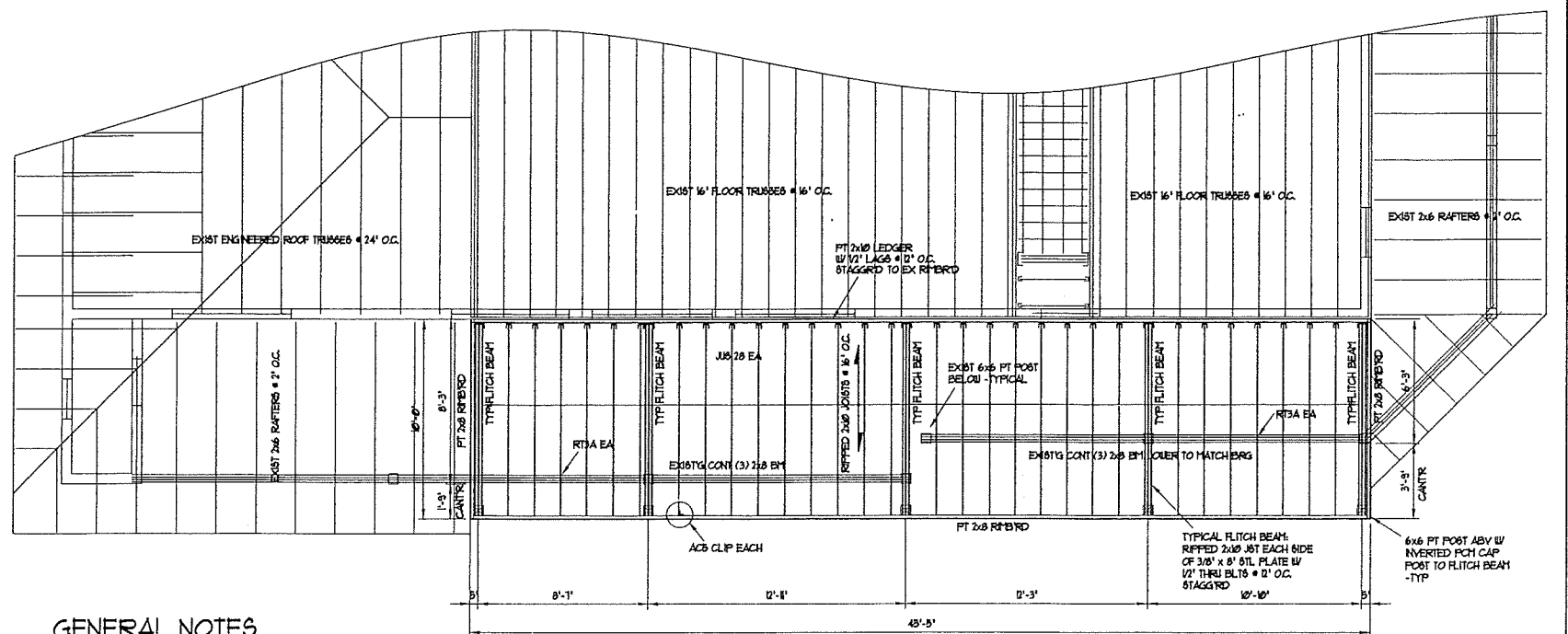
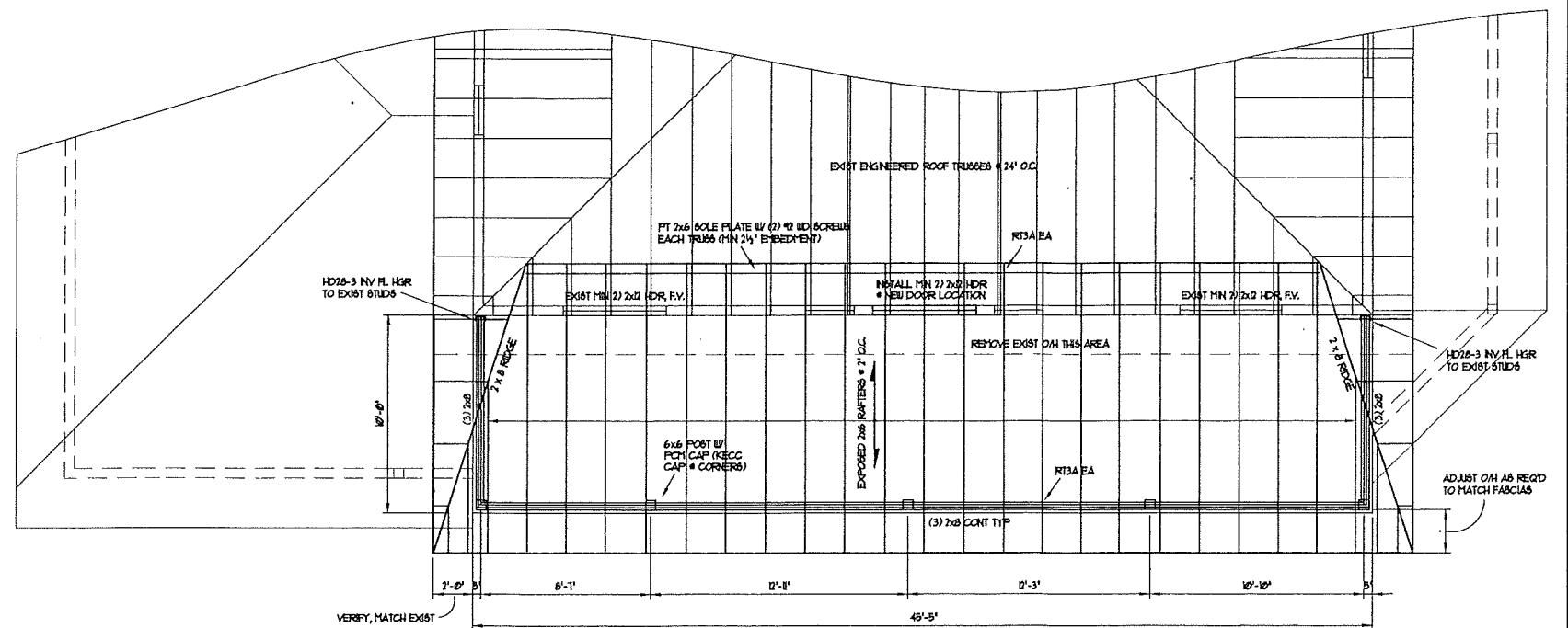
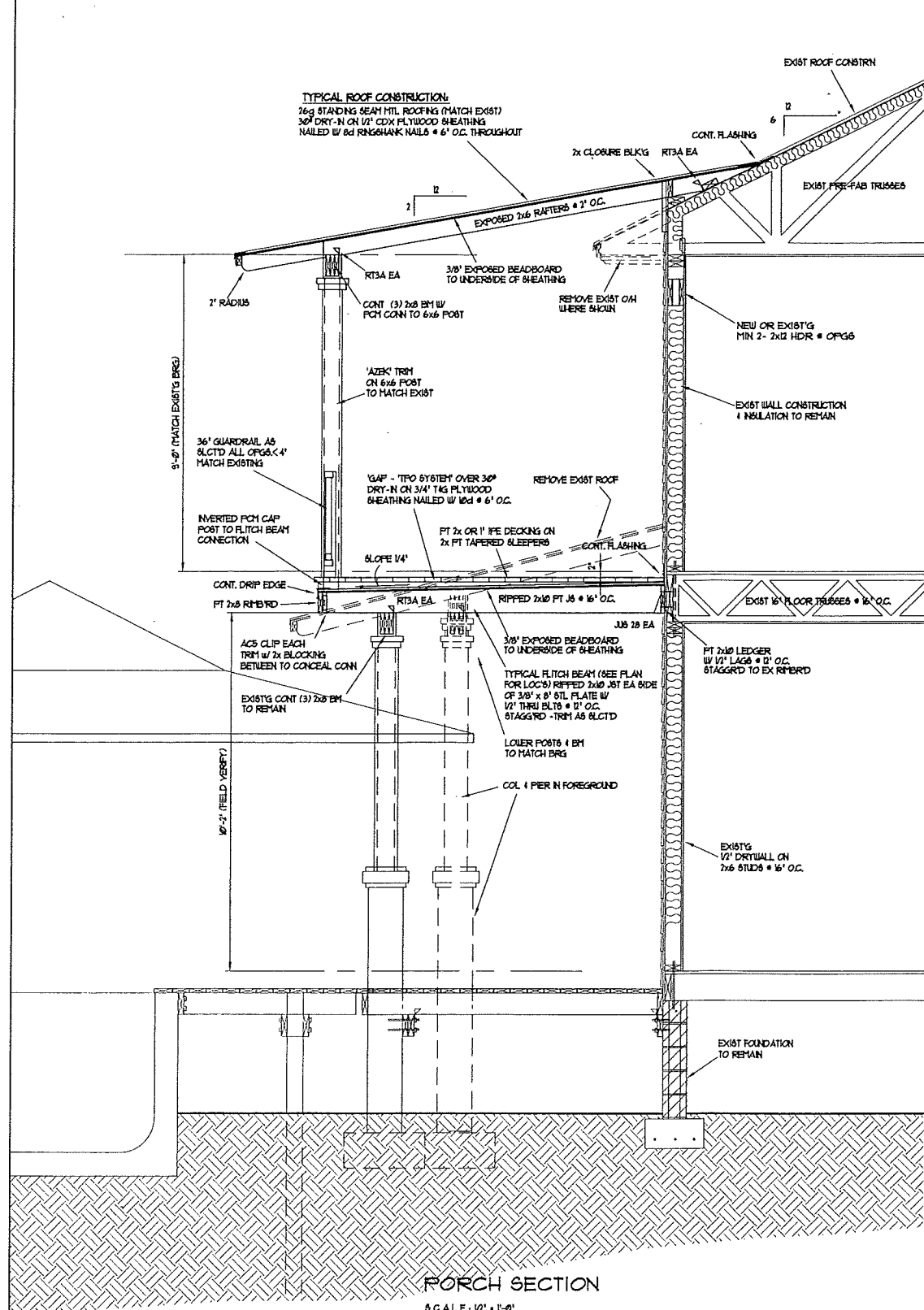
architect
la krebs, LLC
AA 26002462
Edgewater Ctr., suite 4A
1480 McCall Rd. S
Englewood, FL 34223
(941) 475-7327

revisions:

date: 8-27-13
job no. 2154-A

1 of 2

drawing:



GENERAL NOTES

1. ROOF DESIGN LIVE LOAD ----20 P.S.F.
FLOOR DESIGN LIVE LOAD ----40 P.S.F.
- WIND SPEED DESIGN ----- 160 MPH. ULTIMATE + 124 MPH. NOMINAL (125 MPH. USED)
BUILDING RISK CATEGORY II, EXPOSURE 'D'
PER A.S.C.E. 7-10
INTERNAL PRESSURE COEFFICIENT = +.18
- WIND BORNE DEBRIS REGION
ALL GLAZING SHALL BE IMPACT RESISTANT OR
PROTECTED BY APPROVED SHUTTERS
- DESIGN PRESSURES FOR DOORS
SECOND FLOOR
EXT. DOORS ----- 41.5 - 45.3 P.S.F.
2. ALL FRAMING LUMBER SHALL BE DOUG-FIR S-P-F, OR S. PINE,
-GRADE 2 OR BETTER W/ F_b 2000 P.S.I.
3. MICROLAM BEAMS SHALL BE AS MANUFACTURED BY "TRUSS JOIST"
OR APPROVED EQUAL; F_b 2000 P.S.I., E. 2,000,000 P.S.I.
4. ROOFING MATERIAL & FASTENING TO BE IN ACCORDANCE W/ MFG'S SPECIFICATIONS
(CONTRACTOR TO SUPPLY)
5. EXTERIOR DOORS BY: FGT OR MARVIN
ALL DOOR FASTENING TO BE IN ACCORDANCE
W/ MANUFACTURERS' SPECIFICATIONS.

revisions:

date: 8-27-13
job no. 2154-A

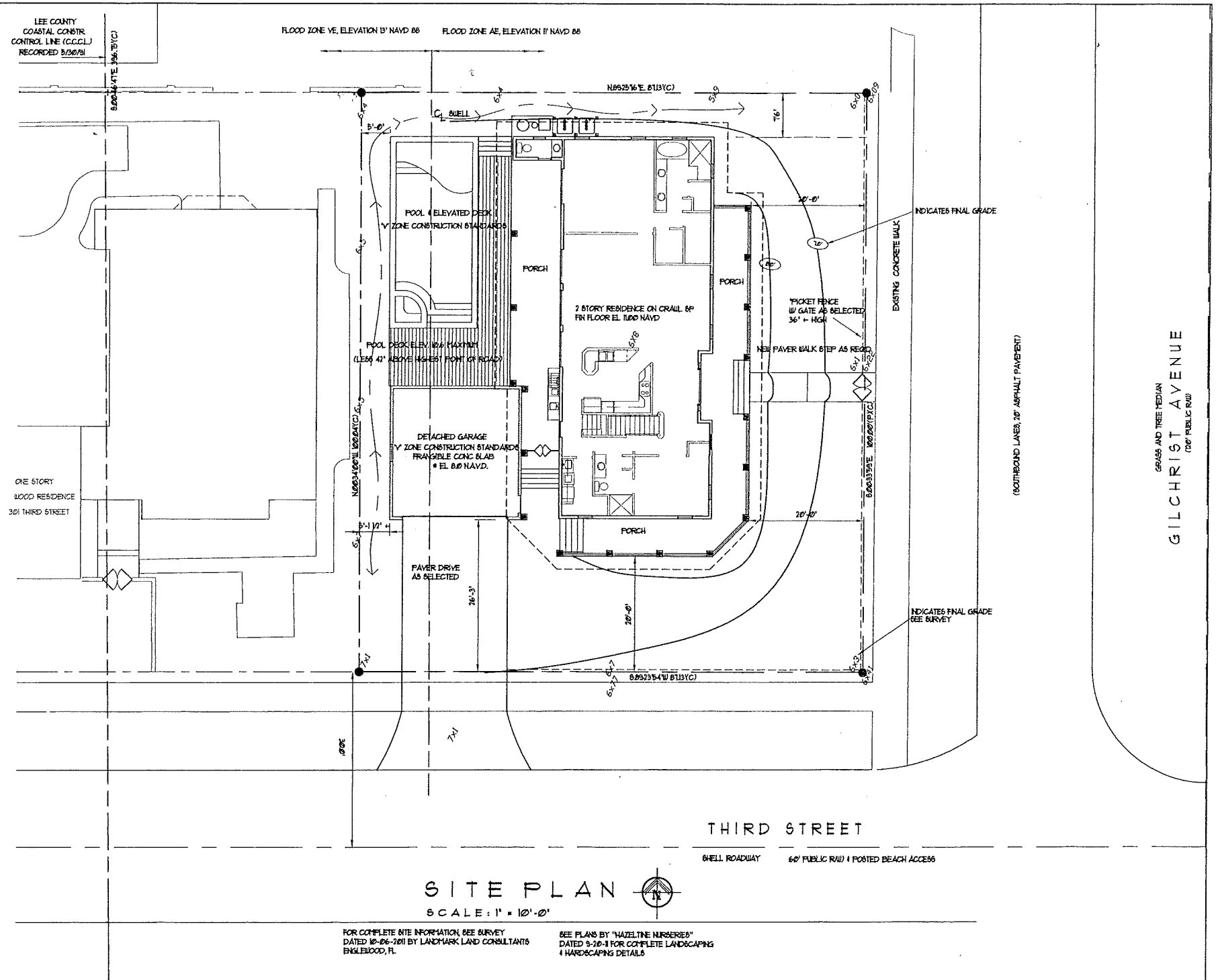
2 of 2

drawing:

NEW COVERED PORCH FOR:
OUTERBRIDGE CONSTRUCTION

331 GILCHRIST AVE. BOCA GRANDE, FL.

architect
la krebs, LLC
AA 26002462
Edgewater Cir. suite AA
1460 McCall Rd. S
Englewood, Fla. 34223
(941) 475-7327



Pages T-1, A-1, A-2, ELEV, A-5
Show Existing Conditions
House is Permitted & Built

THESE PLANS ARE IN COMPLIANCE WITH:

1. COMPLIANCE WITH SECTION 1609, 2010 EDITION OF THE FLORIDA BUILDING CODE FOR THE 160 MPH ULTIMATE WIND SPEED ZONE.
2. STRUCTURAL CALCULATIONS FOR GRAVITY LOADS.
3. IN COMPLIANCE WITH THE LEE COUNTY LAND DEVELOPMENT CODE CHAPTER 14, ARTICLE II, DIVISION 2, SEA TURTLES, ALSO CHAPTER 6, ARTICLE III, COASTAL CONSTRUCTION CODE, AND ARTICLE IV, FLOOD HAZARD REDUCTION.
4. COMPLIANCE WITH THE 2010 F.B.C.

T.A. KREBS, N.CARB
(941) 475-1371

ARCHITECTURAL

- T-1 INDEX
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN & SECTION
- A-3 ELEVATIONS & GENERAL NOTES
- A-4 ELEVATIONS
- A-5 CROSS SECTION & DETAILS

DETACHED GARAGE, POOL & DECK

- GP-1 PLAN & DETAILS (SEPARATE PERMIT)
- GP-2 SECTIONS & DETAILS

STRUCTURAL

- S-1 PILING/FOUNDATION PLAN
- S-2 FIRST FLOOR FRAMING PLAN
- S-3 FIRST FLOOR ROOF FRAMING PLAN
- S-4 SECOND FLOOR ROOF FRAMING PLAN

ELECTRICAL

- E-1 FIRST FLOOR ELECTRICAL PLAN
- E-2 SECOND FLOOR ELECTRICAL PLAN

revisions:
5-15-12
6-15-12
7-31-12
8-02-12

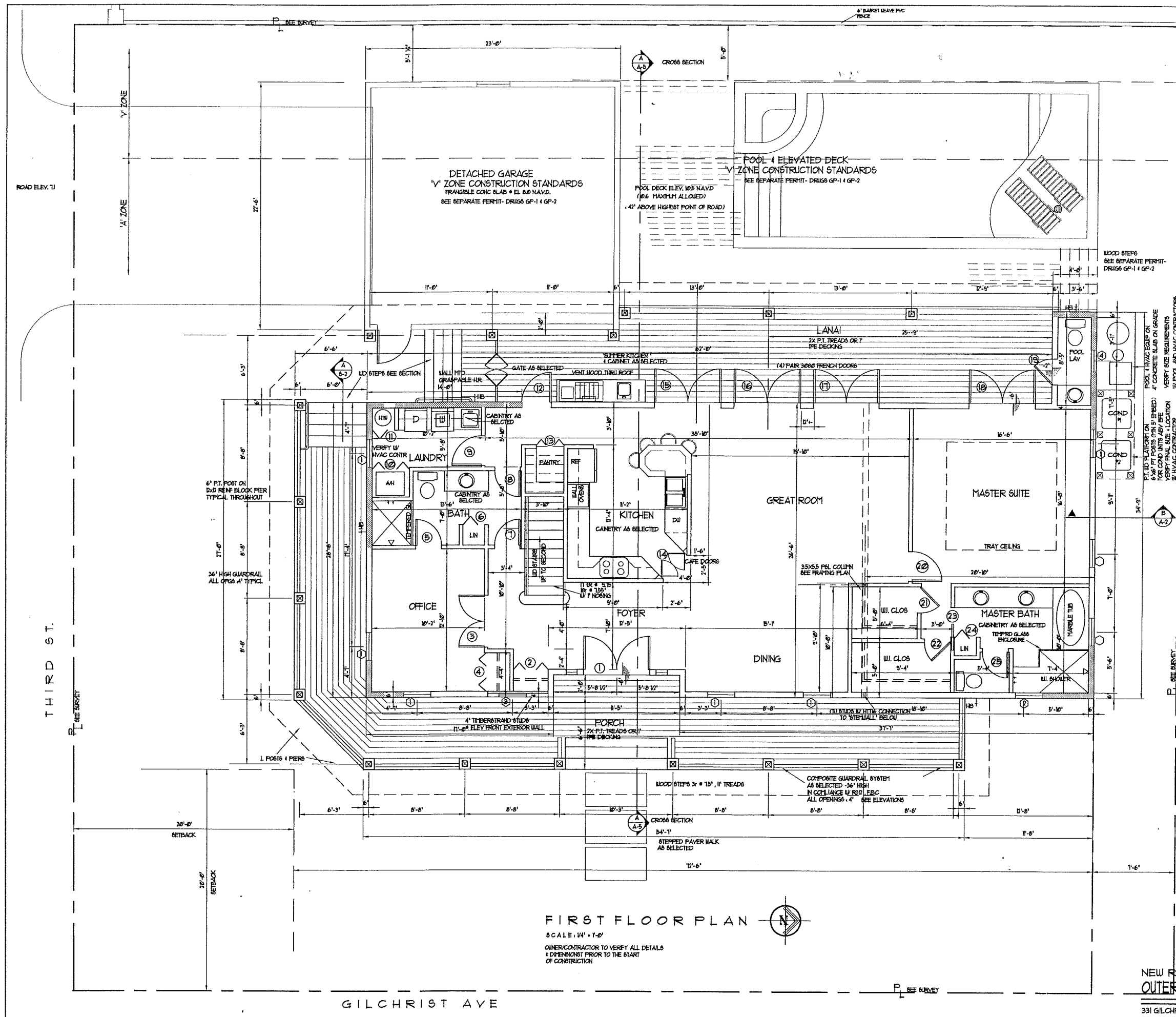
date: 1-20-12
job no. 2154

t a krebs
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Englewood, Fla. 34223
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NEW RESIDENCE FOR:
OUTERBRIDGE CONSTRUCTION

331 GILCHRIST AVE. BOCA GRANDE, FL

drawing:
T-1



DOOR SCHEDULE				
Nº	DESCRIPTION	TYPE DOOR	SIZE	REMARKS
1	MARVIN 6100 PLUS FRENCH	PRE-HUNG	6000	(2) STA. 17' SIDELIGHTS
2	INTERIOR 5 PANEL WOOD	BIFOLD DR.	3100	
3	INTERIOR FRENCH	PRE-HUNG	4800	
4	INTERIOR 5 PANEL WOOD	BIFOLD DR.	3600	
5	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
6	INTERIOR 5 PANEL WOOD	BIFOLD DR.	2000	
7	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
8	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
9	INTERIOR 5 PANEL WOOD	PRE-HUNG	2800	
10	INTERIOR 5 PANEL WOOD	BIFOLD DR.	3400	
11	INTERIOR 5 PANEL WOOD	BIFOLD DR.	2000	
12	PGT ALUM INSL. WINGGUARD 5 PANEL	PRE-HUNG	2800	OPT. DUTCH DR.
13	INTERIOR 5 PANEL WOOD	BIFOLD DR.	2600	
14	INTERIOR 5 PANEL WOOD	CAFE DR.		FR 1'-6" X 4'-0"
15	PGT ALUM INSL. WINGGUARD FRENCH	PRE-HUNG	6000	
16	PGT ALUM INSL. WINGGUARD FRENCH	PRE-HUNG	6000	
17	PGT ALUM INSL. WINGGUARD FRENCH	PRE-HUNG	6000	
18	PGT ALUM INSL. WINGGUARD FRENCH	PRE-HUNG	6000	
19	PGT ALUM INSL. WINGGUARD 5 PANEL	PRE-HUNG	2400	
20	INTERIOR 5 PANEL WOOD	PRE-HUNG	2800	
21	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
22	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
23	INTERIOR 5 PANEL WOOD	POCKET DR.	2800	
24	INTERIOR 5 PANEL WOOD	BIFOLD DR.	2000	
25	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	

* VERIFY ALL DOORS & WINDOW SIZES W/ G.C.

WINDOW SCHEDULE				
PGT WINGGUARD VINYL 6H 500, IMPACT CLEAR GLASS				
Nº	DESCRIPTION	QTY.	HEAD HEIGHT	REMARKS
1	SH 2650	9	8'-0"	MFR STANDARD MULL
2	SH 2650	1	8'-0"	TEMPERED
3	SH 2650	1	8'-0"	OPAQUE GLASS
4	SH 2050	1	8'-0"	MFR STANDARD MULL

AREA CALCULATIONS

1ST FLOOR LIVING = 1160 SQFT.
2ND FLOOR LIVING = 1204 SQFT.
PORCH = 567 SQFT.
LANAI = 433 SQFT.

TOTAL = 3,364 SQFT.

revisions:
5-15-12
6-15-12
7-31-12

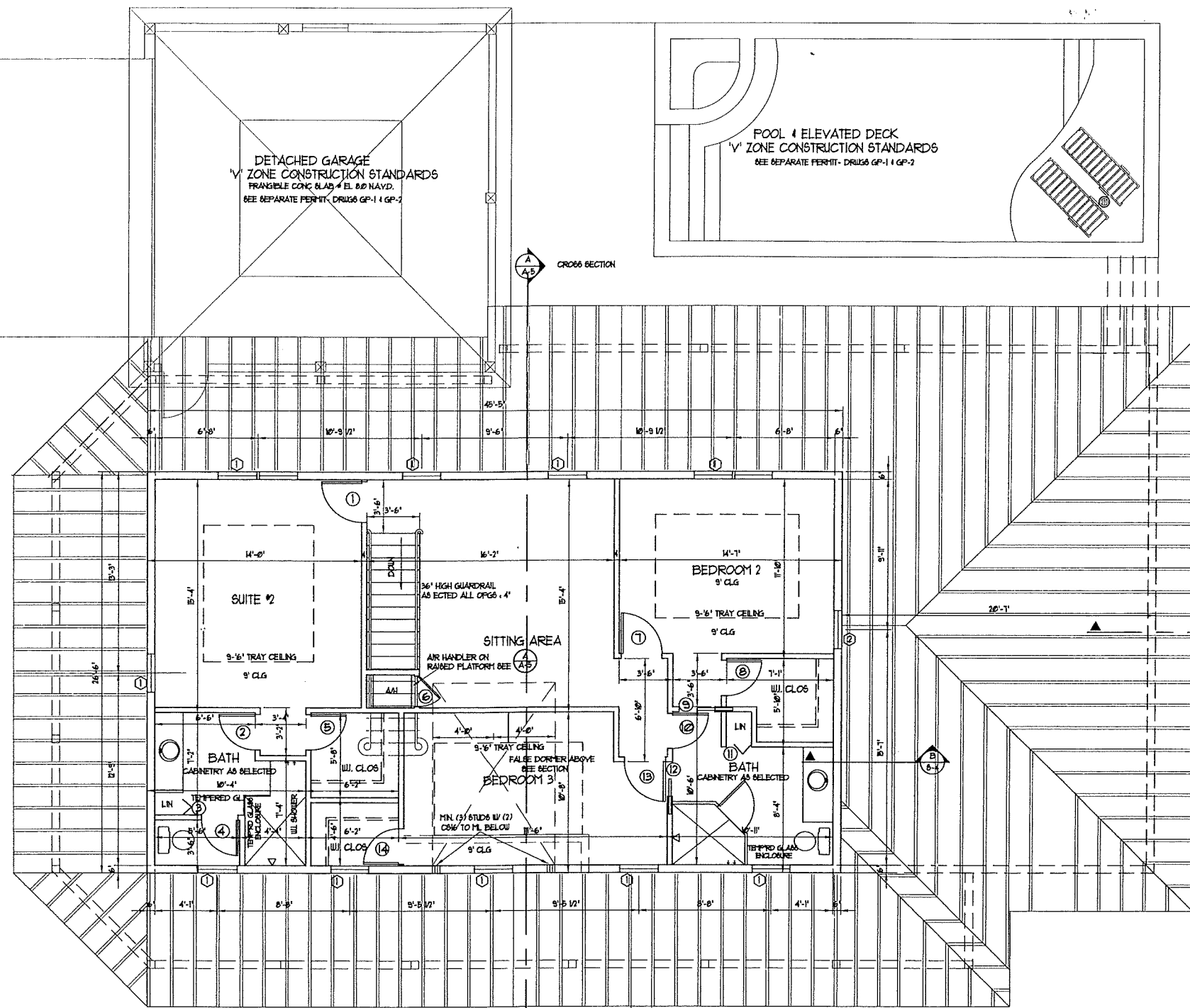
date: 1-20-12
job no. 2154

A-1

drawing:

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Englewood, Fla. 34223
(941) 475-7327

NEW RESIDENCE FOR:
OUTERBRIDGE CONSTRUCTION
331 GILCHRIST AVE.
BOCA GRANDE, FL.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
NO	DESCRIPTION	TYPE DOOR	SIZE	REMARKS
1	INTERIOR 5 PANEL WOOD	PRE-HUNG	2800	
2	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
3	INTERIOR 5 PANEL WOOD	BIFOLD DR	1600	
4	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
5	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
6	INTERIOR 5 PANEL WOOD	PRE-HUNG	2000	
7	INTERIOR 5 PANEL WOOD	PRE-HUNG	2800	
8	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
9	INTERIOR 5 PANEL WOOD	POCKET DR	2200	
10	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	
11	INTERIOR 5 PANEL WOOD	BIFOLD DR	1000	
12	INTERIOR 5 PANEL WOOD	POCKET DR	2400	
13	INTERIOR 5 PANEL WOOD	PRE-HUNG	2800	
14	INTERIOR 5 PANEL WOOD	PRE-HUNG	2400	

WINDOW SCHEDULE				
PGT WINDGUARD VINYL SH 500, IMPACT CLEAR GLASS				
NO	DESCRIPTION	QTY.	HEAD HEIGHT	REMARKS
1	SH 2650	12	8'-0"	MEGE STANDARD MILL
2	SH 2636	1	8'-0"	MEGE STANDARD MILL

ALL GLASS VISIBLE FROM THE BEACH WILL BE TINTED TO PROVIDE AN INSIDE-TO-OUTSIDE LIGHT TRANSMITTANCE VALUE OF 45% OR LESS

NEW RESIDENCE FOR:
OUTERBRIDGE CONSTRUCTION

331 GILCHRIST AVE. BOCA GRANDE, FL

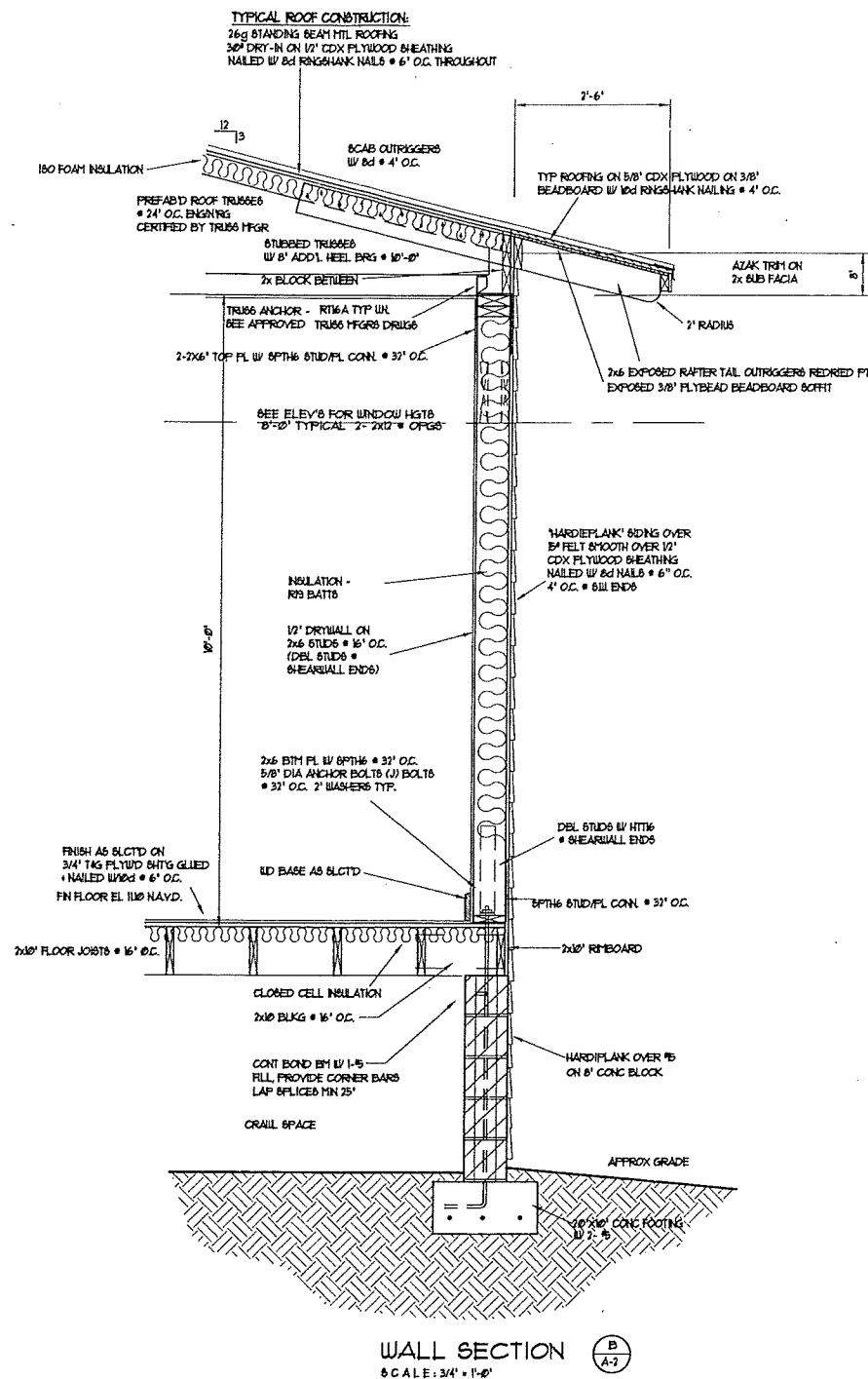
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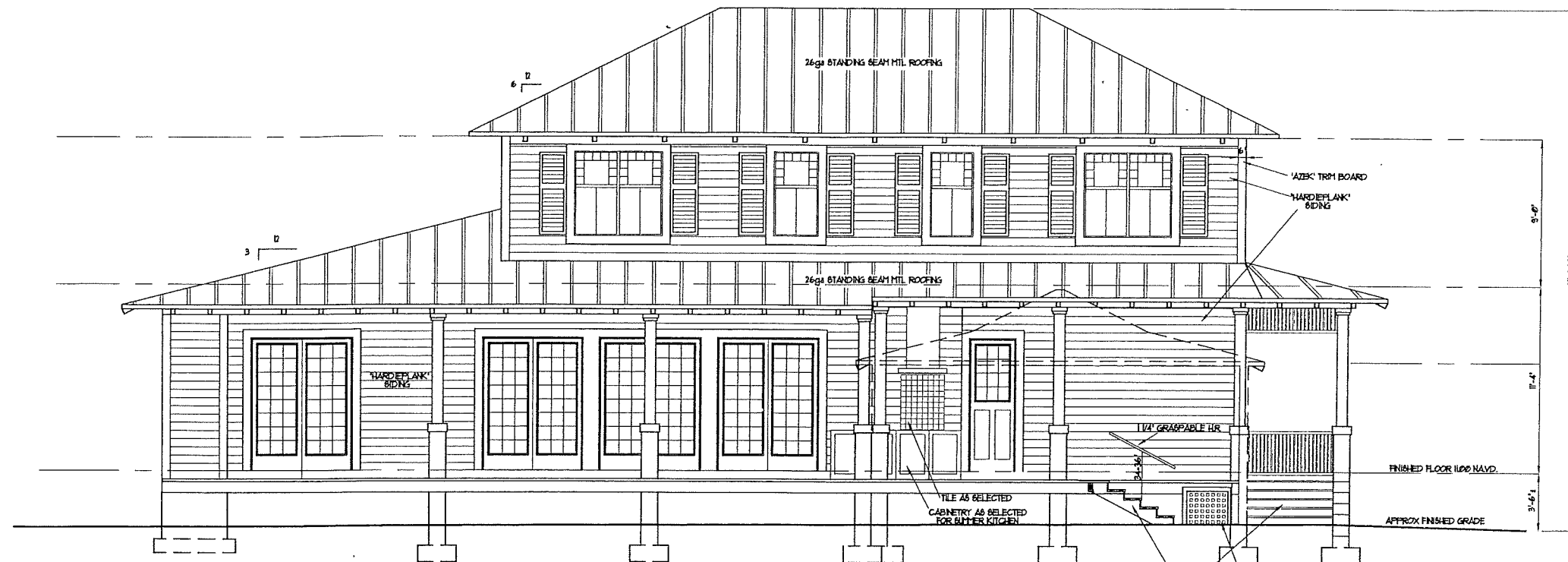
revisions:
5-15-12
6-15-12

date: 1-20-12
job no. 2154

A-2

drawing:





WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW RESIDENCE FOR:
OUTERBRIDGE CONSTRUCTION
331 GILCHRIST AVE.

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date: 1-20-12
job no. 2154

ELEV

drawing:

